

# AGENDA



PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
**DECEMBER 13, 2022 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM**

**NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) **CALL TO ORDER**

(II) **OPEN FORUM**

*This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

(III) **CONSENT AGENDA**

*These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

(1) Approval of minutes for the November 29, 2022 Planning and Zoning Commission meeting.

(2) **SP2022-060 (HENRY LEE)**

Discuss and consider a request by Cody Johnson of Johnson Volk Consulting on behalf of Kyle Tressler of Qualico Development, Inc. for the approval of a Site Plan for the Nelson Lake Subdivision amenity center being a 1.403-acre portion of a larger 120.9004-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 90 (PD-90) [*Ordinance No. 21-09*] for Single-Family 10 (SF-10) District land uses, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

(IV) **PUBLIC HEARING ITEMS**

*This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

(3) **Z2022-051 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Mariel Street on behalf of Cathy Strother for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a two (2) acre parcel of land identified as Lot 1, Block A, Roadside Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2410 S. Goliad Street [*SH-205*], and take any action necessary.

(4) **Z2022-052 (ANGELICA GUEVARA) [REQUEST TO WITHDRAW]**

Hold a public hearing to discuss and consider a request by Danna McCarty of Shepherd Place Homes, Inc. for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.4078-acre tract of land identified as Lots 1300 & 1301 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 790 County Line Road, and take any action necessary.

(5) **Z2022-053 (HENRY LEE) [REQUEST TO WITHDRAW]**

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development (PD) District for General Retail (GR) District and Single-Family 10 (SF-10) District land uses on a 25.87-acre tract of land identified as parcel of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66 and Davis Drive, and take any action necessary.

(6) **Z2022-054 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Scott Clements on behalf of Dana Moffatt for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1837-acre parcel of land identified as Lot 7, Block B, North Towne Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 211 Jacob Crossing, and take any action necessary.

(7) **Z2022-055 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Ryan Lewis and Scott Sutton of Crosspoint Community Church for the approval of a *Zoning Change* amending Planned Development District 87 (PD-87) [*Ordinance No. 18-46*] being a 16.26-acre tract of land identified as a Lot 1, Block 1, Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 87 (PD-87) for Single-Family 10 (SF-10) District, General Retail (GR) District and Light Industrial (LI) District land uses, located on the southside of E. Washington Street east of the intersection of Park Place Boulevard and E. Washington Street, and take any action necessary.

(V) **ACTION ITEMS**

*These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

(8) **SP2022-061 (HENRY LEE)**

Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of William Salee of Rockwall Independent School District (RISD) for the approval of a *Site Plan* for an *Elementary School* on a 11.605-acre tract of land identified as Tract 17-01 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 899 Tubbs Road, and take any action necessary.

(VI) **DISCUSSION ITEMS**

(9) Discuss and consider directing staff to make changes to Subsection 02.03(K)(7), *Solar Energy Collector Panels and Systems*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), and take any action necessary.

(10) *Director's Report* of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2022-057: Replat for Lot 12, Block B, Horizon Ridge Addition (**APPROVED**)
- MIS2022-023: Exception to the Street Improvement Requirements (**APPROVED**)
- Z2022-047: Zoning Change (AG to GR) for JMS Custom Homes, LLC (**APPROVED; 2<sup>ND</sup> READING**)
- Z2022-048: SUP for a *Guest Quarters/Secondary Living Unit* and *Detached Garage* at 2348 Saddlebrook Lane (**DENIED**)
- Z2022-049: SUP for *Residential Infill Adjacent to an Established Subdivision* for 1505 S. Alamo Street (**APPROVED; 2<sup>ND</sup> READING**)
- Z2022-050: Text Amendment to Article 05, *District Development Standards*, of the UDC (**APPROVED; 2<sup>ND</sup> READING**)

(VII) **ADJOURNMENT**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Guevara, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on December 9, 2022 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# MINUTES



PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
NOVEMBER 29, 2022 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT  
3 [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR  
4 SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT  
5 FORM ON THE CITY'S WEBSITE.

## 7 I. CALL TO ORDER

8  
9 **Chairman Thomas called the meeting to order at 6:00 PM. Commissioners present were Jean Conway, Brian Llewelyn, Jerry Welch, John Womble and Derek Deckard. Absent from the meeting was Commissioner Ross Hustings. Staff members present were Director of Planning and Zoning Ryan Miller, Planners Henry Lee and Bethany Ross, Planning Technician Angelica Guevara, Planning Coordinator Sarah Chapin, City Engineer Amy Williams, Assistant City Engineer Jonathan Browning, and Civil Engineer Sarah Johnston.**

## 14 II. APPOINTMENTS

16 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on  
17 the agenda requiring architectural review.

18  
19 **A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the Architectural  
20 Review Board meeting.**

## 22 III. OPEN FORUM

23  
24 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the  
25 policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN  
26 FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings  
27 Act.*

28  
29 **Chairman Thomas explained how open forum is conducted and asked if anyone wished to speak to come forward at this time; there being no one  
30 indicating such, Chairman Thomas closed the open forum.**

## 32 IV. CONSENT AGENDA

33  
34 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)  
35 and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

37 2. Approval of minutes for the November 15, 2022 Planning and Zoning Commission meeting.

### 39 3. P2022-057 (BETHANY ROSS)

40 Consider a request by Jeff Kilburg of Apex Design Build on behalf of Chad Capps of CMH Real Estate, LLC for the approval of a Replat for Lot 12, Block B,  
41 Horizon Ridge Addition being a 1.253-acre parcel of land identified as Lot 5, Block B, Horizon Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned  
42 Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated at the northwest corner of the intersection of Rockwall Parkway and  
43 Summer Lee Drive, and take any action necessary.

44  
45 **Vice-Chairman Deckard made a motion to approve the consent agenda. Commissioner Womble seconded the motion which passed by a vote of 6-0.**

## 47 V. PUBLIC HEARING ITEMS

48  
49 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please  
50 submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning  
51 Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments  
52 to three (3) minutes out of respect for the time of other citizens.*

### 54 4. Z2022-048 (BETHANY ROSS)

55 Hold a public hearing to discuss and consider a request by Bryan Cook for the approval of a Specific Use Permit (SUP) for a Guest Quarters/Secondary Living  
56 Unit/Detached Garage/Carport on a one (1) acre parcel of land identified as Lot 13, Block A, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall  
57 County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2348 Saddlebrook Lane, and take any action necessary.

58  
59 **Planner Bethany Ross provided a brief summary in regards to the request for a Specific Use Permit (SUP) for a guest quarters and detached garage.  
60 The case was tabled at the last Planning and Zoning Commission meeting, due to the applicant providing an updated site plan at that meeting.  
61 Planner Ross advised that the applicant has now proposed a 1,200 square foot enclosed area with a 360 square foot outdoor living area, totaling**

62 1,560 square foot. Three conditions of approval were included: a concrete driveway leading to the bay doors must be included, the applicant must  
63 provide a site plan demonstrating conformance to the density and dimensional requirements for an accessory structure, and the applicant must  
64 remove the 128 square foot accessory building prior to the construction of the guest quarters. Planner Ross advised that the applicant has not yet  
65 provided a site plan demonstrating conformance. As with all zoning cases, notices were mailed out to property owners and occupants within 500-  
66 feet of the subject property. At this time, Staff had received four (4) notices from four (4) property owners in favor of the applicant's request and three  
67 (3) notices from three (3) property owners opposed to the applicant's request. Currently the opposition of the applicant's request equates to thirty-  
68 five (35) percent of the total land area within two hundred (200) feet of the subject property. Due to this, a super majority vote is required for approval.  
69

70 Chairman Thomas asked if there had been any changes to the building material since the last meeting when the concern was raised that the building  
71 material of the accessory structure did not match the building material of the home.

72 Vice Chairman Deckard asked if the site plan showed how the driveway would connect to the road.  
73

74 **Bob Wacker**  
75 309 Featherstone Drive  
76 Rockwall, TX 75087  
77

78 Mr. Wacker came forward and presented a power point regarding the request. He also expressed his being in favor of the request.  
79

80 Chairman Thomas asked if anyone else wished to speak to come forward at this time; there being no one indicating such, Chairman Thomas closed  
81 the public hearing and brought the item back to the Commission for discussion or action.  
82

83 Commissioner Llewellyn brought up the concern that the building materials did not match the house.

84 Vice-Chairman Deckard advised he would like to see how the applicant will be connecting the driveway to the road, because that road is one  
85 neighbors only entrance to their home.  
86

87 After discussion, Vice-Chairman Deckard made a motion to deny Z2022-048. Commissioner Llewellyn seconded the motion to deny which passed  
88 by a vote of 6-0.  
89

90 Chairman Thomas advised that this item will go before the City Council on December 5, 2022.  
91

92 VI. ACTION ITEMS  
93

94 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*  
95 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*  
96

97 5. MIS2022-021 (BETHANY ROSS)

98 Discuss and consider a request by Jeff Carroll of Carroll Architects on behalf of Eric Borkenhagen of Kohl's Department Stores for the approval of a Miscellaneous  
99 Case for an Exception to the parking requirements for an existing commercial/retail store (Kohl's Department Store) situated on a 7.383-acre parcel of land  
100 identified as Lot 7, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the  
101 IH-30 Overlay (IH-30 OV) District, addressed as 823 E. IH-30, and take any action necessary.  
102

103 Planner Bethany Ross provided a brief summary in regards to the request for an exception to the off-street parking requirements of 346 parking  
104 spaces. The applicant is requesting the exception to allow 259 parking spaces, which would leave the Kohl's parking lot deficient by 87 spaces.  
105 Planner Ross advised the applicant's request does not appear to create a negative or adverse effect on any of the adjacent properties.  
106

107 Commissioner Womble asked if approving the exception to the parking requirements would be assigning Kohl's a non-conforming use or putting  
108 the store in legal jeopardy in the future.  
109

110 **Jeff Carroll**  
111 750 E. I-30, Ste. 110  
112 Rockwall, TX 75087  
113

114 Mr. Carroll came forward and advised that there will be a shared parking agreement between Kohl's and the other buildings with connected parking  
115 lots.  
116

117 Commissioner Womble asked if the approval would set a standard for other parking lots or have an impact on future retail.

118 Vice-Chairman Deckard asked what the required parking spaces are for other land uses.

119 Commissioner Conway brought up the concern for establishing precedent.

120 Commissioner Welch asked if the parking spaces could be reduced building by building rather than just Kohl's losing parking spaces.

121 Vice Chairman Deckard asked if shared parking is approved for multi-pad site plans with multiple buildings and one parking lot.  
122

123 After discussion, Commissioner Llewellyn made a motion to approve MIS2022-021. Commissioner Conway seconded the motion which passed by a  
124 vote of 5-1 with Commissioner Womble dissenting.  
125

126 6. MIS2022-022 (BETHANY ROSS)

127 Discuss and consider a request by Patrick Hogan, PE of Kimley-Horn on behalf of Justin Day of Platform Rockwall, LP for the approval of a Miscellaneous Case  
128 for a Variance to the Engineering Standards of Design and Construction to allow vertical walls in the detention pond on a 17.03-acre tract of land identified as

129 Tract 4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, generally located on the south  
130 side of Airport Road east of the intersection of Airport Road and John King Boulevard, and take any action necessary.

131  
132 **Planner Bethany Ross provided a brief summary in regards to the request for a variance to the engineering standards to allow vertical retaining walls  
133 in a detention pond. Planner Ross advised the applicants request does not appear to create any negative effects for adjoining properties, but the  
134 request does have the means to be precedence setting. Staff has suggested a split system utilizing underground retention as an alternative to the  
135 vertical walls. In addition, the applicant has not yet provided sufficient reasoning showing that this variance should constitute a hardship and that  
136 the current standard cannot be achieved.**

137  
138 **Commissioner Womble asked why the City of Rockwall does not allow vertical/retaining walls in detention systems.**

139  
140 **Patrick Hogan**  
141 **13455 Noel Rd Ste 700**  
142 **Dallas, TX 75240**

143  
144 **Mr. Hogan came forward and advised that a piece of the original design for the detention system was contingent upon an agreement with a railroad  
145 abutting the property. However, the developer ultimately came to the decision that a wet detention pond with a retaining wall was more cost effective  
146 and had the least amount of impact to the site plan than other options.**

147  
148 **Vice-Chairman Deckard asked why the site plan was not altered instead of the detention pond.**

149 **Commissioner Conway asked why the split system cannot be used instead.**

150 **Commissioner Womble asked how visible the detention pond would be.**

151 **Vice-Chairman Deckard brought up the concern that there are other options to avoid the variance for the vertical wall in the detention pond, but the  
152 applicant is choosing not to take one of those options.**

153  
154 **After discussion, Commissioner Welch made a motion to deny MIS2022-022. Commissioner Conway seconded the motion to deny which passed by  
155 a vote of 5-1 with Commissioner Womble dissenting.**

156  
157 **7. MIS2022-023 (RYAN MILLER)**

158 Discuss and consider a request by Patricia Mejia on behalf of the Children's Advocacy Center of Rockwall County for the approval of a *Miscellaneous Case* for  
159 an *Exception to the Street Improvement Requirements* contained in the Municipal Code of Ordinances for a 7.497-acre tract of land identified as Tract 68 of the  
160 R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, generally located northwest of the curve  
161 connecting Airport Road and E. Washington Street, and take any action necessary.

162  
163 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request for an exception to the street improvement  
164 requirements. The applicant has submitted a concept plan showing the potential establishment of a social service provider. Director Miller advised  
165 that the applicant is only using one access point off of a private drive and that providing the applicant with an exception to the street improvement  
166 requirements would prevent a hardship for the applicant. Director Miller also advised that granting the exception doesn't appear to change the  
167 essential character of the area or inhibit any of the city's future plans.**

168  
169 **Patricia Mejia**  
170 **1350 E. Washington St**  
171 **Rockwall, TX 75087**

172  
173 **Mrs. Mejia came forward and explained why the Children's Advocacy Center needs a new property with the ability to build a site that better suits the  
174 organization's needs.**

175  
176 **Vice-Chairman Deckard made a motion to approve MIS2022-023. Commissioner Welch seconded the motion which passed with a vote of 6-0.**

177  
178 **Chairman Thomas advised that this item will go before the City Council on December 5, 2022.**

179  
180 **VI. DISCUSSION ITEMS**

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182 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come  
183 forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items  
184 are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the  
185 following cases is December 13, 2022.*

186  
187 **8. Z2022-051 (HENRY LEE)**

188 Hold a public hearing to discuss and consider a request by Mariel Street on behalf of Cathy Strother for the approval of a *Zoning Change* from an Agricultural  
189 (AG) District to a Commercial (C) District for a two (2) acre parcel of land identified as Lot 1, Block A, Roadside Addition, City of Rockwall, Rockwall County,  
190 Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2410 S. Goliad  
191 Street [SH-205], and take any action necessary.

192  
193 **Planner Henry Lee provided a brief summary in regards to the request to rezone the subject property from Agricultural (AG) District to Commercial  
194 (C) District. Planner Lee advised the request to rezone does comply with the future land use map and the proposed zoning change will not change  
195 any of the current non-conforming structures on the property, but will apply to any new construction that happens on the property.**

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Chairman Thomas advised that this item will come back before the Planning and Zoning Commission for discussion or action on December 13, 2022.

9. **Z2022-052 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Danna McCarty of Shepherd Place Homes, Inc. for the approval of a *Specific Use Permit (SUP)* for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.4078-acre tract of land identified as Lots 1300 & 1301 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 790 County Line Road, and take any action necessary.

Planning Technician Angelica Guevara provided a brief summary in regards to the request for a Specific Use Permit (SUP) for a residential infill. Planning Technician Guevara advised the request does conform to all zoning requirements with the exception of the garage orientation and the driveway location requirements.

Chairman Thomas advised that this item will come back before the Planning and Zoning Commission for discussion or action on December 13, 2022.

10. **Z2022-053 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development (PD) District for General Retail (GR) District and Single-Family 10 (SF-10) District land uses on a 25.87-acre tract of land identified as parcel of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66 and Davis Drive, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request to rezone the property from Agricultural (AG) District to a Planned Development (PD) District. Planner Lee advised the request is partially conforming with the future land use map as the Single-Family 10 (SF-10) District does conform to low density residential. However, none of the property is slated to become Commercial (C) District, so the General Retail (GR) District portion would be non-conforming with the future land use plan. Staff advised there is no sewer near the subject property, so an OSSF may be requested for the development if the lots are a minimum of 1.5 acres. However, City Council can approve a request for an OSSF with lots that are a minimum of one (1) acre and this has been approved previously for Residential (R) subdivisions, but not for any Commercial (C) properties.

Dub Douphrate  
2235 Ridge Rd  
Rockwall, TX 75087

Mr. Douphrate came forward and advised he would be changing the concept plan with staff recommendations, including changing the lots to a minimum of 1.5 acres.

Commissioner Llewellyn asked if the purpose of the Commercial (C) zone at the front of the property is to act as a buffer for the neighborhood.

Chairman Thomas advised that this item will come back before the Planning and Zoning Commission for discussion or action on December 13, 2022.

11. **Z2022-054 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Scott Clements on behalf of Dana Moffatt for the approval of a *Specific Use Permit (SUP)* for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1837-acre parcel of land identified as Lot 7, Block B, North Towne Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 211 Jacob Crossing, and take any action necessary.

Planner Bethany Ross provided a brief summary in regards to the request for a Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision. Currently, the applicant's residential plot plan shows building setbacks that do not meet the requirements for a home in the Single-Family 7 (SF-7) District. Staff recommended that the applicant revise and show the correct setbacks and included a condition that if the setbacks do not change, the applicant will need to withdraw this case and request a variance with the Board of Adjustments.

Scott Clements  
4263 CR 2602  
Caddo Mills, TX 75135

Chairman Thomas advised that this item will come back before the Planning and Zoning Commission for discussion or action on December 13, 2022.

12. **Z2022-055 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Ryan Lewis and Scott Sutton of Crosspoint Community Church for the approval of a *Zoning Change* amending Planned Development District 87 (PD-87) [Ordinance No. 18-46] being a 16.26-acre tract of land identified as a Lot 1, Block 1, Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 87 (PD-87) for Single-Family 10 (SF-10) District, General Retail (GR) District and Light Industrial (LI) District land uses, located on the southside of E. Washington Street east of the intersection of Park Place Boulevard and E. Washington Street, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. Planner Lee advised that the case did come before the Planning and Zoning Commission previously and was denied. The applicant decided to resubmit for this cycle and provided a new concept plan.

263 Vice Chairman Deckard asked if anything changed since the last plan was denied.  
264 Chairman Thomas asked if there had been any conversation with the residents of the area.  
265  
266 Planner Lee advised that a letter in favor of the request was received by the HOA, and notices in favor and opposed to the request have been received  
267 from residents.

268  
269 Vice Chairman Deckard asked if the HOA is still being run by the developer or if it is being run by community members.  
270

271 Dub Douphrate  
272 2235 Ridge Rd  
273 Rockwall, TX 75087  
274

275 Mr. Douphrate came forward and advised the conditions that have changed since the last request was denied include: the church now owns the  
276 property, and the concept plan was rearranged.  
277

278 Scott Sutton  
279 1200 E. Washington St  
280 Rockwall, TX 75087  
281

282 Mr. Sutton came forward and advised that they have met with residents in the area to address concerns about traffic and landscaping.  
283

284 Commissioner Welch brought up the concern of the playground being next to the road.  
285 Commissioner Womble asked if the biggest concern from the neighborhood was the potential traffic issue.  
286 Vice Chairman Deckard brought up the neighborhood concern about the change of use.  
287

288 Chairman Thomas advised that this item will come back before the Planning and Zoning Commission for discussion or action on December 13, 2022.  
289

290 13. **SP2022-060 (HENRY LEE)**

291 Discuss and consider a request by Cody Johnson of Johnson Volk Consulting on behalf of Kyle Tressler of Qualico Development, Inc. for the approval of a Site  
292 Plan for the Nelson Lake Subdivision amenity center being a 1.403-acre portion of a larger 120.9004-acre tract of land identified as Tract 2 of the J. M. Gass  
293 Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 90 (PD-90) [*Ordinance No. 21-09*] for Single-Family  
294 10 (SF-10) District land uses, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.  
295

296 Planner Henry Lee provided a brief summary in regards to the request for the approval of a site plan for an amenity pavilion, playground, and pool.  
297 Staff is currently working through comments related to the landscaping, pool equipment enclosure, and minor comments related to the building of  
298 the amenity pavilion. Staff advised the current position of the pool equipment is visible from Glenwood Lane and recommended the applicant move  
299 the equipment to better screen it from the roadway and the residential homes.  
300

301 Miguel Lara  
302 704 Central Parkway E.  
303 Plano, TX 75074  
304

305 Chairman Thomas advised that this item will come back before the Planning and Zoning Commission for discussion or action on December 13, 2022.  
306

307 14. **SP2022-061 (HENRY LEE)**

308 Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of William Salee of Rockwall Independent School District (RISD) for the  
309 approval of a Site Plan for an Elementary School on a 11.605-acre tract of land identified as Tract 17-01 of the E. P. G. Chisum Survey, Abstract No. 64, City of  
310 Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 899 Tubbs Road, and  
311 take any action necessary.  
312

313 Planner Henry Lee provided a brief summary in regards to the request for the approval of a new elementary school on the subject property. Planner  
314 Lee advised the applicant does plan on building the new school while the existing school on the property is still in use, then removing the existing  
315 school after the completion of the new school. Staff advised ARB did review this request and recommended approval.  
316

317 Will Salee  
318 1050 Williams Street  
319 Rockwall, TX 75087  
320

321 Mr. Salee came forward and presented a power point regarding the request.  
322

323 Commissioner Conway requested clarification for the location of the subject property.  
324 Commissioner Llewellyn asked if the pickup line would only be attached to Ralph Hall or if it would also be connected to Mims Road or Rochell  
325 Court.  
326

327 Chairman Thomas advised that this item will come back before the Planning and Zoning Commission for discussion or action on December 13, 2022.  
328

329 15. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

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- P2022-055: Final Plat for Phase 1 of the Homestead Subdivision [APPROVED]
- P2022-056: Final Plat for the Marina Village Subdivision [APPROVED]
- Z2022-047: Zoning Change (AG to GR) for JMS Custom Homes, LLC [APPROVED; 1<sup>ST</sup> READING]
- Z2022-048: SUP for a *Guest Quarters/Secondary Living Unit and Detached Garage* at 2348 Saddlebrook Lane [POSTPONED TO DECEMBER 5, 2022]
- Z2022-049: SUP for *Residential Infill Adjacent to an Established Subdivision* for 1505 S. Alamo Street [APPROVED; 1<sup>ST</sup> READING]
- Z2022-050: Text Amendment to Article 05, *District Development Standards*, of the UDC [APPROVED; 1<sup>ST</sup> READING]

**Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.**

VIII. ADJOURNMENT

**Chairman Thomas adjourned the meeting at 7:34 pm.**

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Sedric Thomas, Chairman

Attest:

\_\_\_\_\_  
Sarah Chapin, Planning Coordinator



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**FROM:** Henry Lee, *Planner*  
**DATE:** December 15, 2022  
**SUBJECT:** SP2022-060; *PD Site Plan for the Nelson Lakes Subdivision Amenity Center*

---

The applicant, Cody Johnson of Johnson Volk Consulting, is requesting the approval of a site plan for the Nelson Lakes Subdivision amenity center. The subject property is a 1.403-acre portion of a larger 120.9004-acre tract of land (i.e. *Tract 2 of the J. M. Gass Survey, Abstract No. 88*) that is generally located at the southeast corner of the intersection of FM-1141 and FM-552. The Nelson Lakes Subdivision has been approved for a *Final Plat [Case No. P2022-003]* and a *PD Site Plan [Case No. SP2022-001]* in accordance with the submittal schedule contained in the Planned Development District ordinance. As part of this site plan application the applicant has submitted a site plan, landscape plan, treescape plan, photometric plan, and building elevations for the proposed amenity center.

The site plan indicates that an amenity pavilion, swimming pool, and a playground will be constructed on the subject property. The landscape plan for the amenity center indicates all of the required plantings that were previously approved in the *PD Site Plan [Case No. SP2022-001]* for entire subdivision. The treescape plan provided by the applicant indicates that the mitigation balance will be satisfied by landscape plan. The hardscape plan details the location of all of sidewalks and trails, the pool, the playground, and each fence type, and is generally in conformance with the Planned Development District ordinance. In addition, the submitted site plan, building elevations, and photometric plan all conform to all the applicable technical requirements contained in Planned Development District 90 (PD-90) and the Unified Development Code (UDC), and -- *based on the case being in compliance* -- the case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the December 13, 2022 Planning and Zoning Commission meeting.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Amenity Center within Nelson Lake Estates**

SUBDIVISION **Nelson Lake Estates**

LOT **44**

BLOCK **J**

GENERAL LOCATION **Between Glenwood Lane and Euclid Drive, along Macbeth Lane**

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Single Family Residential**

CURRENT USE **Private Recreational Center**

PROPOSED ZONING **Single Family Residential**

PROPOSED USE **Private Recreational Center**

ACREAGE **1.403**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Qualico Development (U.S.), INC.**

APPLICANT **Johnson Volk Consulting**

CONTACT PERSON **Kyle Tressler**

CONTACT PERSON **Cody Johnson**

ADDRESS **6950 TPC Drive**

ADDRESS **704 Central Parkway East**

**Suite 350**

**Suite 1200**

CITY, STATE & ZIP **McKinney, Texas 75070**

CITY, STATE & ZIP **Plano, TX 75074**

PHONE **469-659-6152**

PHONE **972-201-3100**

E-MAIL **kyle.tressler@qualico.com**

E-MAIL **cody.johnson@johnsonvolk.com**

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KYLE TRESSLER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 378.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF NOVEMBER, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST.

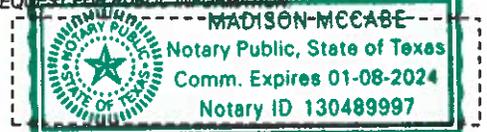
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF November, 2022

OWNER'S SIGNATURE

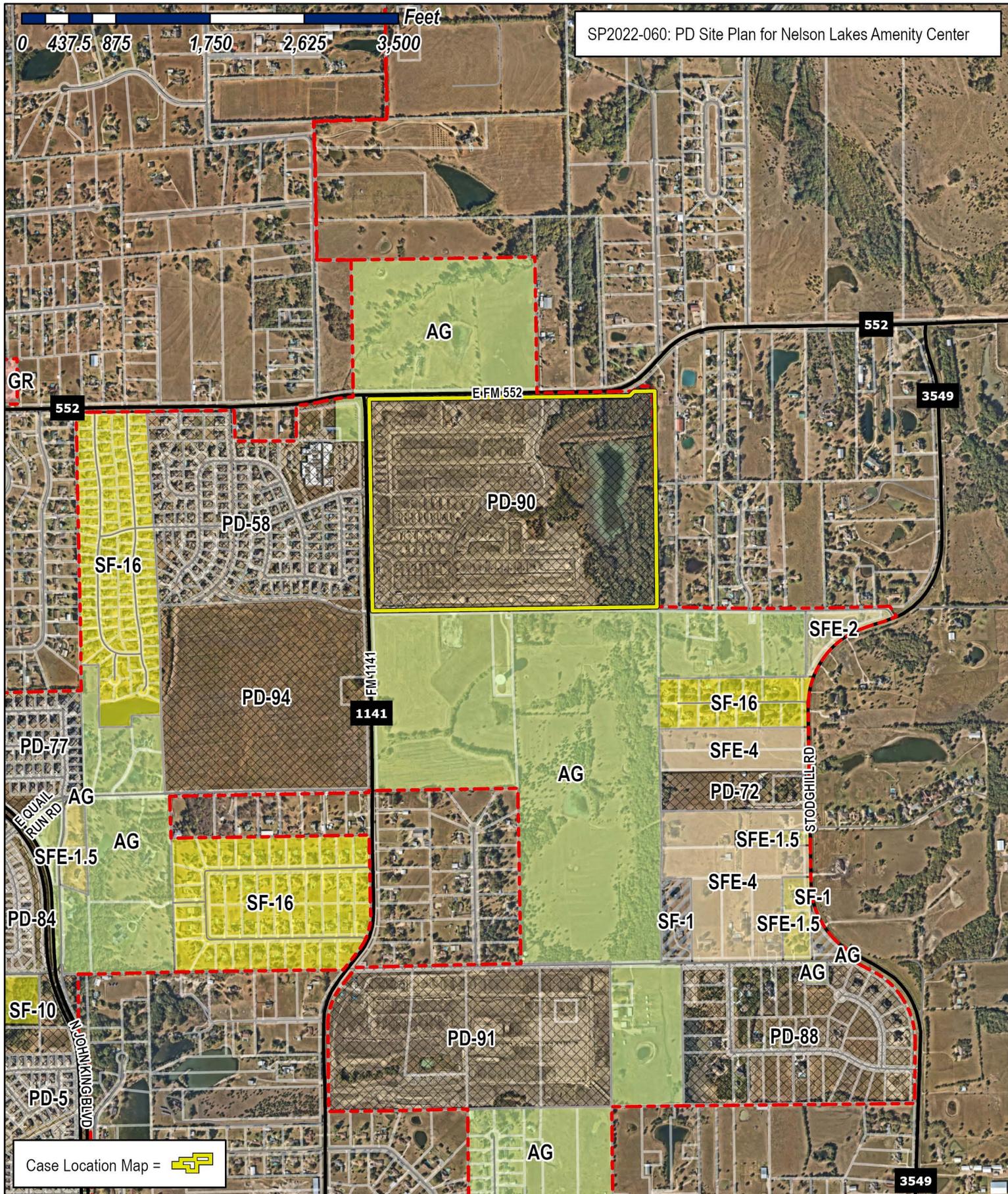
*Kyle Tressler*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*Madison McCabe*



MY COMMISSION EXPIRES 01-08-2024



Case Location Map = 

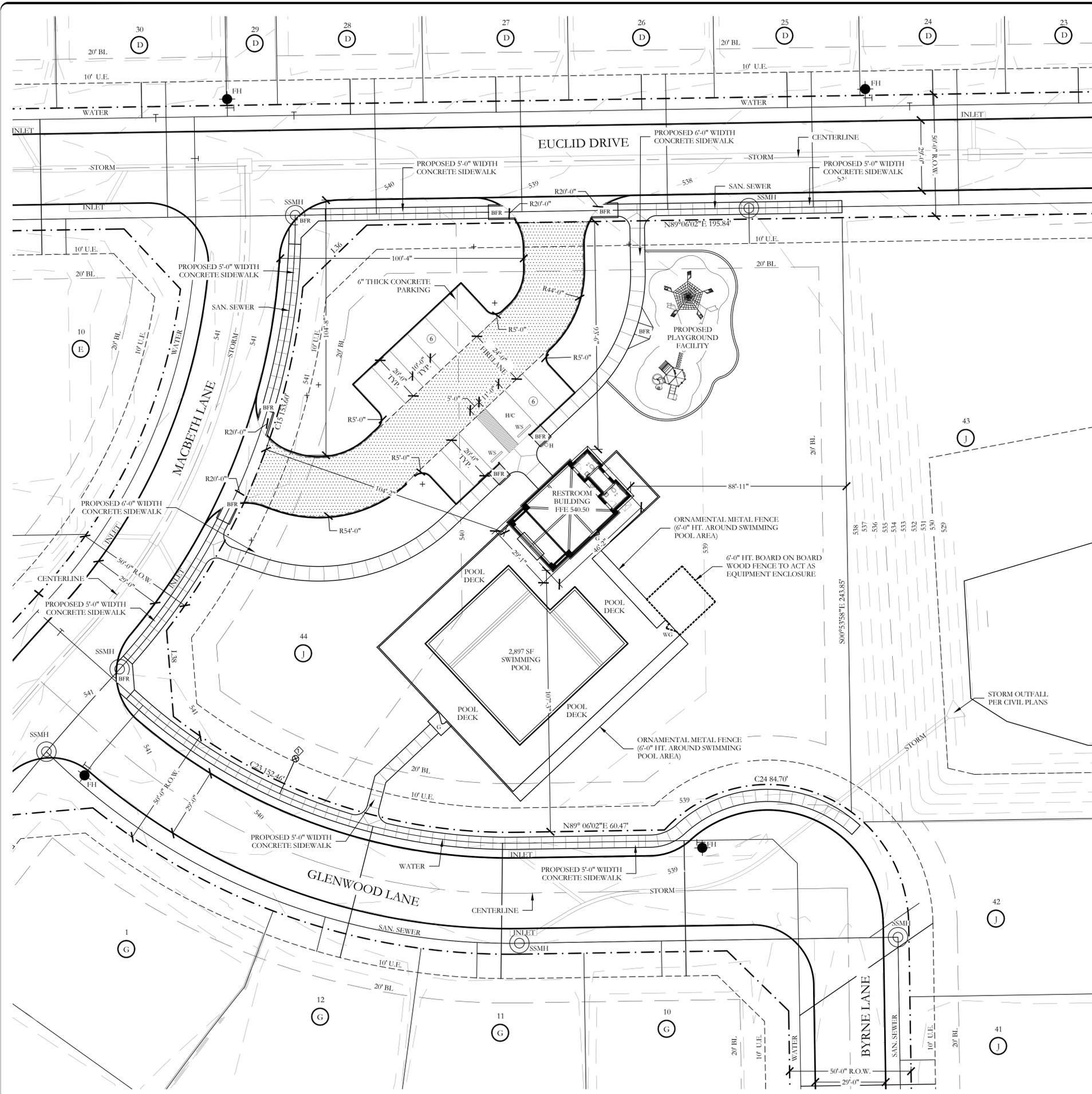


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**LEGEND**

⑥	PROPOSED PARKING COUNT	⊗	EXISTING 1" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	H	HANDICAP PARKING SIGN
H/C	HANDICAP PARKING SPACE	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
●	EXISTING FIRE HYDRANT	7	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
⊙	EXISTING SANITARY SEWER MANHOLE	7G	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING WOODEN GATE
—	EXISTING WATER MAIN W/ VALVE	—	6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
—	EXISTING SANITARY SEWER	---	EXISTING CONTOUR INTERVAL
—	EXISTING STORM	FFE 539.95	FINISHED FLOOR ELEVATION
—	EXISTING CURB INLET	▨	FIRELANE PAVING PER CITY STANDARD DETAILS
—	RIGHT-OF-WAY		
WS	PROPOSED CONCRETE WHEEL STOP		

**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

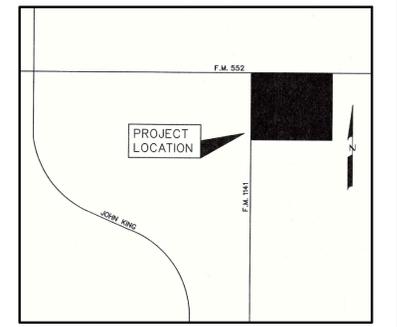
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

**WATER METER SCHEDULE**

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN. SERVICE SIZE
⊗	1"	1"	X		4"



**SITE INFORMATION**

SINGLE FAMILY RESIDENTIAL  
 PROPOSED USE: PRIVATE RECREATION CENTER  
 LAND AREA: 1.403 ACRES  
 61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET  
 BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.0221 [1,342.68/61,114.68]  
 LOT COVERAGE: 2.20%

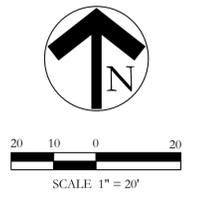
PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE  
 1,342.68/250=5.37  
 6 REQUIRED SPACES

PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

TOTAL IMPERVIOUS SURFACE: 17,917.66 SF  
 PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%  
 INTERIOR LANDSCAPE PROVIDED: 43,197.02 SF

POOL DECK SURFACE: 4,373.64 SF



**SITE PLAN**  
**NELSON LAKE ESTATES**  
**LOT 44, BLOCK J**  
 ~AMENITY CENTER~

BEING 1.403 ACRES OUT OF THE  
 J.M. GASS SURVEY  
 ABSTRACT NO. 88  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

- SITE PLAN NOTES:**
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
  - FOR ALL BARRIER FREE RAMP NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
  - ALL HANDICAP PARKING SPACES SHALL BE A MINIMUM OF 11'-0" WIDTH x 20'-0" LENGTH WITH A 5'-0" LOADING AISLE.
  - STANDARD PARKING SPACES SHALL BE A MINIMUM OF 10'-0" WIDTH x 20'-0" LENGTH.
  - THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
  - ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.



**OWNER / DEVELOPER:**  
 QUALICO DEVELOPMENT (U.S.), INC  
 6950 TPC DRIVE, SUITE 350  
 MCKINNEY, TEXAS 75070  
 CONTACT: KYLE TRESSLER

**LANDSCAPE ARCHITECT:**  
 JOHNSON VOLK CONSULTING  
 704 CENTRAL PARKWAY EAST, SUITE 1200  
 PLANO, TEXAS 75074  
 PH. (972) 201-3100  
 CONTACT: CODY JOHNSON, RLA, ASLA, LI

December 06, 2022



TEXAS STONE DESIGN INC.  
HILLTOP LIMESTONE



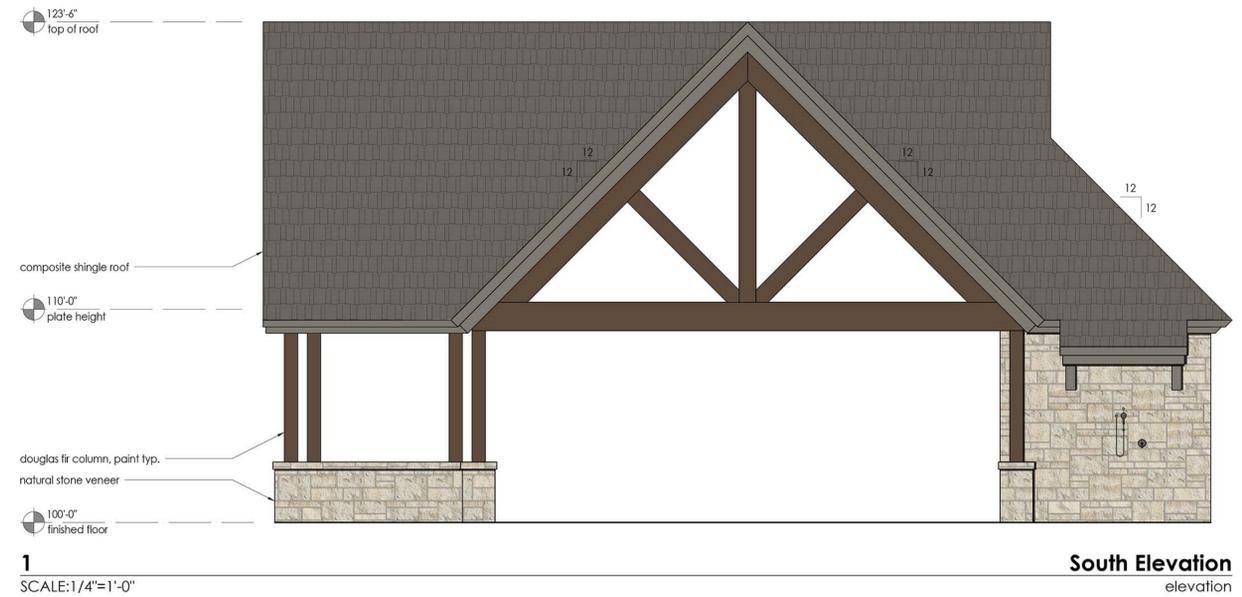
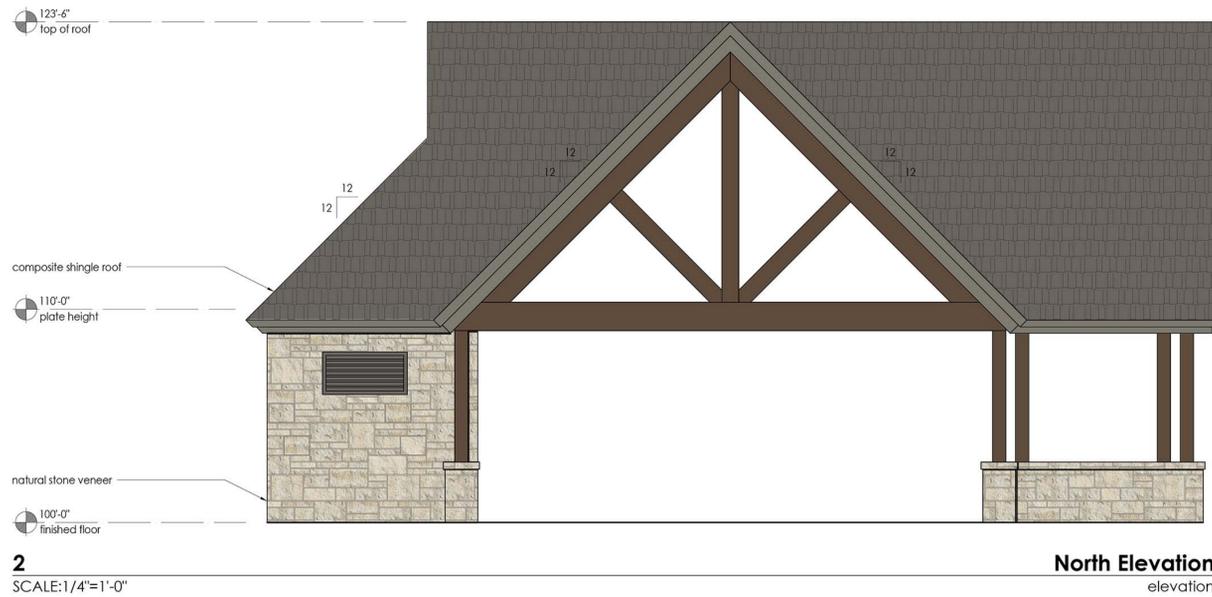
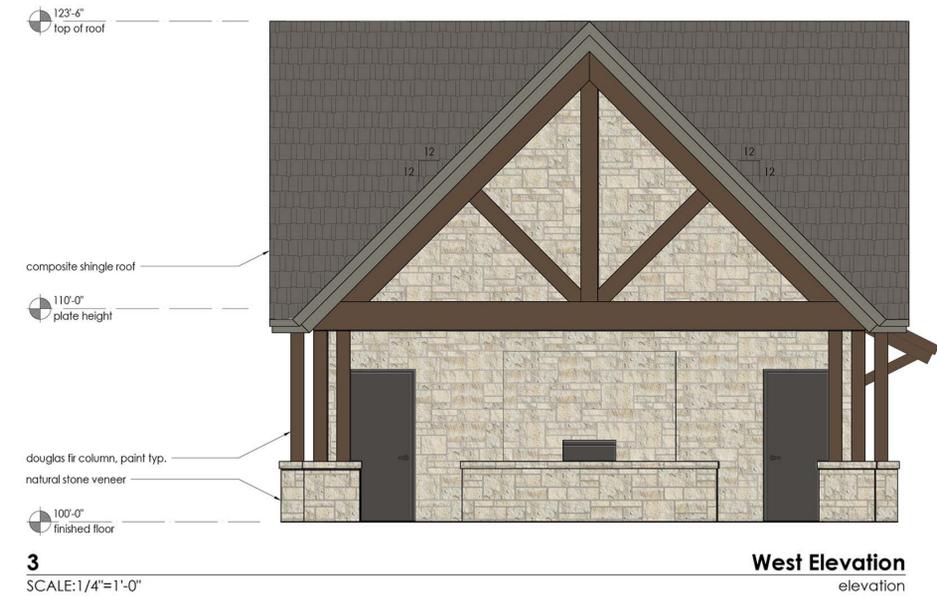
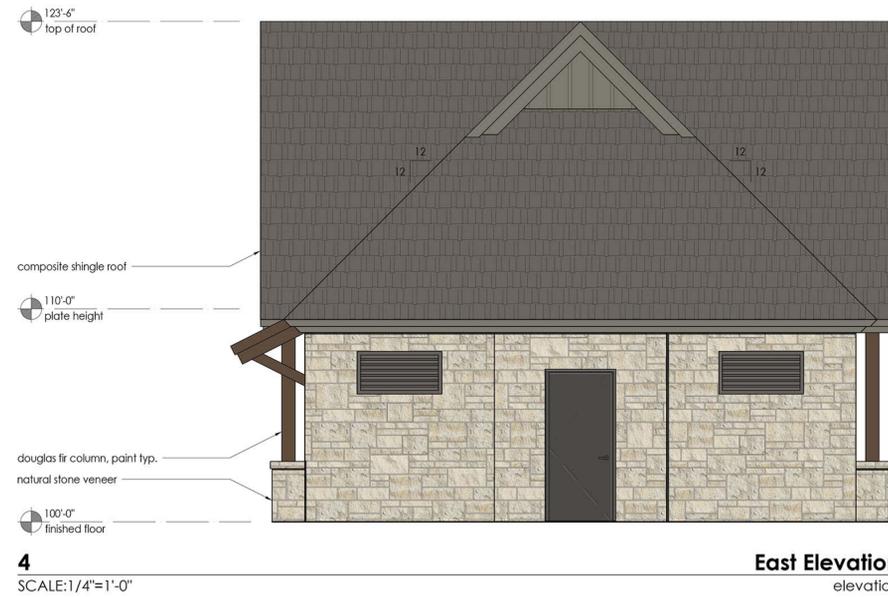
TIMBERLINE NS SHINGLES  
WEATHERED WOOD



SHERWIN WILLIAMS  
HALF-CAFF  
SW 9091

**BUILDING MATERIAL CALCULATIONS**

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ FT.	207 S.F.	-	206 S.F.	-	218 S.F.	-	378 S.F.	-
PRIMARY MATERIAL TOTALS	106 S.F.	51.21%	104 S.F.	50.49%	203 S.F.	93.12%	272 S.F.	71.96%
NATURAL STONE VENEER (HILLTOP LIMESTONE BY TEXAS STONE DESIGN, INC.)	106 S.F.	51.21%	104 S.F.	50.49%	203 S.F.	93.12%	272 S.F.	71.96%
SECONDARY MATERIAL TOTALS	101 S.F.	48.79%	102 S.F.	49.51%	15 S.F.	6.88%	106 S.F.	28.04%
FIBER CEMENT SIDING (COLOR TO MATCH ROOF SHINGLES)	-	-	-	-	7 S.F.	3.21%	-	-
DOUGLAS FIR BEAMS/COLUMNS (COLOR TO BE SW 9091 HALF-CAFF BY SHERWIN WILLIAMS)	101 S.F.	48.79%	102 S.F.	49.51%	8 S.F.	3.67%	106 S.F.	28.04%
DOOR/WINDOW/OPERABLE LOVER TOTALS	-	-	-	-	-	-	-	-
ROOF (TIMBERLINE NS SHINGLES (WEATHERED WOOD COLOR) BY GAF)	-	-	-	-	-	-	-	-



SEAL

Copyright © 2022  
DATE: 11.29.2022  
SCALE:  
JOB NO. MA22057  
DRAWN: JV  
APPD: KM  
ACAD #  
EXTERIOR ELEVATIONS

DRAWING NO. REV. NO.

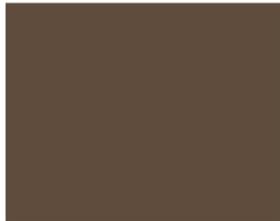
**A4.00**



TEXAS STONE DESIGN INC.  
HILLTOP LIMESTONE



TIMBERLINE NS SHINGLES  
WEATHERED WOOD



SHERWIN WILLIAMS  
HALF-CAFF  
SW 9091

# MATERIALS BOARD

SEAL

**OWNER / DEVELOPER:**

QUALICO DEVELOPMENT (U.S.), INC  
6950 TPC DRIVE, SUITE 350  
MCKINNEY, TEXAS 75070  
CONTACT: KYLE TRESSLER

**LANDSCAPE ARCHITECT:**

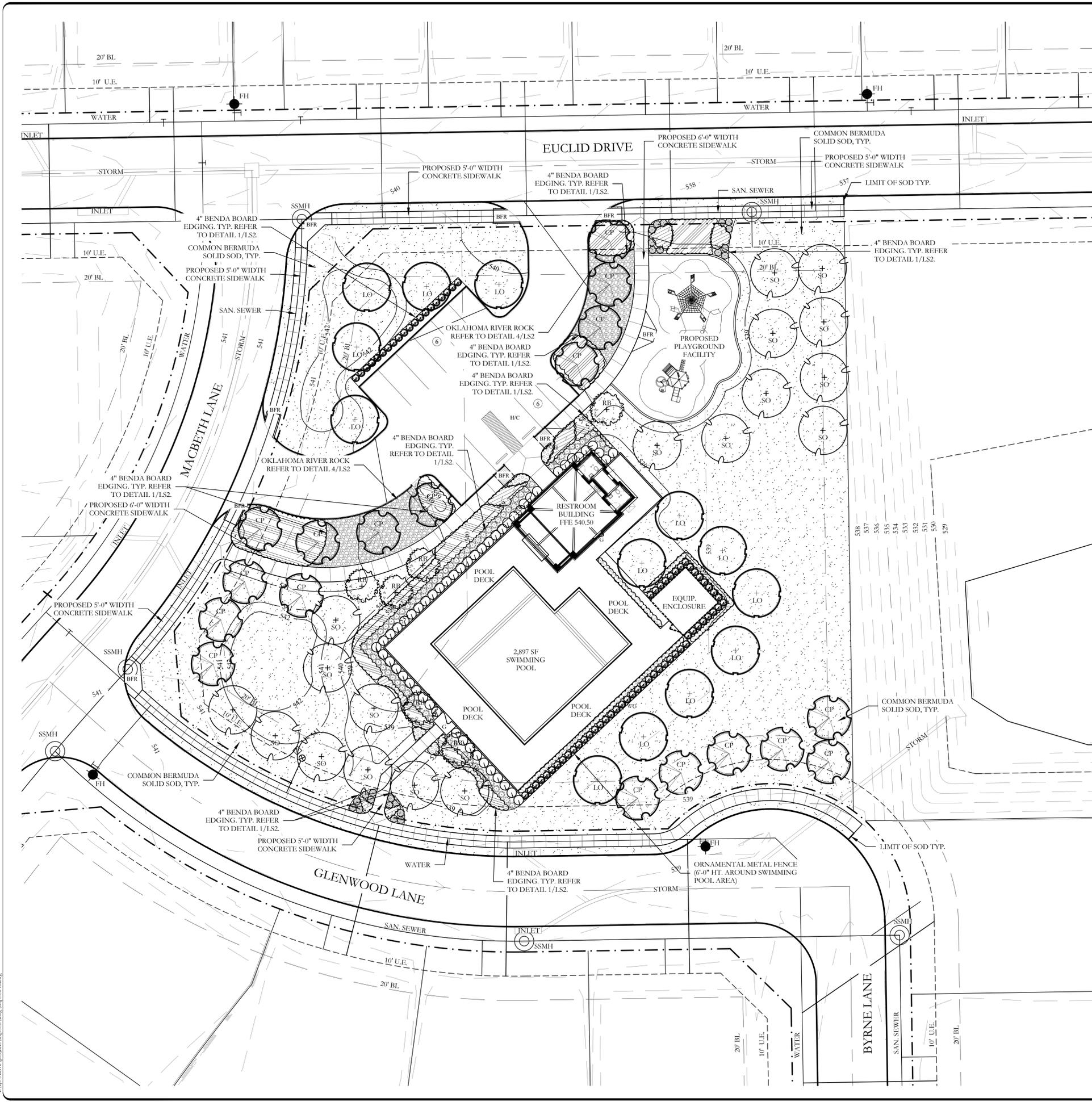
JOHNSON VOLK CONSULTING  
704 CENTRAL PARKWAY EAST, SUITE 1200  
PLANO, TEXAS 75074  
PH. (972) 201-3100  
CONTACT: CODY JOHNSON, RLA, ASLA, LI

Copyright © 2022

DATE: 11.02.2022  
SCALE:  
JOB NO. MA22057  
DRAWN: JV  
APPD: KM  
ACAD #

DRAWING NO. | REV. NO.

November 14, 2022



### PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

### SITE INFORMATION

SINGLE FAMILY RESIDENTIAL	PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA:	1.403 ACRES 61,114.68 SQ. FT.
BUILDING AREA:	1,342.68 SQUARE FEET
FLOOR TO AREA:	0.022:1 (1,342.68/61,114.68)
LOT COVERAGE:	2.20%
PARKING REQUIRED:	1 PER 250 SF. OF ASSEMBLY SPACE 1,342.68/250=5.37 6 REQUIRED SPACES
PARKING PROVIDED:	12 TOTAL, (WITH 1 HANDICAP)
HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS	
TOTAL IMPERVIOUS SURFACE:	17,917.66 SF
PROPOSED IMPERVIOUS RATIO:	0.2932 OR 29.32%
INTERIOR LANDSCAPE PROVIDED:	43,197.02 SF
POOL DECK SURFACE:	4,373.64 SF

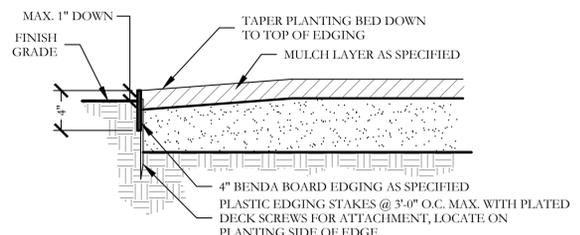
**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

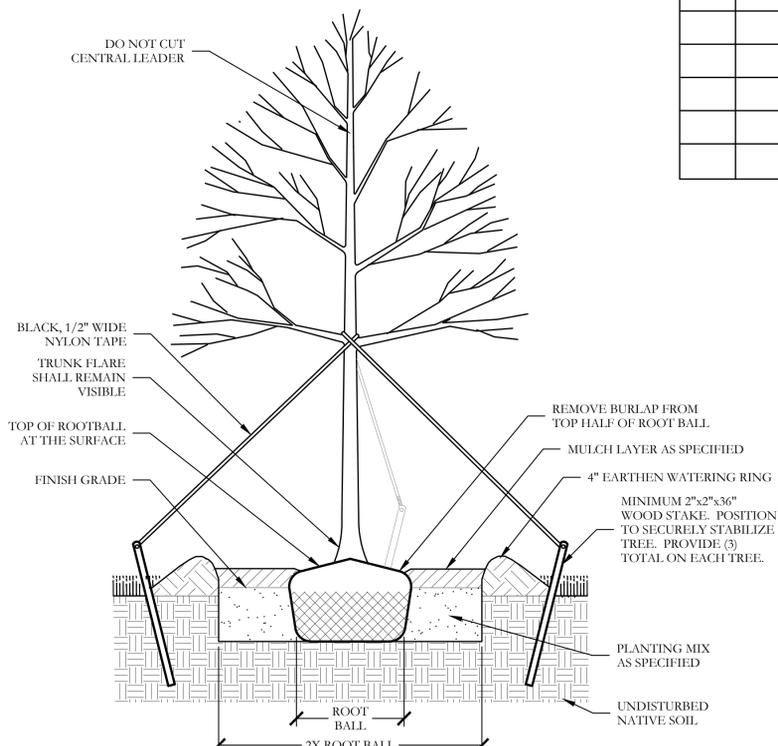
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

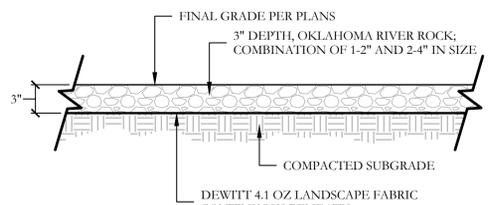




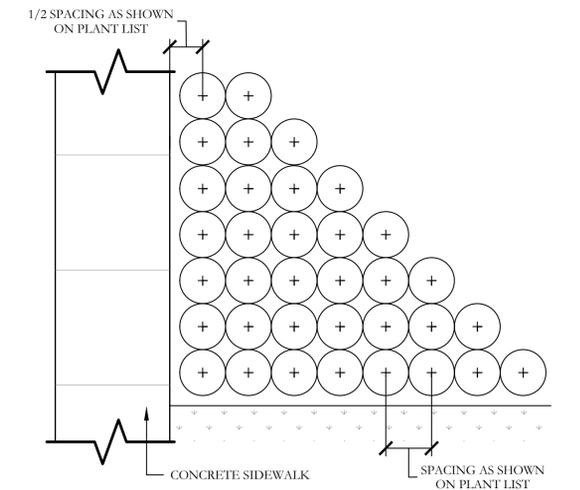
**1** TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



**2** TYPICAL TREE PLANTING SECTION NOT TO SCALE



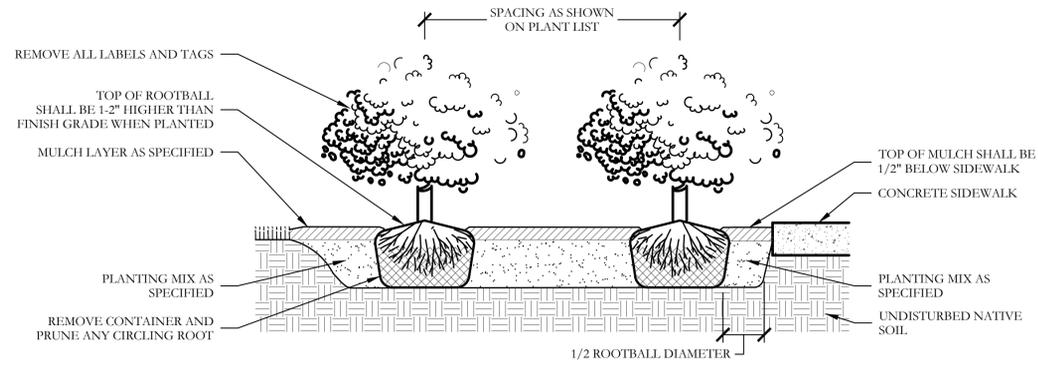
**4** OKLAHOMA RIVER ROCK BED SECTION NOT TO SCALE



**3** TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	13	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	18	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CP	08	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
RB	6	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	53	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	87	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	24	AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	70	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	690	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	200	BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	200	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	250	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	35,230	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	1,710	OKLAHOMA RIVER ROCK	3" DEPTH; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	SQUARE FEET	EQUAL MIX 1-2" AND 2-4"	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK

NOTE:  
 1. TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS.  
 2. "D" EQUALS THE SPACING DISTANCE AS SPECIFIED ON THE PLANT LEGEND.



NOT TO SCALE

GENERAL LANDSCAPE NOTES

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
  - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
  - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
  - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
  - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
  - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
  - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
  - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
  - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
  - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
  - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
  - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
  - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
  - IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
  - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
  - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
  - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
  - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
  - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
  - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

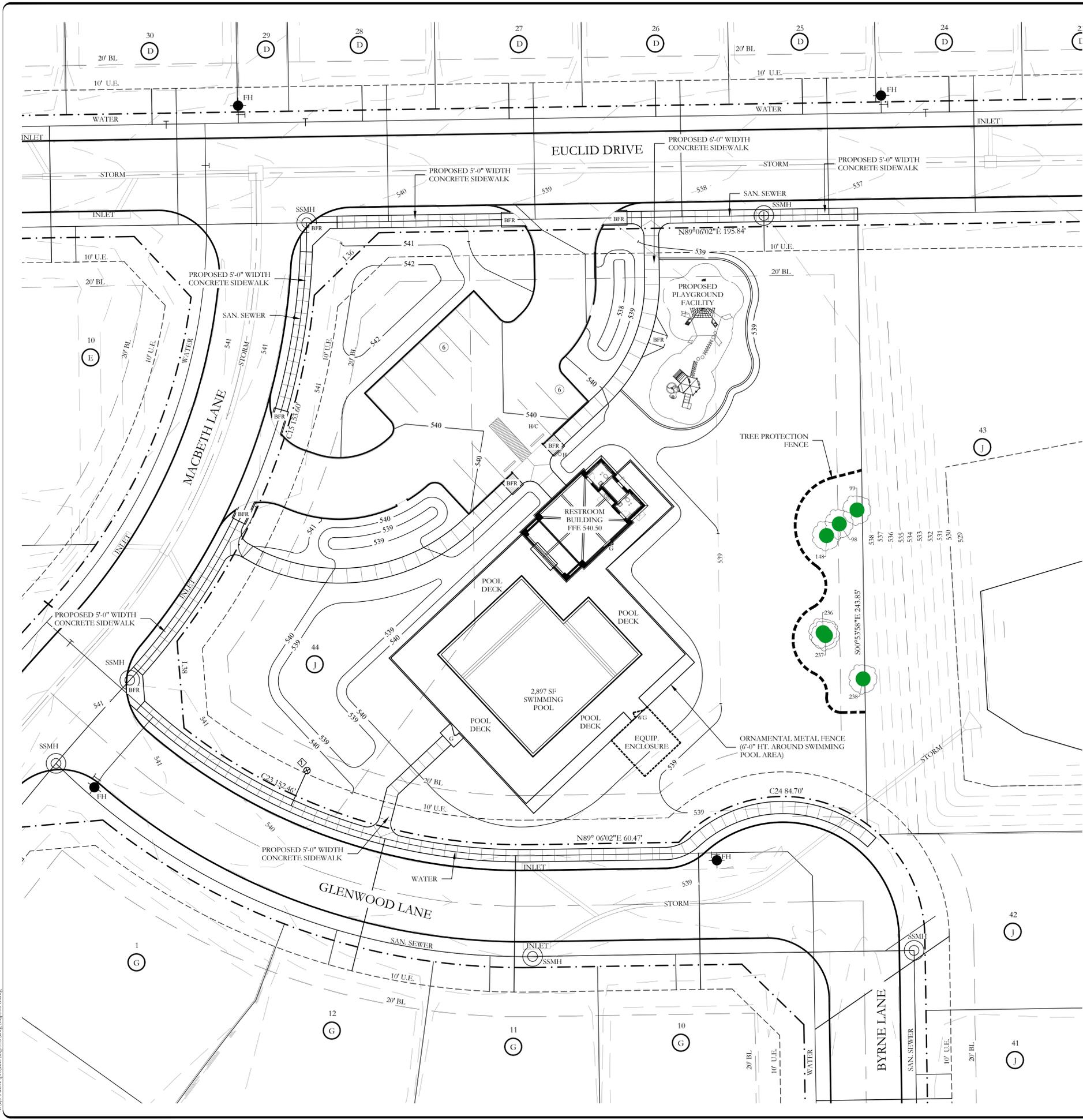
- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
  - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
  - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
  - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
  - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
  - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
  - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
  - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
  - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
  - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
  - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
  - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
  - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
  - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].  
 WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning



### LEGEND

EXISTING TREE TO BE PRESERVED.

TREE PROTECTION FENCE, TYP.

INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN, TYP.

Tree Number	Diameter at Breast Height (inches)	Species	Scientific Name	Canopy Radius (Feet)	General Condition	Status
98	15.3	Sugarberry	Celtis laevigata	10	Healthy	Preserved
99	6.5	Cedar Elm	Ulmus crassifolia	10	Healthy	Preserved
148	5.7	Cedar Elm	Ulmus crassifolia	4	Healthy	Preserved
236	6.1	Cedar Elm	Ulmus crassifolia	6	Healthy	Preserved
237	4.7	Cedar Elm	Ulmus crassifolia	4	Healthy	Preserved
238	9.5	Cedar Elm	Ulmus crassifolia	15	Healthy	Preserved

Summary	Caliper Inches	Percent CI	Number of Trees
Total Trees	47.80	100.00%	6
Preserved Trees	47.80	100.00%	6

#### SITE INFORMATION

SINGLE FAMILY RESIDENTIAL  
 PROPOSED USE: PRIVATE RECREATION CENTER  
 LAND AREA: 1.403 ACRES  
 61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET  
 BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.022:1 [1,342.68/61,114.68]  
 LOT COVERAGE: 2.20%

PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE  
 1,342.68/250=5.37  
 6 REQUIRED SPACES

PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

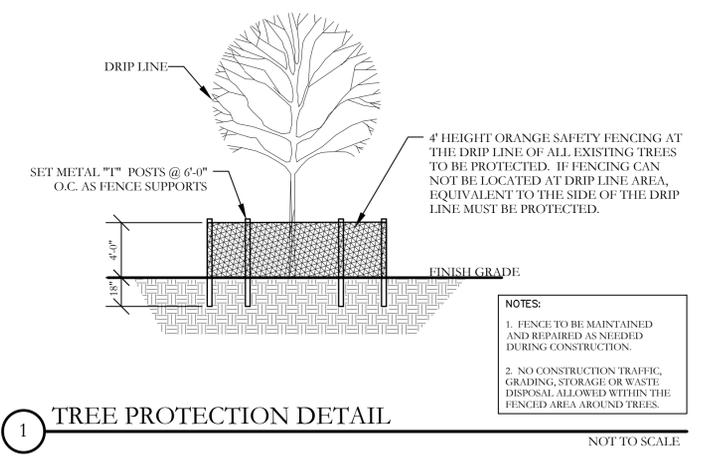
HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

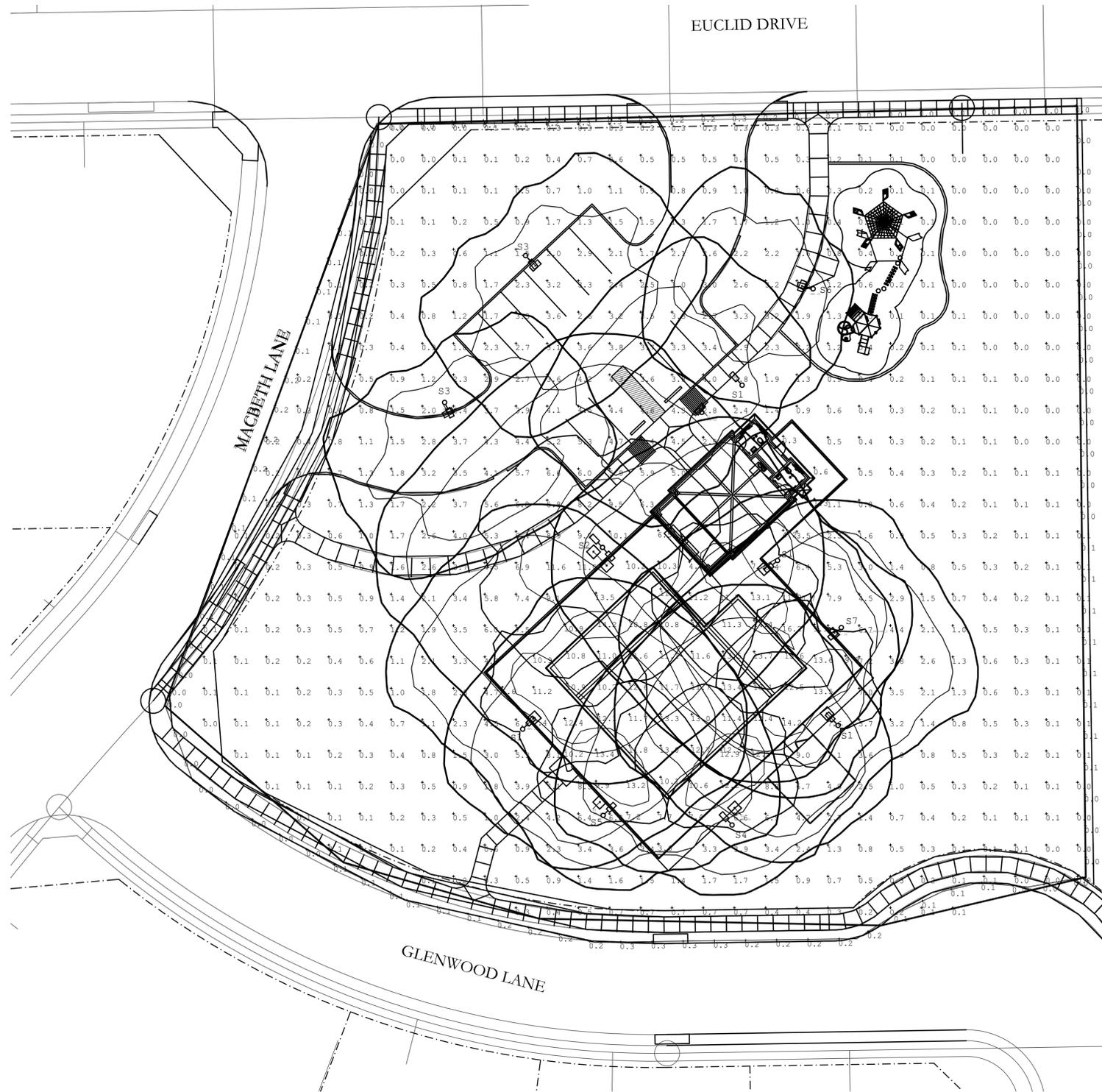
TOTAL IMPERVIOUS SURFACE: 17,917.66 SF  
 PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%  
 INTERIOR LANDSCAPE PROVIDED: 43,197.02 SF

POOL DECK SURFACE: 4,373.64 SF

#### TREE PROTECTION NOTES

- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
- DISPOSAL OF ANY WASTE MATERIAL, SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
- NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
- NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED





**1 SITE PLAN - ELECTRICAL - PHOTOMETRICS**  
SCALE: 1" = 20'-0"

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts
□	1	S6	SINGLE	N.A.	0.850	EALSO3 D4AF740 WITH ELS-EAL-RS2-BLCK	70	70	70
□	1	S5	SINGLE	N.A.	0.850	EALSO3 K4AF740 WITH ELS-EAL-FS2-BLCK	239	239	239
□	1	S4	SINGLE	N.A.	0.850	EALSO3 K4AF740 WITH ELS-EAL-FS2-BLCK	239	239	239
□	3	S3	SINGLE	N.A.	0.850	EALSO3 D4AF740	70	70	210
□	3	S1	SINGLE	N.A.	0.850	EALSO3 J4AF740	186	186	558
□	1	S2	D180°	N.A.	0.850	EALSO3 J4AF740	186	372	372
□	1	S7	SINGLE	N.A.	0.850	EALP03 H4AF740 WITH ELS-EAL-RS2-BLCK	151	151	151

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
GROUND Planar	Illuminance	Fc	1.60	11.8	0.0	N.A.	N.A.
POOL DECK Planar	Illuminance	Fc	9.52	15.5	0.2	47.60	77.50
POOL SURFACE POOL SURFACE	Illuminance	Fc	12.02	14.2	10.2	1.18	1.39
PROPERTY LINE	Illuminance	Fc	0.10	0.3	0.0	N.A.	N.A.

CONTRACTOR SHALL COORDINATE  
MEP DRAWINGS WITH ALL OTHER  
DISCIPLINES



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Houston 832.532.2007



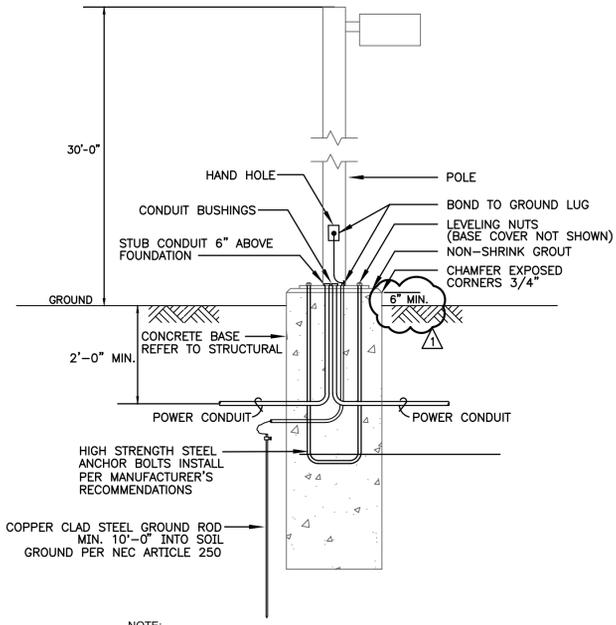
**Nelson Lake  
Amenity Center**  
Rockwall, TEXAS

Issue: PERMIT 10/18/2022  
Revisions:

Drawing Title:  
**ELECTRICAL -  
SITE PLAN  
PHOTOMETRICS**

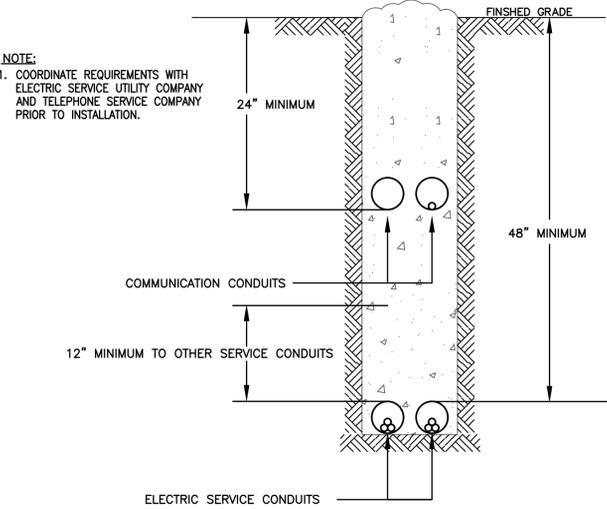
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AOS JOB #: 3799-001-22



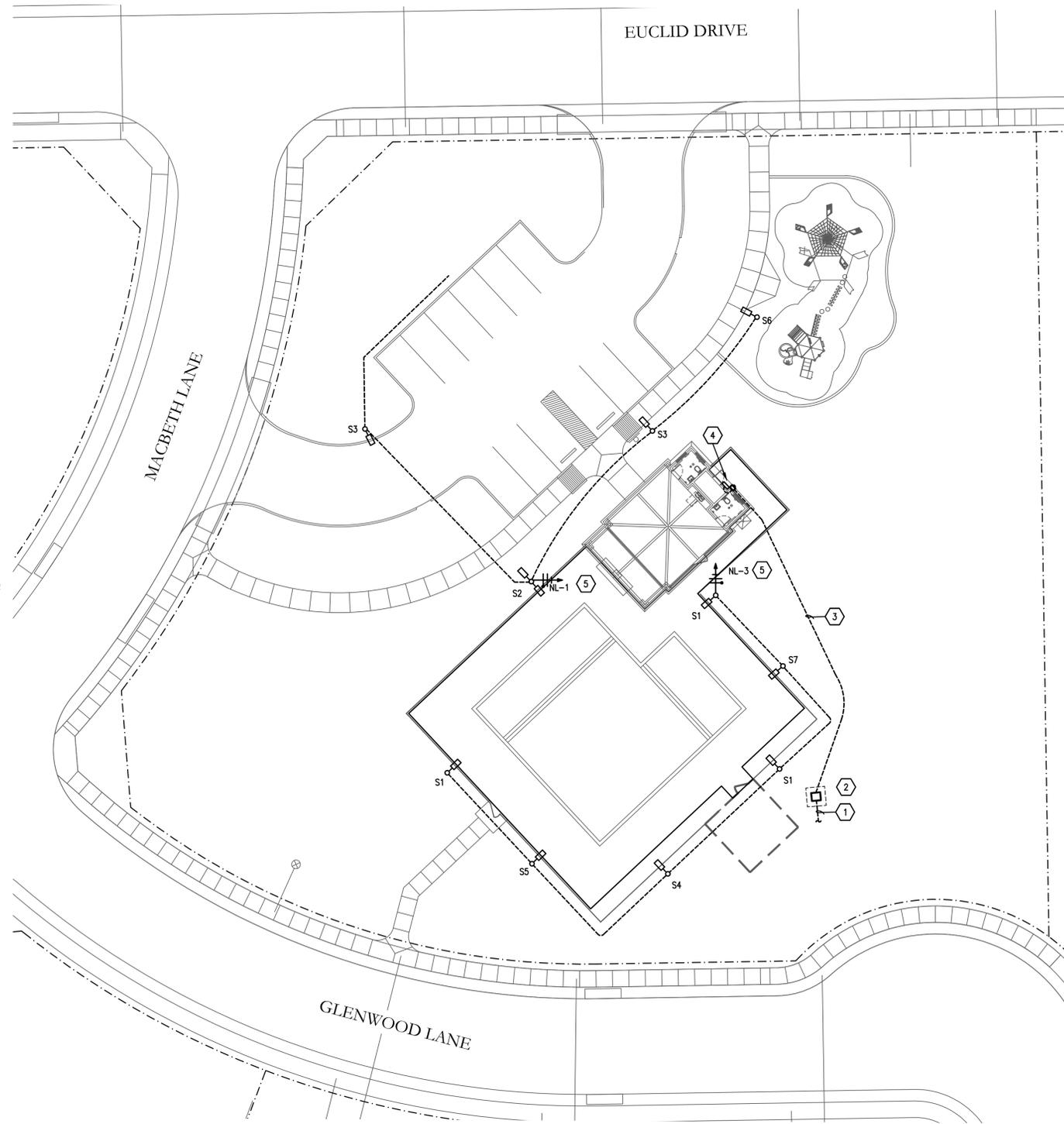
NOTE:  
1. CONTRACTOR SHALL VERIFY ALL STRUCTURAL ELEMENTS WITH LICENSED STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

**2 SITE LIGHTING FIXTURE POLE BASE DETAIL**  
SCALE: NONE



NOTE:  
1. COORDINATE REQUIREMENTS WITH ELECTRIC SERVICE UTILITY COMPANY AND TELEPHONE SERVICE COMPANY PRIOR TO INSTALLATION.

**3 ELECTRIC AND COMMUNICATION TRENCH DETAIL**  
SCALE: NONE



**1 SITE PLAN - ELECTRICAL**  
SCALE: 1" = 20'-0"

**GENERAL NOTES:**

- A. CONTRACTOR SHALL COORDINATE EASEMENT ON CENTERLINE OF UNDERGROUND PRIMARY WITH UTILITY COMPANY.
- B. CONTRACTOR SHALL COORDINATE PLACEMENT AND ROUTING OF CONDUITS WITH UTILITY COMPANY PRIOR TO INSTALLATION. COORDINATE EXACT CONDUIT SIZES AND QUANTITIES WITH UTILITY COMPANY PRIOR TO INSTALLATION.
- C. THE ELECTRICAL INFORMATION SHOWN ON THIS PLAN IS BASED ON INFORMATION AVAILABLE AT THE TIME OF DESIGN. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED. THE ELECTRICAL CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE COMPANIES INVOLVED.
- D. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANY, TELEPHONE COMPANY, AND CABLE TV COMPANY, VERIFY ALL REQUIREMENTS AND EQUIPMENT. THE CONTRACTOR SHALL ALSO FURNISH AND INSTALL ALL WIRING, BOXES, CONDUIT, CONCRETE PADS, TRENCHING AND BACKFILL, ETC. AS NECESSARY FOR PROPER INSTALLATION.
- E. THE CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, THE LOCATIONS OF ALL EXISTING UTILITY SERVICES AND EQUIPMENT, AND THE PROPOSED LOCATIONS OF ALL NEW UTILITY SERVICES AND EQUIPMENT. NO ALLOWANCES WILL BE MADE FOR THE CONTRACTOR'S UNFAMILIARITY WITH THE EXISTING CONDITIONS, REQUIREMENTS OF THE NEW LOCATIONS, AND/OR FAILURE TO COORDINATE INSTALLATION.
- F. THE CONTRACTOR SHALL CONTACT THE LOCAL ELECTRICAL CODE ENFORCEMENT AUTHORITIES AND THE LOCAL FIRE MARSHALL, VERIFY ALL REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL ALL ELECTRICAL ITEMS NECESSARY FOR PROPER INSTALLATION IN STRICT ACCORDANCE WITH THE GUIDELINES AND INTERPRETATIONS SET FORTH BY THESE GOVERNING LOCAL AUTHORITIES BEYOND THOSE SET FORTH IN THE NEC AND NFPA. NO ALLOWANCES WILL BE MADE FOR THE CONTRACTOR'S FAILURE TO COORDINATE ALL SUCH REQUIREMENTS WITH SAID LOCAL AUTHORITIES.
- G. CONTRACTOR TO LIMIT ALL BRANCH CIRCUITRY TO 3% VOLTAGE DROP.
- H. CONTRACTOR TO LIMIT ALL FEEDERS TO 2% VOLTAGE DROP.

**KEY NOTES:**

- 1 ELECTRICAL PRIMARY FEEDERS. COORDINATE EXACT COST, INSTALLATION REQUIREMENTS, AND ROUTING OF PRIMARY FEEDERS WITH UTILITY COMPANY.
- 2 LOCATION OF PAD MOUNTED UTILITY TRANSFORMER.
- 3 SECONDARY ELECTRICAL SERVICE TO BE INSTALLED BY CONTRACTOR. REFER TO ONE-LINE DIAGRAM SHEET E3.01.
- 4 ELECTRICAL SERVICE LOCATION. REFER TO ELECTRICAL SCHEDULES AND RISER DIAGRAM ON SHEET E3.01. FOR ADDITIONAL INFORMATION.
- 5 ROUTE CIRCUIT (2 #10, #10G. - 3/4"C.) THROUGH LIGHTING CONTROL PANEL FOR PHOTOCCELL ON/OFF CONTROL. RE:3/E3.01.



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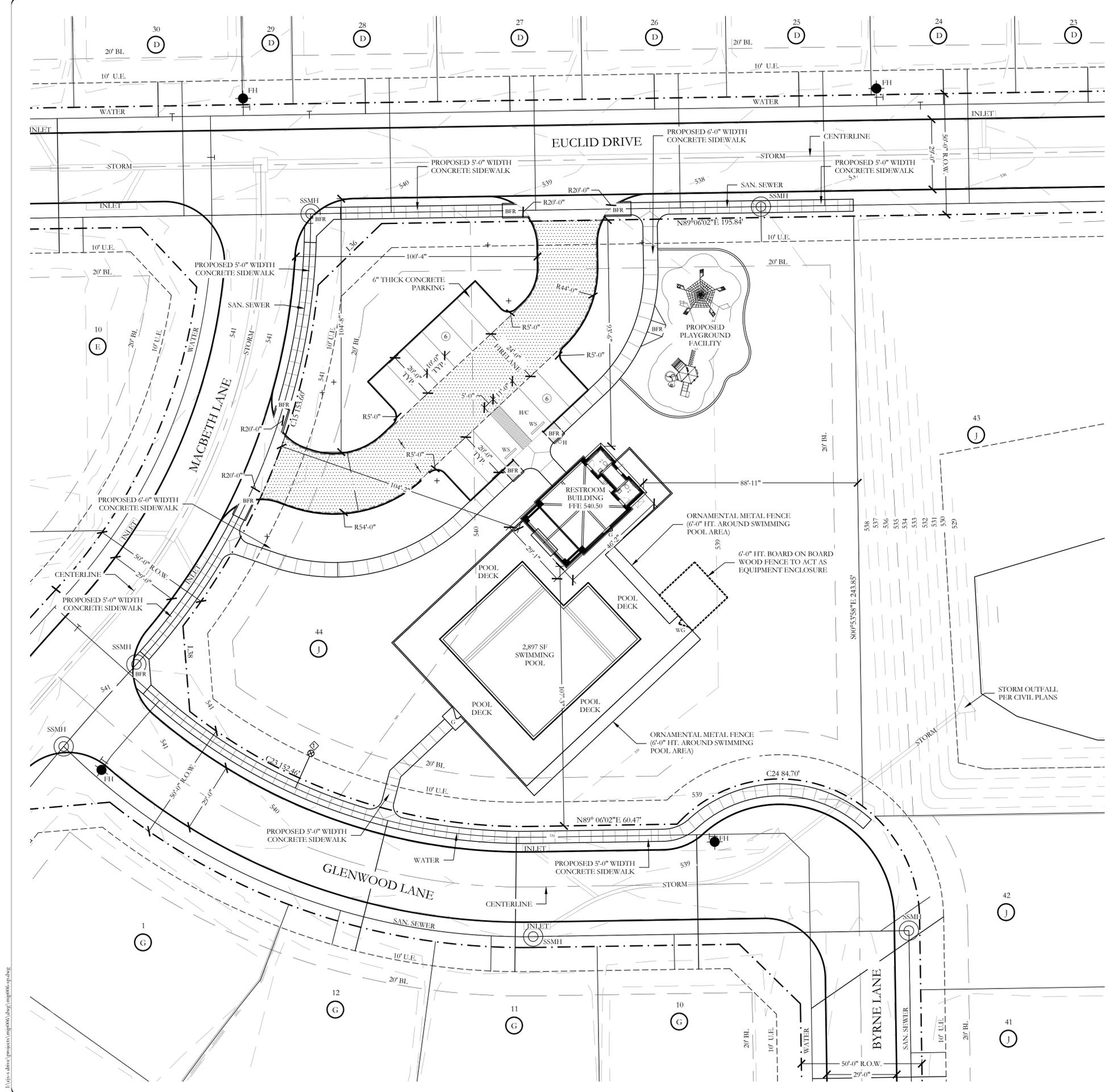
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Revisions:

Drawing Title:  
**ELECTRICAL -  
SITE PLAN**

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**E1.01**

CONTRACTOR SHALL COORDINATE  
MEP DRAWINGS WITH ALL OTHER  
DISCIPLINES

AOS JOB #: 3799-001-22

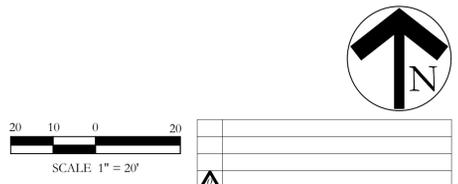


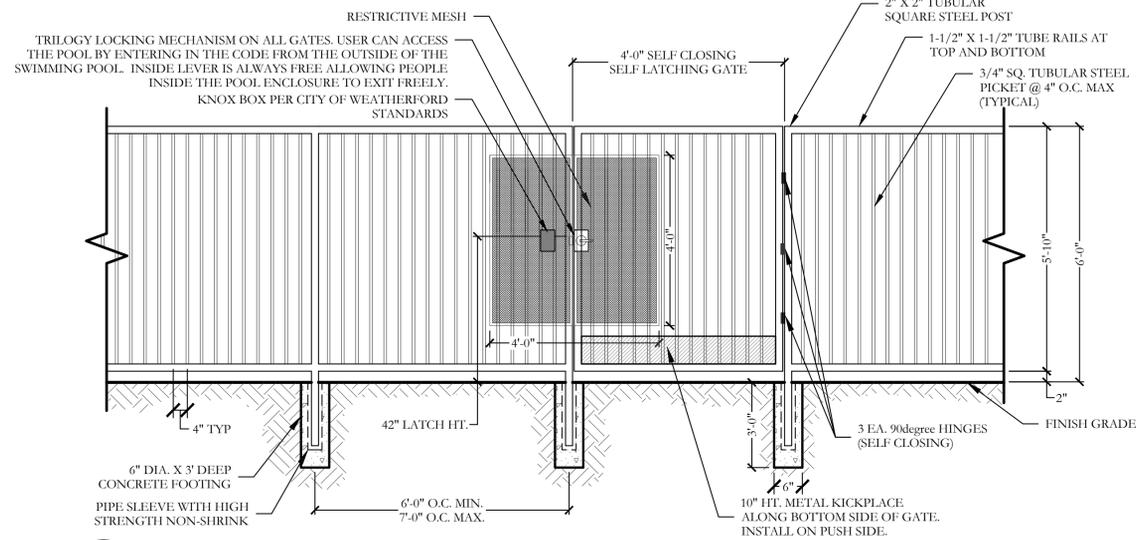
### LEGEND

⑥	PROPOSED PARKING COUNT	⊕	EXISTING 1" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	H	HANDICAP PARKING SIGN
H/C	HANDICAP PARKING SPACE	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
●	EXISTING FIRE HYDRANT	7	1 - 4'-0" WIDTH SELF LATCHING, SELF-CLOSING METAL GATE
⊙	EXISTING SANITARY SEWER MANHOLE	WG	1 - 4'-0" WIDTH SELF LATCHING, SELF-CLOSING WOODEN GATE
—	EXISTING WATER MAIN W/ VALVE	---	5'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
—	EXISTING SANITARY SEWER	---	EXISTING CONTOUR INTERVAL
—	EXISTING STORM	FFE 539.95	FINISHED FLOOR ELEVATION
—	EXISTING CURB INLET	---	FIRELANE PAVING PER CITY STANDARD DETAILS
—	RIGHT-OF-WAY		
WS	PROPOSED CONCRETE WHEEL STOP		

- ### SWIMMING POOL NOTES
- THE SWIMMING POOL PLAN SHOWN IS FOR GENERAL LAYOUT OF THE POOL AREA ONLY. THE SWIMMING POOL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL POOL EQUIPMENT, PIPING, GUNITE SHELL, TILE, COPING, ELECTRICAL AND JUNCTION BOXES, PERMITS AND CITY CODE ACCEPTANCE OF ALL THE LISTED ITEMS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DESIGN AND ENGINEERING OF THE POOL'S STRUCTURAL AND HYDRAULIC ELEMENTS.
  - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AS REQUIRED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. THE SHOP DRAWINGS SHALL CONTAIN THE LAYOUT, SHELL DETAIL, STRUCTURAL DETAILS, SCHEMATIC PIPING DIAGRAMS AND "CUT SHEETS" FOR ALL PROPOSED POOL EQUIPMENT.
  - THE GENERAL CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ROUGH GRADING THE POOL AREA.
  - THE POOL CONTRACTOR SHALL BE RESPONSIBLE FOR STAKING THE POOL AND SETTING FINISHED GRADE AS PER PLANS. SEE THE POOL LAYOUT PLANS FOR PROPOSED GRADING OF THE POOL AREA. THE OWNER'S REPRESENTATIVE SHALL REVIEW THE POOL LAYOUT AND PROPOSED ELEVATIONS BEFORE EXCAVATION BEGINS.
  - ALL REQUIRED UTILITIES ARE TO BE SUPPLIED BY THE GENERAL CONTRACTOR TO THE LOCATION OF THE POOL EQUIPMENT. THE CONTRACTOR SHALL VERIFY LOCATION OF THE POOL EQUIPMENT WITH THE OWNER.
  - THE GUNITE VESSEL IS TO BE GROUNDED PER CITY CODE.
  - POOL PIPING SHALL BE SCHEDULE 40 PVC. FLEXIBLE PVC WILL NOT BE ALLOWED.
  - ALL POOL DECKS SHALL HAVE A MINIMUM .5% SLOPE AWAY FROM POOL FOR DRAINAGE.
  - ALL GRADES ADJACENT TO WALKS AND POOL DECKS CONSTRUCTED BY THE POOL CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE POOL CONTRACTOR TO ACHIEVE THE CORRECT ELEVATION.
  - THE POOL SHELL SHALL BE GUNITE WITH A PLASTER FINISH-COLOR TO BE SELECTED BY OWNER.
  - POOL SHELL: (AS A MINIMUM) (CONTRACTOR TO PROVIDE STRUCTURAL ENGINEERED SHOP DRAWINGS)
    - STEEL-
      - FLOOR AND WALLS TO HAVE A GRID OF #4 REAR @ 10" EACH WAY.
      - BOND BEAM TO HAVE FOUR CONTINUOUS #4 BARS.
      - ALL STEEL.
      - BAR ENDS TO OVERLAP ATTACHED EXTENSION BARS A MINIMUM OF FORTY TIMES THEIR DIAMETER. NO HORIZONTAL OVERLAPS SHALL OCCUR AT THE CORNERS OF THE BOND BEAM.
      - ALL STEEL SHALL BE BLOCKED OUT 2" FROM EXCAVATION SOIL.
    - CONCRETE-
      - FLOOR AND WALLS TO BE A MINIMUM 8" THICK AT ANY LOCATION.
      - BOND BEAM TO BE A MINIMUM OF 12" THICK AT THE TOP AND 12" DEEP AT BACK AND TAPERED 45° TO THE BACK OF THE POOL WALL.
      - THE SHELL IS TO HAVE AIR-PLACED CONCRETE WITH A MINIMUM OF 7 SACKS OF CEMENT PER CUBIC YARD WITH 3/8" ROCK AGGREGATE. MINIMUM CONCRETE STRENGTH TO BE 3000 PSI. MAXIMUM CONCRETE SLUMP SHALL BE 4".
  - THE POOL DEPTH IS TO BE 3'-0" AT THE STEPS AND 4'-6" AT THE MAIN DRAIN AS MEASURED FROM THE WATER LINE.
  - PROVIDE 4" STANDARD DEPTH MARKER INSERTS FOR POOL WALLS AND AT EDGE OF DECK
  - THE POOL DIMENSIONS SHOWN ARE TO THE INSIDE OF THE POOL WALL BEFORE PLASTER.
  - THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN WITH THE PLAN AND IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THEM BY THIS WORK.
  - POOL DECK SURFACE AND BANDING TO BE DETERMINED BY OWNER PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CITY AND STATE HEALTH CODES AND REQUIREMENTS FOR SWIMMING POOLS, WHETHER OR NOT THEY ARE ADDRESSED ON THE PLANS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED POOL EQUIPMENT, I.E. PUMPS, SKIMMERS, RETURNS, FILTERS AND TO COMPLY WITH ALL STATE AND LOCAL CODES.
  - POOL EQUIPMENT ENCLOSURE SHALL HAVE A CRUSHED GRAVEL BASE. REFER TO DETAIL 3/1A.

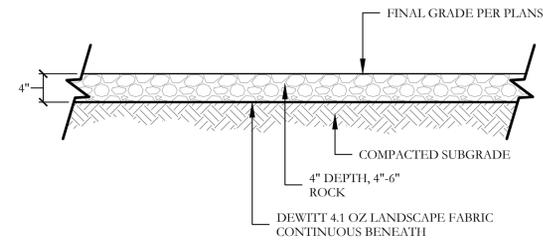
- ### FENCE LAYOUT NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPE AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND UTILITIES AND WILL BE RESPONSIBLE FOR COSTS INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES OR STRUCTURES CAUSED BY HIS FORCES.
  - DO NOT WILLFULLY PROCEED WITH CONSTRUCTION, AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS OR CONFLICTS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE PROPOSED WALLS AND COLUMNS. THE OWNER'S ENGINEER SHALL STAKE THE LOCATIONS OF THE PROPERTY, R.O.W. LINES AND EASEMENTS.
  - THE CONTRACTOR SHALL STAKE ALL OF THE FENCE AND COLUMN LOCATIONS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. THE OWNER'S REPRESENTATIVE MAY MAKE MINOR ALTERATIONS TO THE LAYOUT AFTER STAKING AND BEFORE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
  - ALL "STEPS" IN THE WALL MADE NECESSARY BY GRADE CHANGES OR EXISTING SLOPE SHALL OCCUR ONLY AT MINOR OR MAJOR COLUMNS. THE MINIMUM "STEP" AT A COLUMN SHALL BE 3" AND THE MAXIMUM "STEP" AT A COLUMN SHALL BE 6".
  - ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
  - THE ELECTRICAL WORK SHALL INCLUDE ALL NECESSARY CONDUITS, WIRE, FITTINGS, FIXTURES TRENCHING AND OTHER MISCELLANEOUS ITEMS NECESSARY TO COMPLETE THE WORK.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND CITY ACCEPTANCE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AS NEEDED FOR FENCE AND COLUMN INSTALLATION. THE CONTRACTOR SHALL RETURN THE SITE TO PRE-CONSTRUCTION CONDITION.





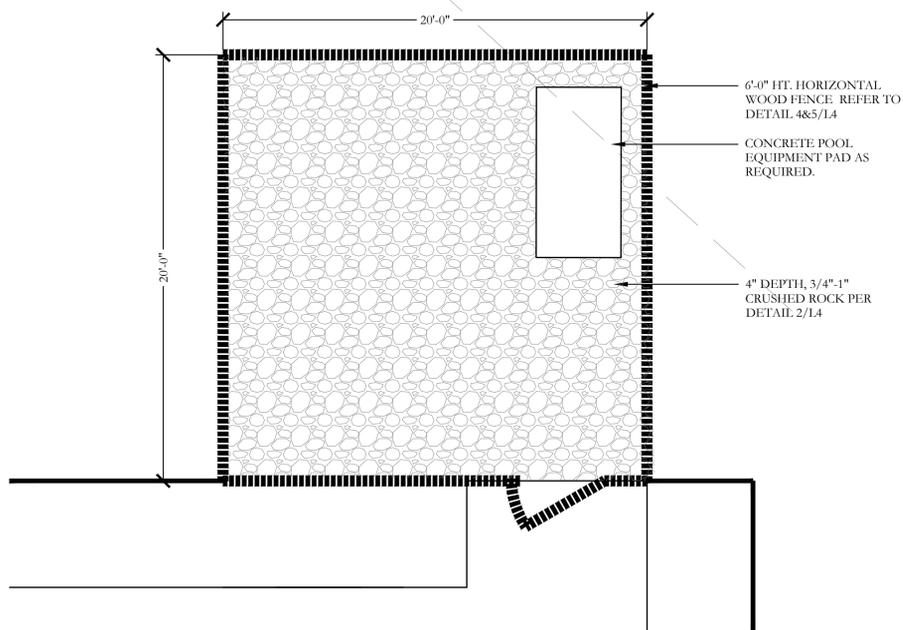
**1 ORNAMENTAL METAL FENCE AND GATE ELEVATION**

SCALE: 1/2" = 1'-0"



**2 CRUSHED ROCK BASE SECTION**

SCALE: 1" = 1'-0"

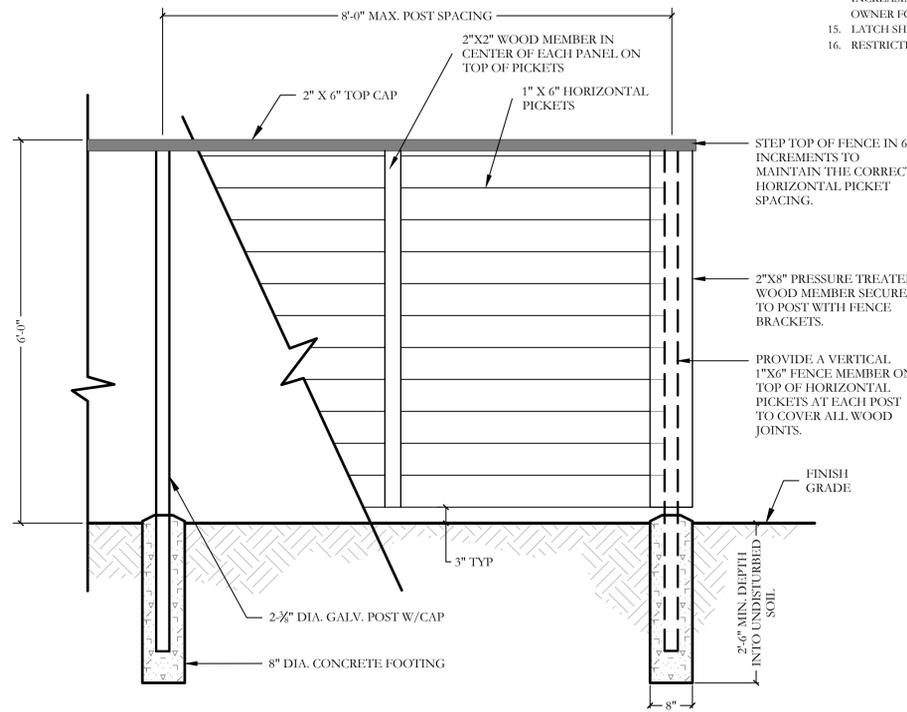


**3 POOL EQUIPMENT & TRASH TOTE ENCLOSURE PLAN**

SCALE: 1/4" = 1'-0"

**WOOD FENCE NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCKWALL CODES AND REQUIREMENTS.
4. WOOD MATERIAL FOR FENCE
  - 4.1. STRINGERS- CEDAR, #2 GRADE OR BETTER. COLOR TO MATCH PAVILION.
  - 4.2. PICKETS- CEDAR, #2 GRADE OR BETTER. COLOR TO MATCH PAVILION.
  - 4.3. CAPS- CEDAR, #2 GRADE OR, BETTER. COLOR TO MATCH PAVILION.
5. ALL FENCE POST TO BE SCHEDULE 40 - GALVANIZED.
6. ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC. ARE TO BE HOT DIPPED GALVANIZED.
7. ALL PICKETS ARE TO BE FASTENED TO THE RAILS USING GALVANIZED SCREWS, STAPLES AND/OR NAILS WILL NOT BE ALLOWED. SCREW WITHOUT SPLITTING MEMBERS, DRILL PILOT HOLES IF NECESSARY. ALL SPLIT MEMBERS WILL BE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
8. ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. INSTALL STRINGERS WITH BOTTOM EDGES FREE OF DEFECTS. MITER ALL EXPOSED FINISHED JOINTS.
9. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
10. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.



**4 PARTIAL 6'-0" HT. WOOD FENCE ELEVATION**

SCALE: 3/4" = 1'-0"

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

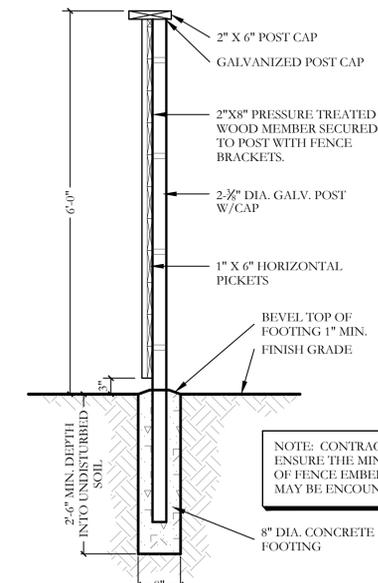
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

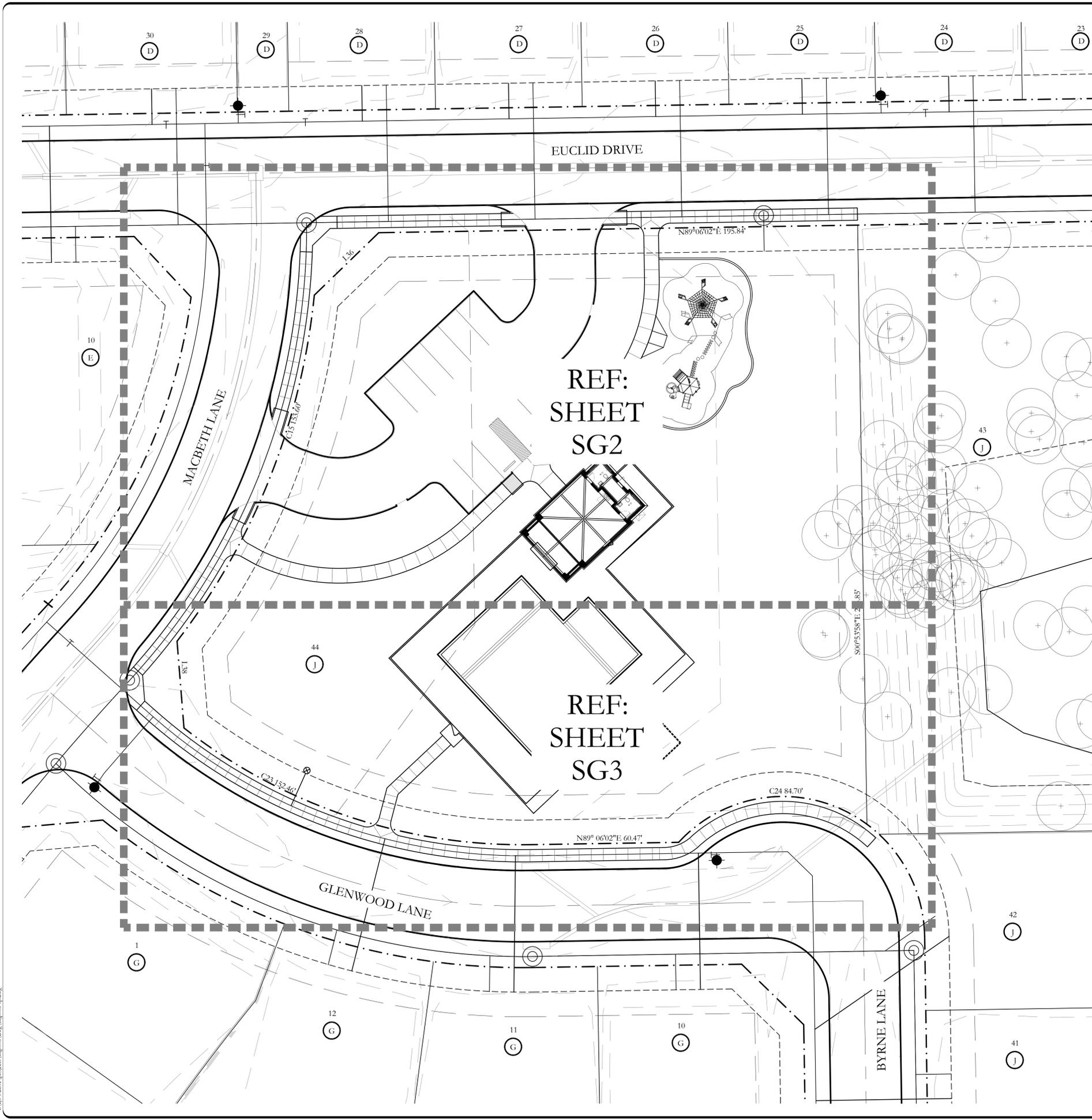
**ORNAMENTAL METAL FENCE NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
6. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBANE BRONZE (SW7048) BY SHERWIN WILLIAMS PAINT CO., COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
8. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
9. FENCE MEMBER SIZES TO BE AS FOLLOWS:
  - 9.1. PICKETS, 3/4" SQUARE 16 GA.
  - 9.2. RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
  - 9.3. POSTS, 2" SQUARE 11 GA.
10. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
11. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
12. GATE IS TO BE SELF CLOSING. FALCON B561DBD626 SATIN CHROME DANE SFC CLASSROOM LOCK BY A&H TURF OR APPROVED EQUAL. DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C AND A MAXIMUM DISTANCE OF 7'-0" O.C.
14. POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
15. LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
16. RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2" AND SHALL



**5 6'-0" HT. WOOD FENCE SECTION**

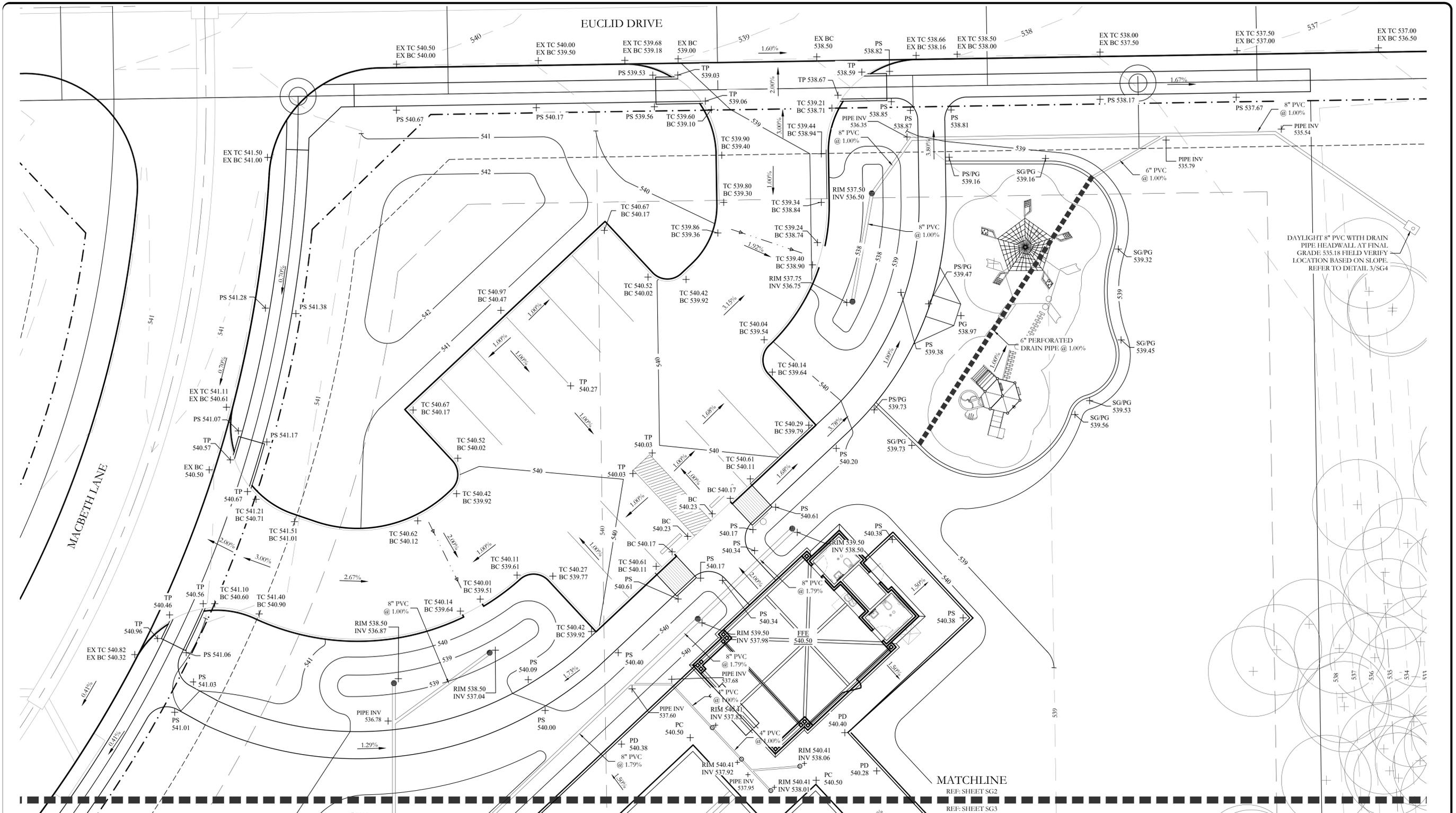
SCALE: 3/4" = 1'-0"



**GRADING NOTES**

1. TOP SOIL SHALL NOT BE REMOVED FROM RESIDENTIAL LOTS OR USED AS SPOIL, BUT SHALL BE STRIPPED AND REDISTRIBUTED SO AS TO PROVIDE AT LEAST SIX (6) INCHES OF COVER ON THE LOTS, PARKWAYS AND MEDIANS. PERMANENT EROSION CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT THE DEVELOPMENT PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS.
2. TEMPORARY EROSION CONTROL SHALL BE USED TO MINIMIZE THE SPREAD OF SILT AND MUD FROM THE PROJECT ON TO EXISTING STREETS, ALLEYS, DRAINAGEWAYS AND PUBLIC AND PRIVATE PROPERTY. TEMPORARY EROSION CONTROLS MAY INCLUDE SILT FENCES, STRAW BALES, BERMS, DIKES, SWALES, STRIPS OF UNDISTURBED VEGETATION, CHECK DAMS AND OTHER METHODS AS REQUIRED BY THE CITY ADMINISTRATOR OR HIS REPRESENTATIVE AND AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
3. ALL STREET RIGHTS-OF-WAY, REGARDLESS OF SLOPE; ALL FINISHED GRADE SLOPES THAT ARE STEEPER THAN 6:1; AND THE FLOW LINES OF ALL DRAINAGE DITCHES AND SWALES SHALL BE COMPLETELY COVERED WITH EROSION CONTROL MATTING AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
4. GRASS SHALL BE ESTABLISHED ON THE SLOPES OF ALL DRAINAGE CHANNELS THAT ARE STEEPER THAN 6:1. GRASS SHALL MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION.
5. ALL PERMEABLE SURFACES WITHIN THE DEVELOPMENT SHALL BE GRADED TO A SMOOTH AND UNIFORM APPEARANCE THAT CAN BE EASILY MOWED WITH A SMALL RESIDENTIAL RIDING LAWN MOWER.
6. COMPACTING AREA TO BE FILLED: AFTER THE AREA TO BE FILLED IS CLEARED AND SCARIFIED, THE SUBGRADE SOILS SHALL BE COMPACTED MECHANICALLY TO AT LEAST 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) AND AT A MOISTURE CONTENT WITHIN 3 PERCENTAGE POINTS OF THE MATERIALS OPTIMUM MOISTURE.
7. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TOPSOIL FOR CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE AROUND AND DIRECTING DRAINAGE AWAY FROM THE BUILDING, POOL, AND PLAYGROUND AREA.
9. ALL SIDEWALK PAVING SHALL HAVE A MAXIMUM 5% LONGITUDINAL SLOPE WITH A MAX. 2% CROSS SLOPE IN ACCORDANCE WITH TEXAS ACCESSIBILITY STANDARDS (TAS). CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO REQUIREMENTS.

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DAYLIGHT 8" PVC WITH DRAIN PIPE HEADWALL AT FINAL GRADE 535.18 FIELD VERIFY LOCATION BASED ON SLOPE. REFER TO DETAIL 3/SG4

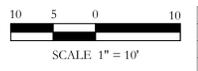
**GRADING LEGEND**

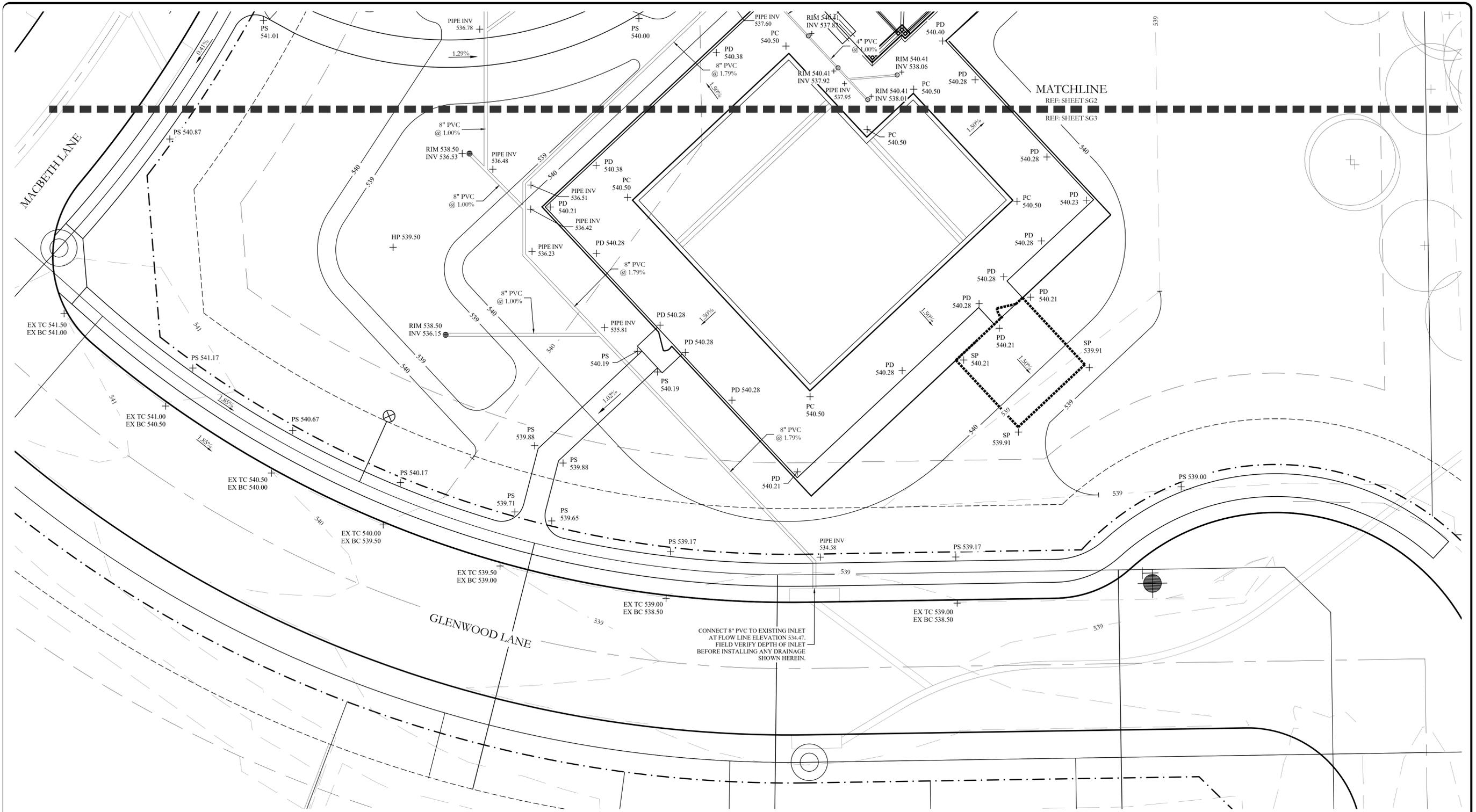
PD + 102.9	PROPOSED POOL DECK SPOT ELEVATION	HP + 102.9	PROPOSED HIGH POINT SPOT ELEVATION
PC + 102.9	PROPOSED POOL COPING SPOT ELEVATION	FFE 540.50	PROPOSED FINISH FLOOR ELEVATION
PS + 102.9	PROPOSED SIDEWALK SPOT ELEVATION	→	PROPOSED FLOW DIRECTION, 2% MAX. SLOPE IN ALL DIRECTIONS ON POOL DECK
TC 102.9 + BC 102.4	PROPOSED TOP AND BOTTOM OF CURB SPOT ELEVATION	— 540 —	PROPOSED CONTOUR
EX. TC 102.9 + EX. BC 102.4	EXISTING TOP AND BOTTOM OF CURB SPOT ELEVATION	- - - 540 - - -	EXISTING CONTOUR
TW 102.9 + BC 102.4	TOP AND BOTTOM OF PROPOSED WALL ELEVATION	→	PROPOSED FLOW LINE
TP + 102.9	PROPOSED TOP OF PAVING SPOT ELEVATION	○	4" DIA. SURFACE DRAIN IN POOL DECK SYMBOL N.T.S FOR CLARITY REFER TO DETAIL 1/SG4.
SP + 102.9	PROPOSED SPOT GRADE SPOT ELEVATION	●	12" DIA. DRAIN INLET. REFER TO DETAIL 2/SG4.
PG + 102.9	PROPOSED PLAYGROUND EDGE SPOT ELEVATION	—	PROPOSED DRAINAGE PVC OR HDPE REFER TO PLAN FOR SIZING
		○	PROPOSED DRAIN PIPE HEADWALL. REFER TO DETAIL 3/SG4.

THE CONTRACTOR SHALL FIELD VERIFY THAT NO CROSS SLOPES FOR PEDESTRIAN PAVING EXCEED 2%.

**GRADING NOTES**

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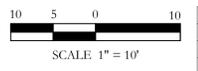
**GRADING LEGEND**

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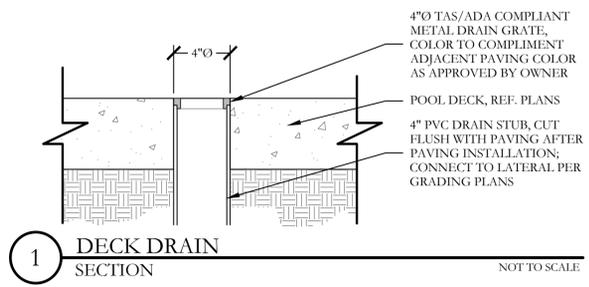
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**GRADING NOTES**

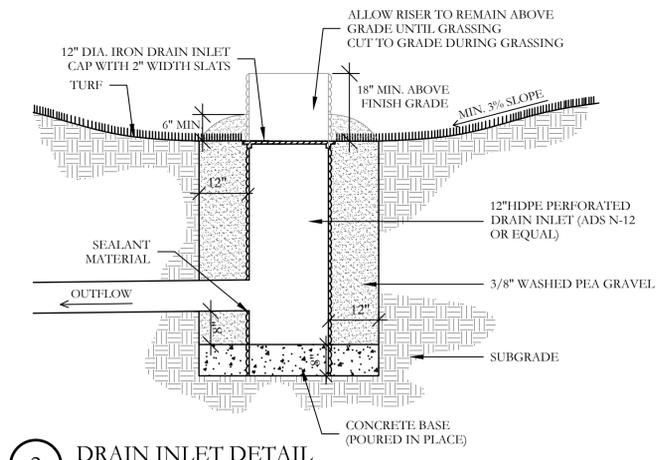
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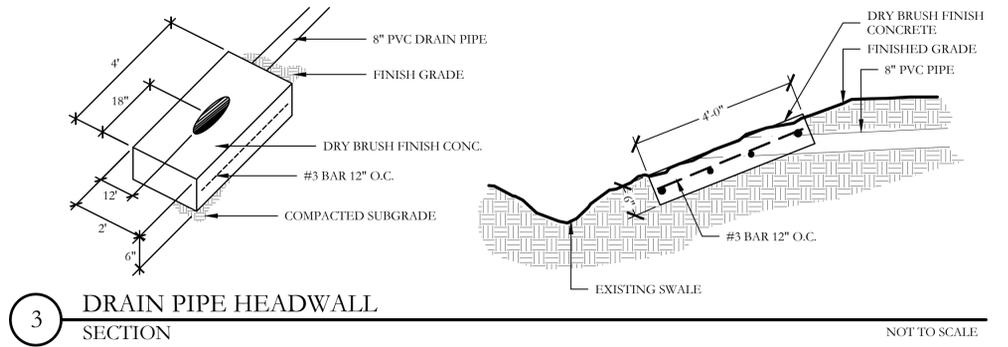
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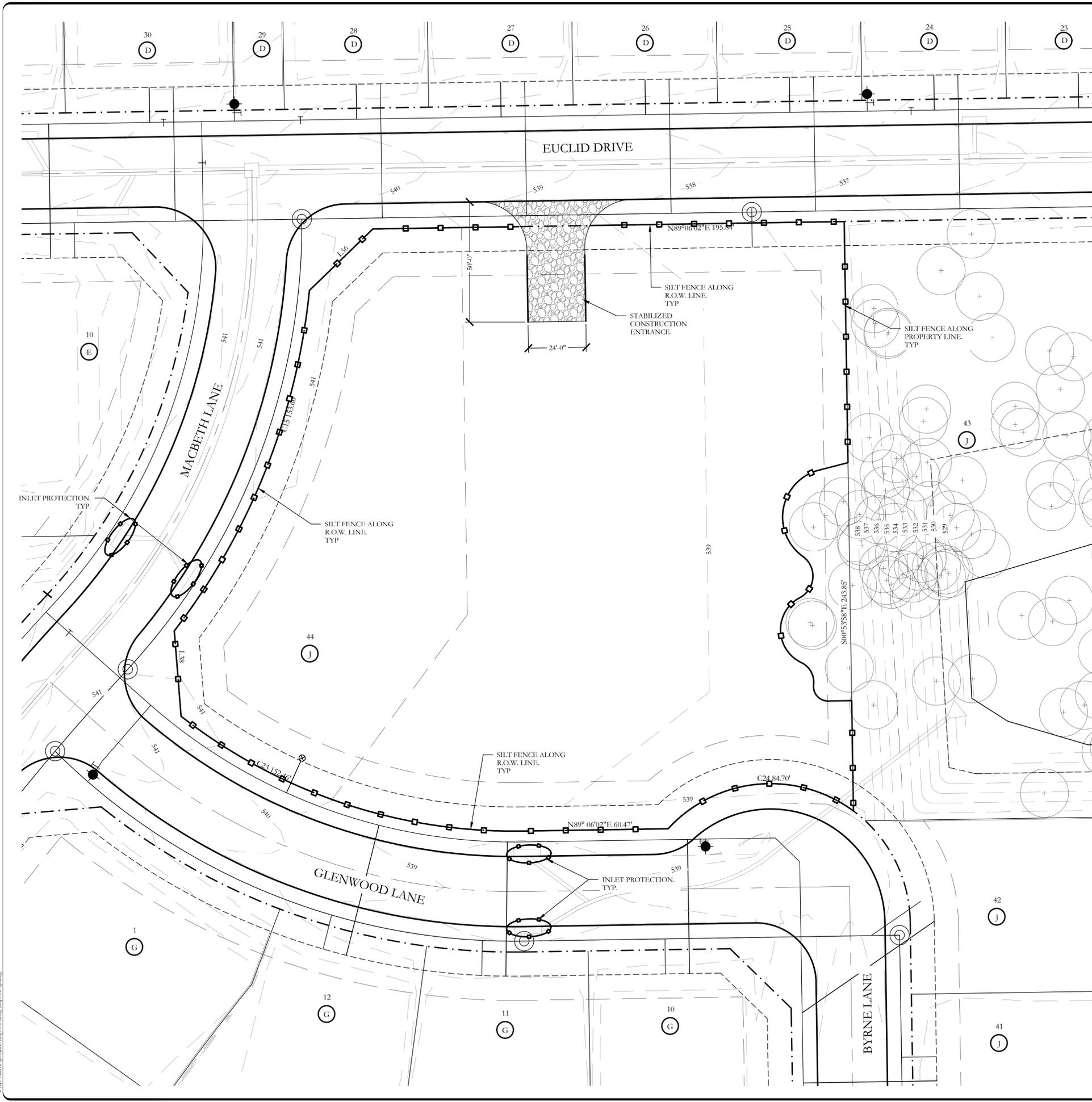
1 DECK DRAIN SECTION NOT TO SCALE



2 DRAIN INLET DETAIL SECTION NOT TO SCALE



3 DRAIN PIPE HEADWALL SECTION NOT TO SCALE



### LEGEND

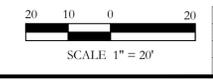
- SILT FENCE WITH WIRE MESH BACKING
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE

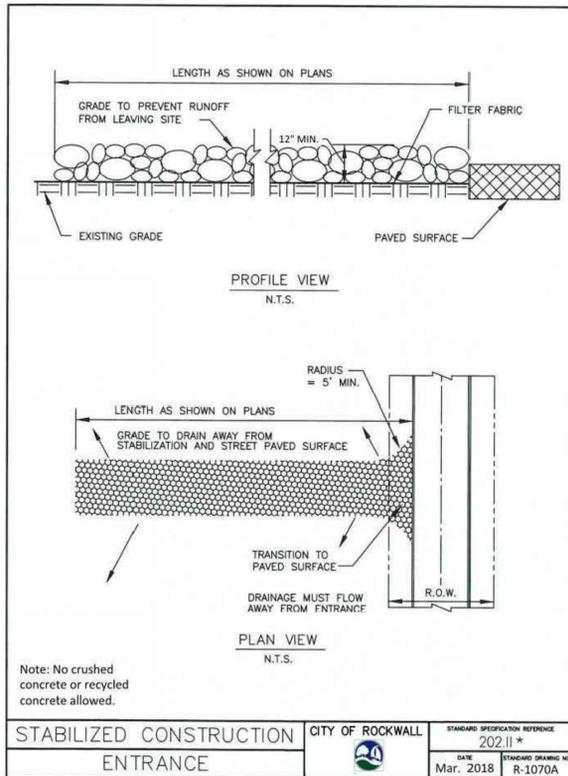
REFER TO SHET L2 FOR EROSION CONTROL CONSTRUCTION DETAILS.

- ### EROSION CONTROL NOTES
- ALL OPERATORS AND/OR CONTRACTORS SHALL CONFORM TO THE TERMS AND CONDITIONS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AND AUTHORITY OF THE TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (TPDES).
  - THE NOTICE OF INTENT (NOI), AS REQUIRED BY THE GENERAL PERMIT, MUST BE PROPERLY DISPLAYED ON SITE AT ALL TIMES BY EACH OPERATOR.
  - ALL RELEASES OF REPORTABLE QUANTITIES OF HAZARDOUS SUBSTANCES SHALL BE REPORTED IMMEDIATELY TO THE FACILITY OPERATOR AND EPA.
  - THE CONTRACTOR SHALL COMPLETE AND CERTIFY EROSION CONTROL INSPECTION REPORTS EVERY FOURTEEN DAYS OR WITHIN 24 HOURS OF A RAINFALL EVENT. THE CONTRACTOR SHALL DOCUMENT THE RESULTS WITHIN THE STORM WATER PREVENTION POLLUTION PLAN (SWPPP). COPIES OF THE INSPECTION REPORTS SHALL ACCOMPANY THE CONTRACTOR'S MONTHLY PAYREQUEST. THE CONTRACTOR SHALL NOT BE PAID UNTIL SAID REPORTS ARE PRESENTED TO THE OWNER/OWNER'S REPRESENTATIVE. THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE UTILITY CONTRACTOR BEGINS HIS WORK. THE UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE PAVING CONTRACTOR BEGINS HIS WORK. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE EARTHWORK CONTRACTOR BEGINS FINAL LOT BENCHING OPERATIONS. THE EARTHWORK CONTRACTOR SHALL MAKE REMAINING INSPECTIONS UNTIL PROJECT IS ACCEPTED BY THE CITY.
  - MODIFICATIONS TO THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE IMPLEMENTED AND BE IN-PLACE WITHIN A SEVEN CALENDAR DAY PERIOD.
  - IF ANY CONTRACTOR SEES A VIOLATION BY AN OPERATOR OR ANOTHER CONTRACTOR, HE SHALL NOTIFY THE OPERATOR AND CONTRACTOR IN VIOLATION, AS WELL AS THE FACILITY OPERATOR.
  - EROSION CONTROL SHALL BE INSTALLED PRIOR TO ANY GRADING.
  - ACCUMULATED SILT DEPOSITS SHALL BE REMOVED FROM SILT FENCES AND HAY BALE DIKES WHEN SILT DEPTH REACHES SIX INCHES. REMOVAL OF SILT DEPOSITS BY THE CONTRACTOR SHALL BE INCIDENTAL TO THE PERFORMANCE OF THE CONTRACT AND A SEPARATE BID ITEM SHALL NOT BE INCLUDED.
  - THE CONTRACTOR SHALL ADD OR DELETE EROSION PROTECTION AT THE REQUEST AND DIRECTION OF THE OPERATOR OR THE CITY.
  - AFTER INSTALLATION OF PAVEMENT, FINAL LOT BENCHING AND GENERAL CLEANUP, THE GRASS GROUND COVER SHALL BE ESTABLISHED IN ALL STREET PARKWAYS, LOTS AND ALL OTHER DISTURBED AREAS. MATERIALS SHALL BE AS SPECIFIED IN ITEM 2.15 AND SEEDING SHALL BE IN ACCORDANCE WITH ITEM 3.10 OF THE NCTCOG STANDARD SPECIFICATIONS. DEPENDING UPON SCHEDULE FOR HOUSE CONSTRUCTION, GRASS ESTABLISHMENT MAY BE WAIVED ON A SINGLE LOT BASIS IF HOUSE CONSTRUCTION BEGINS IMMEDIATELY ON THAT LOT.
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL AND LIMIT SILT AND SEDIMENT LEAVING THE SITE. SPECIFICALLY, THE CONTRACTOR SHALL PROTECT ALL PUBLIC STREETS, ALLEYS, STREAMS AND STORM DRAINAGE SYSTEMS FROM EROSION DEPOSITS.
  - IF ANY EROSION CONTROL IS REMOVED FOR CONSTRUCTION AND/OR ACCESS PURPOSES, THE CONTRACTOR SHALL REPLACE IT AT THE END OF THE WORK DAY.
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A DUMPSTER (OR EQUAL) TO COLLECT SOLID WASTE MATERIALS DURING CONSTRUCTION.

- ### SILT FENCE CONSTRUCTION NOTES
- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POSTS MUST BE EMBEDDED A MINIMUM OF TWO FEET.
  - THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE THE FENCE CANNOT BE TRENCHED (I.E. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
  - THE TRENCH SHOULD BE A MINIMUM OF SIX INCHES DEEP AND SIXTEEN INCHES WIDE TO ALLOW FOR THE SILT FENCE TO BE LAID IN THE GROUND AND BACKFILLED.
  - SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE WOOD/STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP AND SECURELY FASTENED WHERE ENDS OF THE FABRIC MEET.
  - INSPECTION SHALL BE MADE EVERY 2 WEEKS AND AFTER EACH ONE-HALF INCH RAINFALL. FREQUENT REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  - SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
  - SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
  - ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE SILT FENCE. THE SILT FENCE SHALL BE DISPOSED OF IN AN APPROVED SPOIL SITE OR IN SUCH A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
  - AT POINT OF SURFACE FLOW CONCENTRATION REINFORCE SILT FENCE WITH WIRE MESH BACKING ON DOWNSTREAM SIDE OF FENCE.

- ### STABILIZED CONSTRUCTION ENTRANCE NOTES
- STONE FOR CONSTRUCTION ENTRANCE SHALL BE 3"-5" DIAMETER AT GREATEST DIMENSION AND SHALL BE INSTALLED TO A COMPACTED DEPTH OF SIX INCHES.
  - IF CONSTRUCTION ENTRANCE CROSSES A DRAINAGE DITCH, SWALE, ETC., A DRAINAGE PIPE SHALL BE INSTALLED WITH MIN. 12 INCHES COVER OF CRUSHED STONE. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
  - WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE PUBLIC STREET AND THE STABILIZED ENTRANCE.

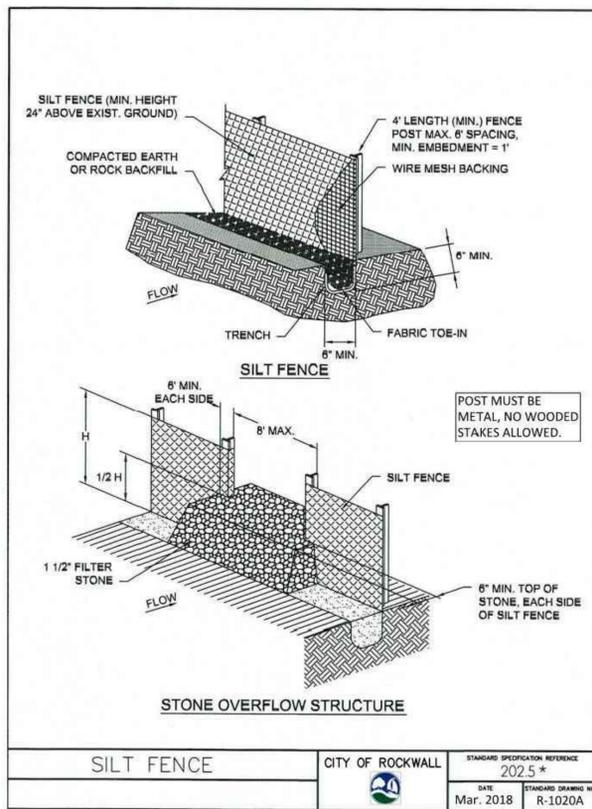




**STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:**

1. STONE SHALL BE 4 TO 6 INCH DIAMETER COARSE AGGREGATE.
2. MINIMUM LENGTH SHALL BE 50 FEET AND WIDTH SHALL BE 20 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.
10. NO CRUSHED OR RECYCLED CONCRETE ALLOWED.

STABILIZED CONSTRUCTION	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE
ENTRANCE		202.11 *
		DATE: Mar. 2018
		STANDARD DRAWING NO.: R-1070B



**SILT FENCE GENERAL NOTES:**

1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. FILTER STONE SHALL BE WRAPPED IN FILTER FABRIC AND BURIED SIX (6") INCHES MINIMUM.

SILT FENCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE
		202.5 *
		DATE: Mar. 2018
		STANDARD DRAWING NO.: R-1020B



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** December 13, 2022  
**APPLICANT:** Mariel Street  
**CASE NUMBER:** Z2022-051; *Zoning Change from Agricultural (AG) District to Commercial (C) District*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Mariel Street on behalf of Cathy Strother for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a two (2) acre parcel of land identified as Lot 1, Block A, Roadside Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2410 S. Goliad Street [SH-205], and take any action necessary.

### BACKGROUND

The subject property was annexed by the City Council on May 19, 1986 by *Ordinance No. 86-37 [Case No. A1986-005]*. According to the Rockwall Central Appraisal District (RCAD), currently situated on the subject property are a ~3,520 SF bar/tavern, a 6,800 SF storage warehouse, and a 6,600 SF industrial building. All of these structures were constructed in 1975. The City's historic zoning map indicates the subject property was zoned Commercial (C) District and Agricultural (AG) District as of December 7, 1993. On February 7, 2022, the City Council approved a *Final Plat [Case No. P2022-002]* that established the subject property as Lot 1, Block A, Roadside Addition. No other changes have been made to the property since its annexation.

### PURPOSE

On November 14, 2022, the applicant -- *Mariel Street*-- submitted an application requesting to change the zoning of the *subject property* from an Agricultural (AG) District to a Commercial (C) District.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 2410 S. Goliad Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a mini-warehouse facility (*the Vault*), a carwash (*Hacienda Carwash*), and a strip commercial/retail center on two (2) parcels of land (*i.e. Lot 1, Block B, Rockwall Business Park East Phase 2 Addition and Lot 1, Block C, Rockwall Business Park East Addition*) that are zoned Commercial (C) District. Beyond this is the intersection of E. Ralph Hall Parkway and S. Goliad Street [SH-205]. Both of these roadways are designated on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040, with E. Ralph Hall Parkway being designated as a M4D (*i.e. major collector, four [4] lane, divided roadway*) and S. Goliad Street being designated a P6D (*i.e. principal arterial, six [6] lane, divided roadway*).

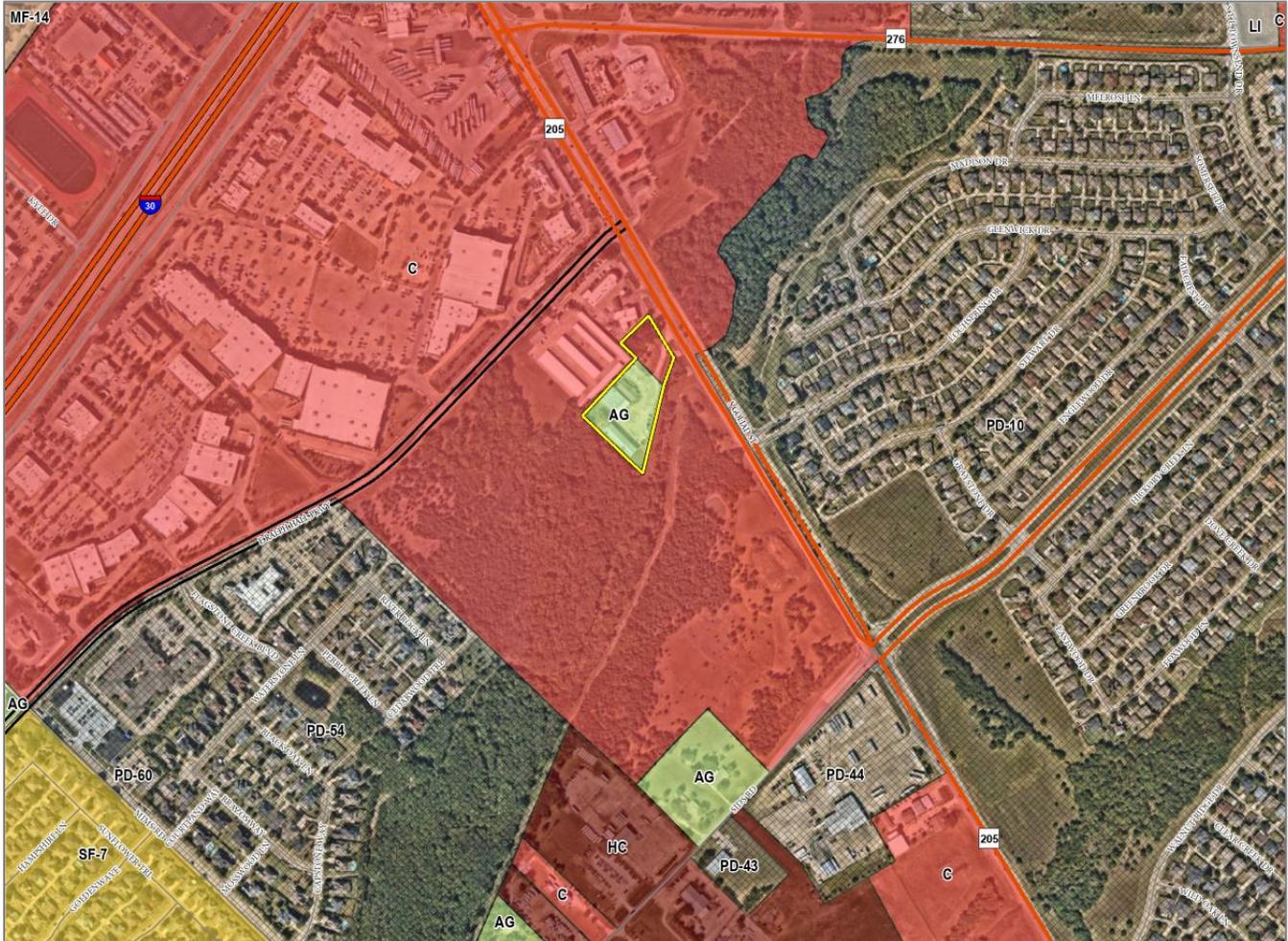
South: Directly south of the subject property are two (2) vacant tracts of land (*i.e. Tract 18 of the J. D. McFarland Survey, Abstract No. 145 and Lot 1, Block A, Rockwall Hospital Addition*) zoned Commercial (C) District. Beyond this are two (2) tracts of land developed with single-family homes and zoned Agricultural (AG) District.

East: Directly east of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 1 of the Meadowcreek Subdivision, which was established on June 8,

1999 and consists of 157 residential lots. This subdivision is zoned Planned Development District 10 (PD-10) for single-family land uses.

West: Directly west of the subject property is a 6.036-acre parcel of land (i.e. Lot 1, Block C, Rockwall Business Park East Addition) zoned Commercial (C) District. Beyond this is E. Ralph Hall Parkway, which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 30.891-acre parcel of land developed with a large Commercial/Retail Shopping Center (i.e. the Plaza at Rockwall) that is zoned Commercial (C) District.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST**

The applicant is requesting to rezone the two (2) acre parcel of land from an Agricultural (AG) District to a Commercial (C) District. The applicant has indicated to staff that the intent of the zoning change is to allow *Food Trucks/Trailers* on the subject property. This is an allowed *by-right* land use in the Commercial (C) District pending conformance with the *Conditional Land Use Standards* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Commercial (C) District is the proper zoning classification for most types of commercial development (e.g. larger shopping centers at major intersections, commercial strips along arterial roadways, etc.)." This section goes on to state that "(a)reas should not be zoned to Commercial (C) District unless they are located on or close to an arterial or major collector that is capable of carrying the additional traffic generated by land uses in this district." The standards for a

Commercial (C) District are defined in Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) and are summarized as follows:

**TABLE 1: COMMERCIAL (C) DISTRICT STANDARDS**

<i>Minimum Lot Area</i>	10,000 SF
<i>Minimum Lot Width</i>	60'
<i>Minimum Lot Depth</i>	100'
<i>Minimum Front Yard Setback (1) &amp; (2)</i>	15'
<i>Minimum Side Yard Setback (3)</i>	10'
<i>Minimum Rear Yard Setback (3)</i>	10'
<i>Minimum Between Buildings (3)</i>	15'
<i>Maximum Building Height (4)</i>	60'
<i>Maximum Lot Coverage</i>	60%
<i>Minimum Landscaping</i>	20%

General Notes:

- 1: From future right-of-way as shown on the adopted Master Thoroughfare Plan or as actually exists, whichever is greater.
- 2: Parking should not be located between the front façade and the property line.
- 3: The setback can be reduced to zero (0) feet with a fire rated wall.
- 4: Building height may be increased up to 240-feet if approved through a Specific Use Permit (SUP) by the Planning and Zoning Commission and City Council.

All adjacent properties are zoned Commercial (C) District, and -- *based on this* -- the requested zoning change does appear to conform to the surrounding area. Staff should note that there are several legally non-conforming buildings on the subject property (*i.e. buildings that do not conform to the current standards of the Unified Development Code [UDC]*), and if this zoning change is approved these non-conforming structures may remain in place as they are today. Only future development will be required to conform to the Commercial (C) District standards of the Unified Development Code (UDC); however, if the legally non-conforming structures are substantially changed, the City may require these buildings be brought into conformance with the City's current regulations in accordance with Section 06, *Non-Conforming Uses, Structures, and Sites*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

**CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Southwest Residential District and is designated for Commercial/Retail land uses. The *Land Use Designations* section of the plan states that the Commercial/Retail "... areas should be protected from the encroachment of incompatible land uses (*i.e. residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas." Since the proposed zoning change conforms to the *Land Use Designation* of the *Future Land Use Map* and does not propose any substantial changes to the property, the applicant's zoning request conforms to the Comprehensive Plan.

**NOTIFICATIONS**

On November 18, 2022, staff notified 17 property owners and occupants within 500-feet of the subject property. Staff also notified the Flagstone Estates, Meadowcreek Estates, and the Hickory Ridge Homeowners Associations (HOAs), which are the only Homeowner's Associations (HOAs) or Neighborhood Groups within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had received one (1) notice from a property owner opposed to the applicant's request.

**CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Commercial (C) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2410 S. Goliad St

SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AGRICULTURAL

CURRENT USE COMMERCIAL

PROPOSED ZONING COMMERCIAL

PROPOSED USE COMMERCIAL

ACREAGE 2 acres

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER CATHY STROTHER

APPLICANT [Signature]

CONTACT PERSON C. Strother

CONTACT PERSON MARIEL STREET

ADDRESS 8935 CR 589

ADDRESS 6716 CHURCHILL WAY

CITY, STATE & ZIP Nevada, Tx. 75113

CITY, STATE & ZIP DALLAS TX 75230

PHONE 469-576-6094

PHONE 214 500 2417

E-MAIL catmark6@aol.com

E-MAIL marielstreet@gmail.com

## NOTARY VERIFICATION [REQUIRED]

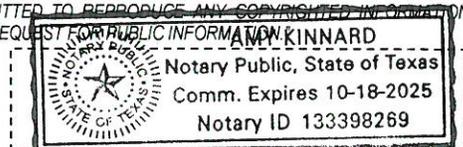
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Cathy Strother [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 230. TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10th DAY OF Nov, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

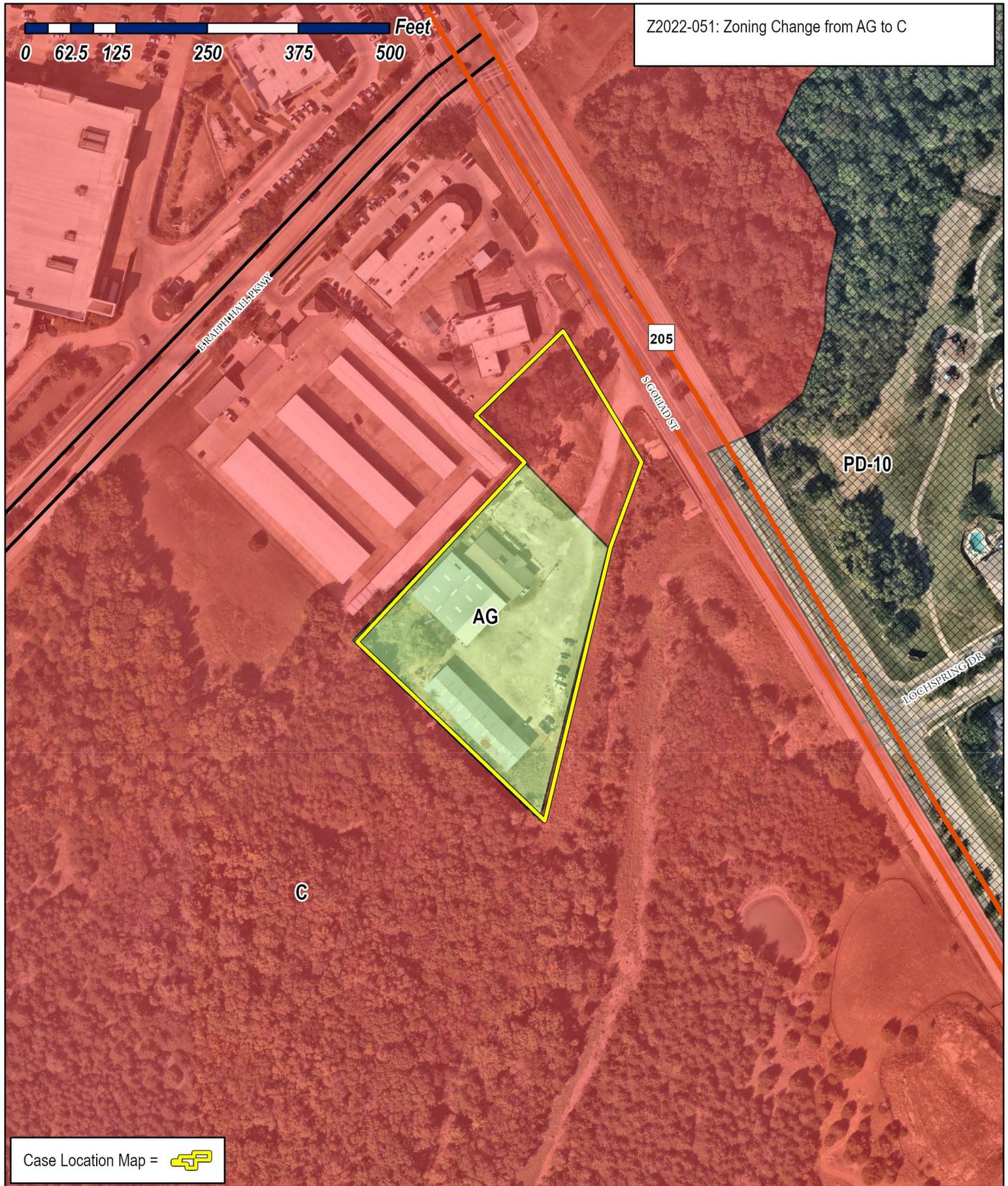
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF November, 2022

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



MY COMMISSION EXPIRES 10-18-2025



Z2022-051: Zoning Change from AG to C

0 62.5 125 250 375 500 Feet

BRADPHILL BLVD

205

S GOLIAD ST

PD-10

AG

HOCHSPRING DR

C

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

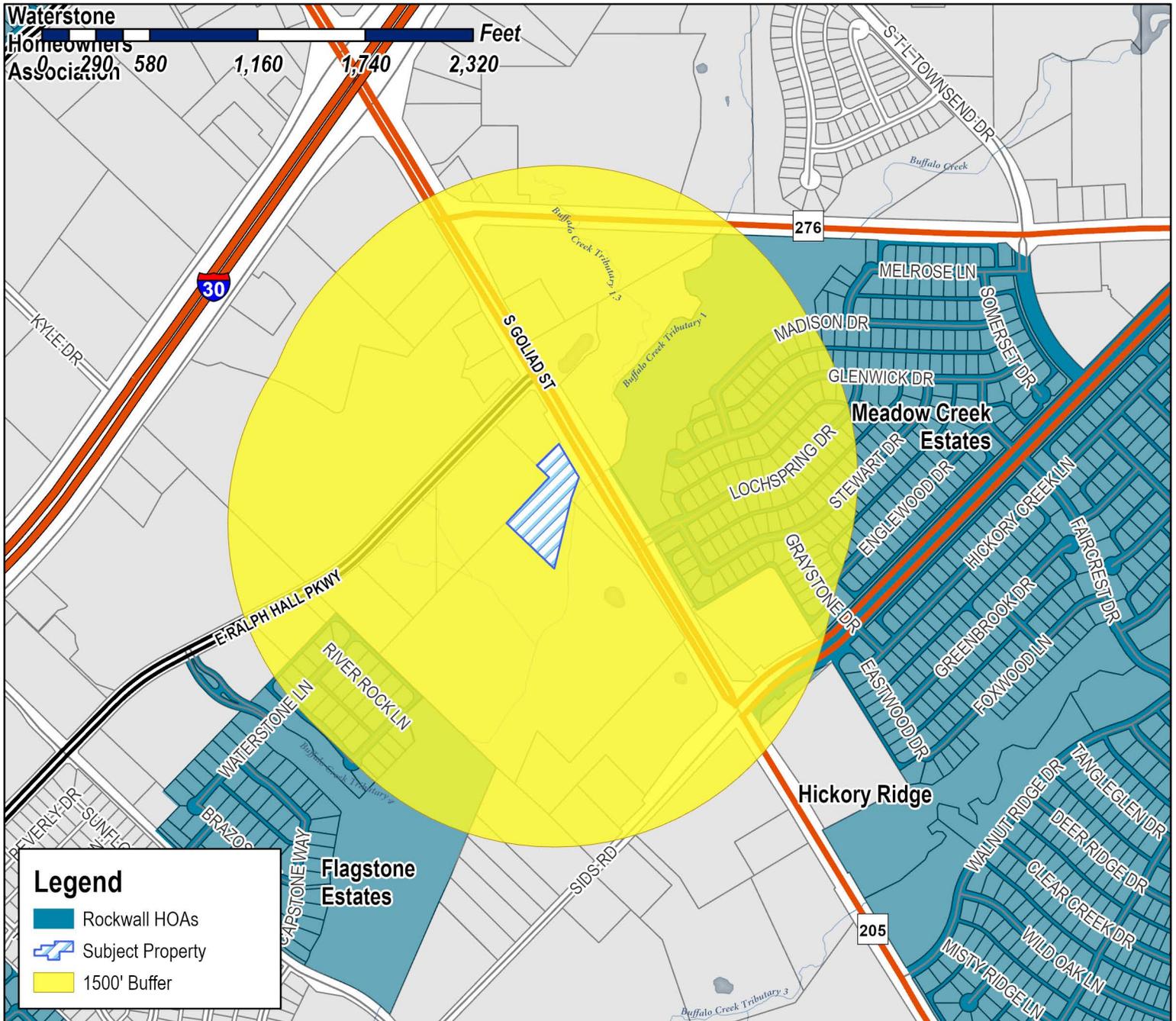




# City of Rockwall

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**Case Number:** Z2022-051  
**Case Name:** Zoning Change from AG to C  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 2410 S. Goliad Street

**Date Saved:** 11/15/2022  
 For Questions on this Case Call (972) 771-7745



## Lee, Henry

---

**From:** Guevara, Angelica  
**Sent:** Friday, November 18, 2022 8:52 AM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry; Chapin, Sarah  
**Subject:** Neighborhood Notification Program [Z2022-051]  
**Attachments:** HOA Map Z2022-051.pdf; Public Notice Z2022-051.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *November 18, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 13, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 19, 2022, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2022-051: Zoning Change from AG to C**

Hold a public hearing to discuss and consider a request by Mariel Street on behalf of Cathy Strother for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a two (2) acre parcel of land identified as Lot 1, Block A, Roadside Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2410 S. Goliad Street [SH-205], and take any action necessary.

Thank you,

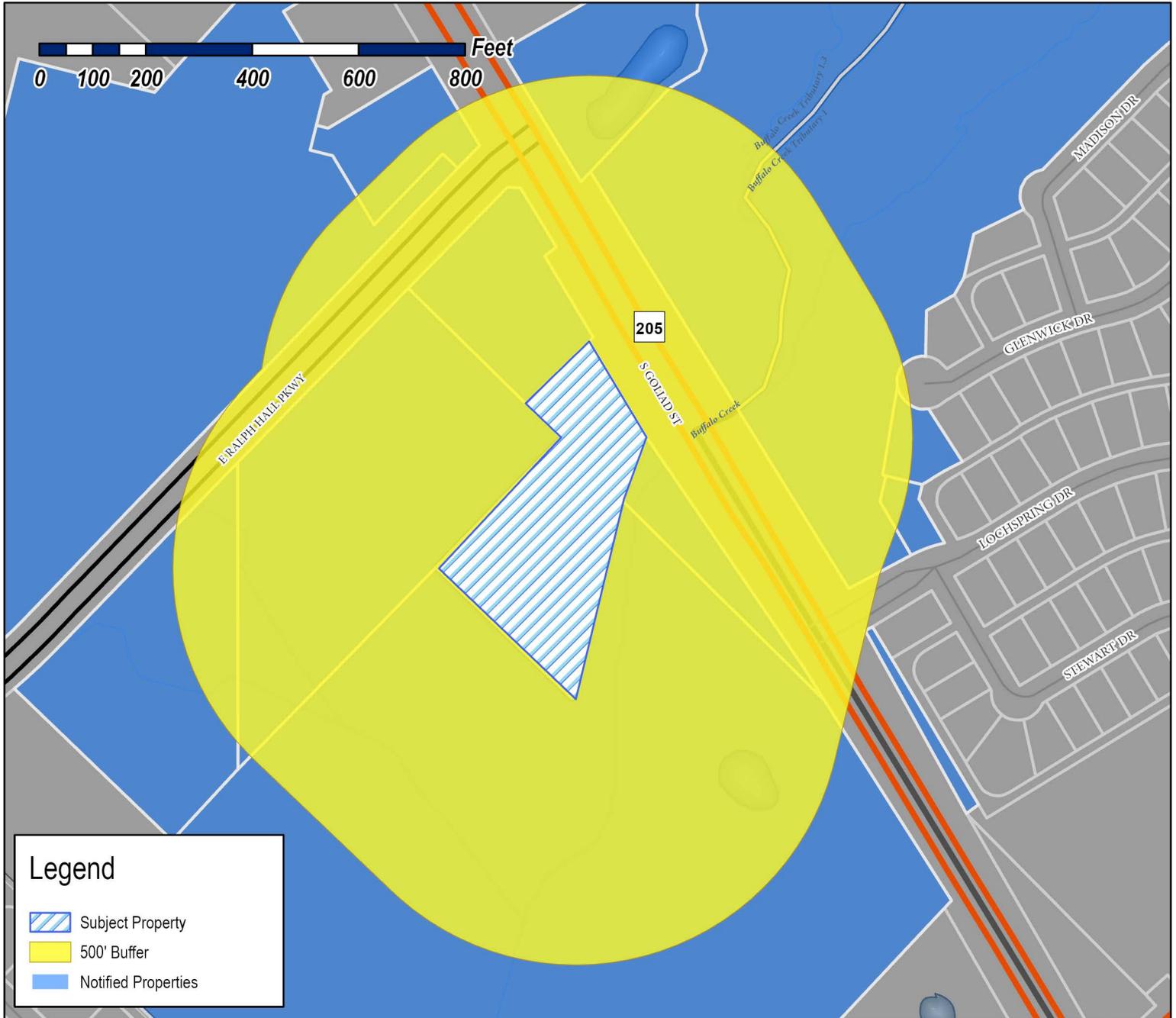
*Angelica Guevara*  
Planning Technician  
City of Rockwall Planning & Zoning  
385 S. Goliad Street  
Rockwall, TX 75087  
Office: 972-771-7745  
Direct: 972-772-6438



# City of Rockwall

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385 S. Goliad Street  
Rockwall, Texas 75087  
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**Case Number:** Z2022-051  
**Case Name:** Zoning Change from AG to C  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 2410 S. Goliad Street

**Date Saved:** 11/11/2022

For Questions on this Case Call: (972) 771-7746



EXCEL ROCKWALL LLC  
EXCELL ROCKWALL LLC  
10920 VIA FRONTERA SUITE 220  
SAN DIEGO, CA 92127

DALLAS EAST  
ATTN; JIM VAUDAGNA  
1280 E RAPLPH HALL PKWY  
ROCKWALL, TX 75032

PITT EMERIC & KHADIJA  
1379 GLENWICK DR  
ROCKWALL, TX 75032

<Null>  
1380 LOCHSPRING DR  
ROCKWALL, TX 75032

CITY OF ROCKWALL  
1430 MADISON DR  
ROCKWALL, TX 75032

DALLAS EAST  
ATTN; JIM VAUDAGNA  
1445 W SAN CARLOS ST  
SAN JOSE, CA 95126

DALLAS EAST  
ATTN; JIM VAUDAGNA  
1445 W SAN CARLOS ST  
SAN JOSE, CA 95126

MEADOWCREEK ESTATES HOMEOWNERS ASSOC  
INC  
1800 PRESTON PARK BLVD STE 101  
PLANO, TX 75093

ROBERTS MARLYN & BARBARA  
2325 S GOLIAD  
ROCKWALL, TX 75032

REA-TRA LLC  
2380 S GOLIAD SUITE 100  
ROCKWALL, TX 75032

DALLAS EAST  
ATTN; JIM VAUDAGNA  
2400 S GOLIAD  
ROCKWALL, TX 75032

STROTHER, CATHY  
2410 S GOLIAD  
ROCKWALL, TX 75032

HOWELL MTN RE LLC  
2560 TECHNOLOGY DRIVE SUITE 100  
PLANO, TX 75074

ROBERTS MARLYN & BARBARA  
323 JULIAN DRIVE  
ROCKWALL, TX 75087

ROBERTS MARLYN & BARBARA  
323 JULIAN DRIVE  
ROCKWALL, TX 75087

STROTHER, CATHY  
8935 CR 589  
NEVADA, TX 75173

BUFFALO COUNTRY PROPERTIES LLC  
P.O. BOX 260288  
PLANO, TX 75026

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2022-051: Zoning Change from AG to C**

Hold a public hearing to discuss and consider a request by Mariel Street on behalf of Cathy Strother for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a two (2) acre parcel of land identified as Lot 1, Block A, Roadside Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2410 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 13, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 19, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 19, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2022-051: Zoning Change from AG to C**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-051: Zoning Change from AG to C

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

## Respondent Information

Please provide your information.

## First Name \*

Kimberly

Last Name \*

Pfahning

Address \*

1508 Glenwick Dr

City \*

Rockwall

State \*

Tx

Zip Code \*

75032

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

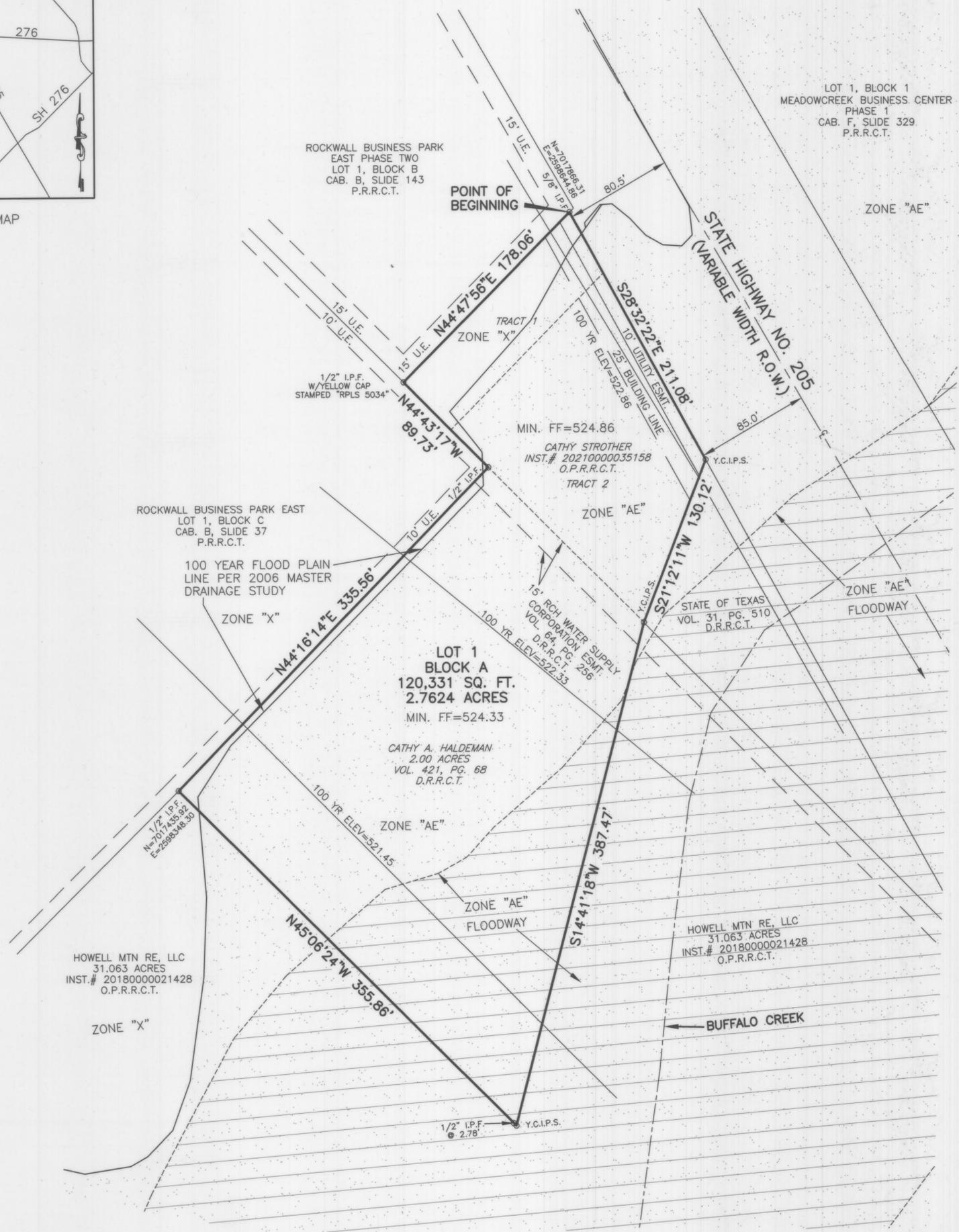
- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.

Google Forms



LOCATION MAP (N.T.S.)



NOTES:

1. Located in the City of Rockwall, Texas
2. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.
3. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.
4. Bearings based on the southeast line of Rockwall Business Park East Phase Two, Cabinet B, Slide 143 (N44°47'56\"/>

Notice: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

FLOOD NOTE:

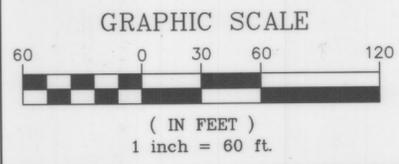
ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0040L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, A PORTION OF THE SUBJECT PROPERTY LIES WITHIN ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD; BASE FLOOD ELEVATIONS DETERMINED), A PORTION LIES WITHIN THE FLOODWAY AREA IN SAID ZONE "AE" AND A PORTION LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**FINAL PLAT**  
**ROADSIDE ADDITION**  
**LOT 1, BLOCK A**

Being 2.7624 Acres or 120,330.144 Square Feet

Situated within  
Tract 25-1 of the J. Cadle Survey, Abstract No. 65 and  
Tract 17 of the J.D. McFarland Survey, Abstract No. 145  
City of Rockwall, Rockwall County, Texas

Case No.: P2022-002



**LEGEND**

I.P.F.	- IRON PIN FOUND
D.R.R.C.T.	- DEED RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	- OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
Y.C.I.P.S.	- 1/2" IRON PIN SET WITH YELLOW CAP STAMPED "CCG INC RPLS 5129"

THE PURPOSE OF THIS PLAT IS TO COMBINE TWO TRACTS INTO ONE PLATTED LOT.

**OWNER:**  
CATHY STROTHER  
A.K.A. CATHY A. HALDEMAN  
8935 COUNTY ROAD 589  
NEVADA, TEXAS 75173

<b>CARROLL CONSULTING GROUP, INC.</b>			
P.O. BOX 11 972-742-4411 TBPELS REGISTRATION NO.: F-21608 LAVON, TEXAS 75166 TEXAS FIRM REGISTRATION NO.: 10007200			
JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2983-21	1"=60'	JANUARY 24, 2022	CP

OWNER'S CERTIFICATE

STATE OF TEXAS  
COUNTY OF ROCKWALL

Whereas, Cathy Strother, is the owner of a tract of land situated in the J. Cadle Survey, Abstract No. 65 and in the J.D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas and being the same Tract 1 and Tract 2 as conveyed to Cathy Strother by deed recorded in Instrument No. 2021000035158, Official Public Records, Rockwall County, Texas and all of a 2.00 acre tract of land as conveyed to Cathy A. Haldeman by deed recorded in Volume 421, Page 68, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a 5/8" iron pin found on the southwest right-of-way line of State Highway No. 205 (variable width R.O.W.) for the north corner of said Tract 1 and being on the southeast line of Lot 1, Block B of Rockwall Business Park East Phase Two, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 143, Plat Records, Rockwall County, Texas;

Thence, South 28°32'22" East, along the northeast lines of said Tracts 1 and 2 and the right-of-way line of State Highway No. 205 (variable width R.O.W.), a distance of 211.08 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for the east corner of said Tract 2;

Thence, South 21°12'11" West, along the southeasterly line of said Tract 2, a distance of 130.12 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for the south corner of said Tract 2, the northeast corner of said 2.00 acre tract and the most easterly north corner of a 31.063 acre tract of land conveyed to Howell Mtn RE, LLC by deed recorded in Instrument No. 2018000021428, Official Public Records, Rockwall County, Texas;

Thence, South 14°41'18" West, along the east line of said 2.00 acre tract and a west line of said 31.063 acre tract, a distance of 387.47 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for the south corner of said 2.00 acre tract and a re-entrant corner of said 31.063 acre tract;

Thence, North 45°06'24" West, along the southwest line of said 2.00 acre tract and a northeast line of said 31.063 acre tract, passing at a distance of 2.78 feet a 1/2" iron pin found and continuing for a total distance of 355.86 feet to a 1/2" iron pin found for the west corner of said 2.00 acre tract, the most westerly north corner of said 31.063 acre tract and being on the southeast line of Lot 1, Block C of Rockwall Business Park East, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 37, Plat Records, Rockwall County, Texas;

Thence, North 44°16'14" East, along the northwest line of said 2.00 acre tract and the southeast line of said Lot 1, Block C, a distance of 335.56 feet to a 1/2" iron pin found for the north corner of said 2.00 acre tract, the east corner of said Lot 1, Block C and being on the southwest line of said Tract 2;

Thence, North 44°43'17" West, along the southwest lines of said Tracts 1 and 2 and the northeast line of said Lot 1, Block C, a distance of 89.73 feet to a 1/2" iron pin found with yellow cap stamped "RPLS 5034" for the west corner of said Tract 1 and the south corner of said Lot 1, Block B;

Thence, North 44°47'56" East, along the northwest line of said Tract 1 and the southeast line of said Lot 1, Block B, a distance of 178.06 feet to the Point of Beginning and containing 120,331 square feet or 2.7624 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as ROADSIDE ADDITION, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the ROADSIDE ADDITION subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- (1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- (2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- (3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- (4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- (5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- (6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County by obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the 17<sup>th</sup> day of February, 2022.

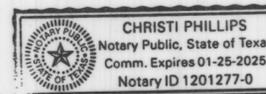
*C. Strother*  
Cathy Strother, Owner  
a.k.a. Cathy A. Haldeman

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared Cathy Strother (a.k.a. Cathy A. Haldeman - same person), known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 17<sup>th</sup> DAY OF February, 2022.

*Christi Phillips*  
Notary Public for the State of Texas  
My Commission expires 02-25-25



Filed and Recorded  
Official Public Records  
Jennifer Foga, County Clerk  
Rockwall County, Texas  
03/22/2022 01:49:50 PM  
\$100.00  
2022000006322



*Jennifer Foga*

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

*James Bart Carroll*  
James Bart Carroll  
Texas Registered Professional Land Surveyor No. 5129



APPROVED

*[Signature]*  
Planning and Zoning Commission Chairman

3/21/22  
Date

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the 7 day of February, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this 21<sup>st</sup> day of March, 2022.

*[Signature]*  
Mayor, City of Rockwall

*[Signature]*  
City Secretary

*[Signature]*  
City Engineer



FINAL PLAT

ROADSIDE ADDITION  
LOT 1, BLOCK A

Being 2.7624 Acres or 120,330.144 Square Feet

Situated within

Tract 25-1 of the J. Cadle Survey, Abstract No. 65 and  
Tract 17 of the J.D. McFarland Survey, Abstract No. 145  
City of Rockwall, Rockwall County, Texas

Case No.: P2022-002

Page 2 of 2

CARROLL CONSULTING GROUP, INC.

P.O. BOX 11 972-742-4411 TBPELS REGISTRATION NO.: F-21608  
LAVON, TEXAS 75166 TEXAS FIRM REGISTRATION NO.: 10007200

JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2983-21	1"=60'	JANUARY 24, 2022	CP

OWNER:  
CATHY STROTHER  
A.K.A. CATHY A. HALDEMAN  
8935 COUNTY ROAD 589  
NEVADA, TEXAS 75173

# 18 SOUTHWEST RESIDENTIAL DISTRICT

## DISTRICT DESCRIPTION

The *Southwest Residential District* contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. *National Drive, Sids Road, and Mims Road*) and commercial land uses. In the future, this district is expected to continue to function as it does today with additional low-density master planned communities filling in the vacant land remaining in the central and southern areas of the district. In addition, the areas that are in transition are expected to continue to improve adding additional value to the City.

## DISTRICT STRATEGIES

The strategies for the *Southwest Residential District* are as follows:

1 **Suburban Residential.** This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

2 **Commercial/Industrial Land Uses.** The areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. *residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.

3 **Transitional Areas.** The areas designated as *Transitional Areas* are currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties; however, the City should look to continue to discourage uses and structures that are situated within established floodplains.

4 **Intersection of SH-276 and S. Goliad Street (Sids Road and S. Goliad Street).** The intersection at Sids Road and S. Goliad Street [SH-205] -- also identified as the future intersection of SH-276 and S. Goliad Street -- is anticipated to be a major commercial intersection due to the high traffic volumes carried by both SH-276 and S. Goliad Street [SH-205]. This intersection will most likely have commercial at all four (4) corners and will create a major node along both highways.



1 Current Suburban Residential



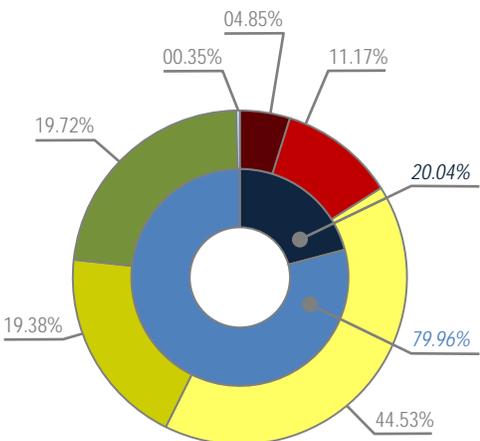
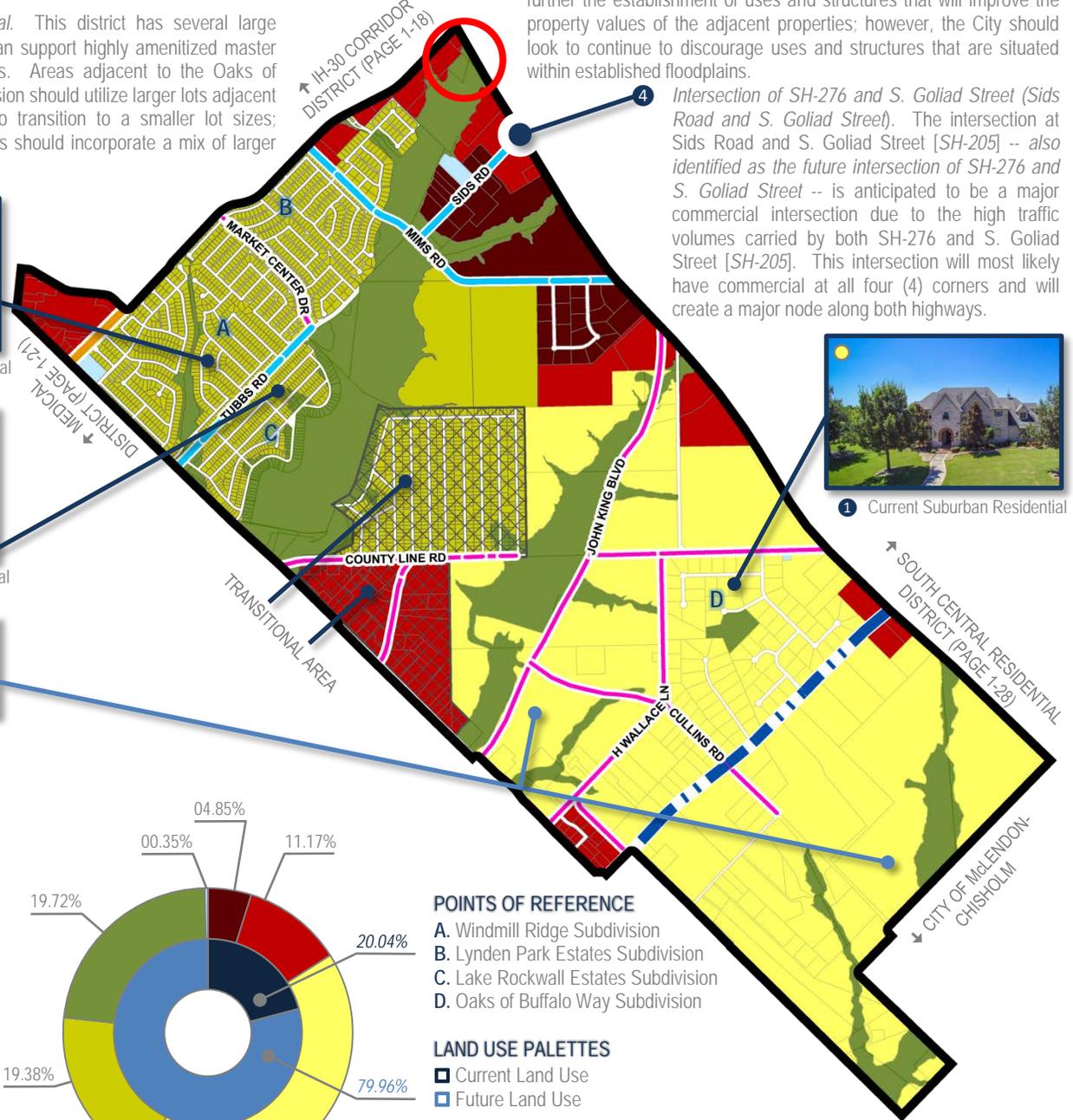
1 Current Suburban Residential



1 Future Suburban Residential



1 Current Suburban Residential



### POINTS OF REFERENCE

- A. Windmill Ridge Subdivision
- B. Lynden Park Estates Subdivision
- C. Lake Rockwall Estates Subdivision
- D. Oaks of Buffalo Way Subdivision

### LAND USE PALETTES

- Current Land Use
- Future Land Use

COMMERCIAL/INDUSTRIAL (CI)	120.50-ACRES
COMMERCIAL/RETAIL (CR)	277.44-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,106.20-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	481.39-ACRES
PARKS AND OPEN SPACE (OS)	489.99-ACRES
QUASI-PUBLIC (QP)	8.67-ACRES

BUILD OUT	4,251
% OF ROCKWALL	10.95%
CURRENT	2,190
	188
	7,437

COMMERCIAL	20.04%
RESIDENTIAL	79.96%
MIXED USE	0.00%
MINOR COLLECTOR	
M4D	
M4U	
TXDOT 4D	

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

# PERMITTED LAND USES IN AN COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a> ]	COMMERCIAL (C) DISTRICT
<b>AGRICULTURAL AND ANIMAL RELATED LAND USES</b>	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	<a href="#">(1)</a>		P
Animal Boarding/Kennel without Outside Pens	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Animal Clinic for Small Animals without Outdoor Pens	<a href="#">(3)</a>	<a href="#">(3)</a>	P
Animal Hospital or Clinic	<a href="#">(4)</a>		S
Community Garden	<a href="#">(11)</a>	<a href="#">(7)</a>	S
Urban Farm	<a href="#">(12)</a>	<a href="#">(8)</a>	S
<b>RESIDENTIAL AND LODGING LAND USES</b>	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	<a href="#">(3)</a>		P
Convent, Monastery, or Temple	<a href="#">(4)</a>		P
Commercial Parking Garage	<a href="#">(6)</a>		A
Limited-Service Hotel	<a href="#">(10)</a>		S
Full-Service Hotel	<a href="#">(11)</a>	<a href="#">(8)</a>	S
Residence Hotel	<a href="#">(12)</a>		S
Motel	<a href="#">(13)</a>		S
<b>INSTITUTIONAL AND COMMUNITY SERVICE LAND USES</b>	2.02(C)	2.03(C)	
Assisted Living Facility	<a href="#">(1)</a>	<a href="#">(1)</a>	S
Blood Plasma Donor Center	<a href="#">(2)</a>		P
Cemetery/Mausoleum	<a href="#">(3)</a>		P
Church/House of Worship	<a href="#">(4)</a>	<a href="#">(2)</a>	S
College, University, or Seminary	<a href="#">(5)</a>		S
Convalescent Care Facility/Nursing Home	<a href="#">(6)</a>		P
Congregate Care Facility/Elderly Housing	<a href="#">(7)</a>	<a href="#">(3)</a>	S
Daycare with Seven (7) or More Children	<a href="#">(9)</a>	<a href="#">(4)</a>	P
Emergency Ground Ambulance Services	<a href="#">(10)</a>		P
Government Facility	<a href="#">(12)</a>		P
Hospice	<a href="#">(14)</a>		P
Hospital	<a href="#">(15)</a>		P
Public Library, Art Gallery or Museum	<a href="#">(16)</a>		P
Mortuary or Funeral Chapel	<a href="#">(17)</a>		P
Local Post Office	<a href="#">(18)</a>		P
Public or Private Primary School	<a href="#">(21)</a>	<a href="#">(7)</a>	P
Public or Private Secondary School	<a href="#">(22)</a>	<a href="#">(8)</a>	P
Temporary Education Building for a Public or Private School	<a href="#">(23)</a>	<a href="#">(9)</a>	S
<b>OFFICE AND PROFESSIONAL LAND USES</b>	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Financial Institution without Drive-Through	<a href="#">(1)</a>		P
Office Building less than 5,000 SF	<a href="#">(2)</a>		P
Office Building 5,000 SF or Greater	<a href="#">(2)</a>		P
<b>RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES</b>	2.02(E)	2.03(E)	

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

## PERMITTED LAND USES IN AN COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a> ]	COMMERCIAL (C) DISTRICT
Temporary Carnival, Circus, or Amusement Ride	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Indoor Commercial Amusement/Recreation	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Outdoor Commercial Amusement/Recreation	<a href="#">(3)</a>	<a href="#">(3)</a>	S
Public or Private Community or Recreation Club as an Accessory Use	<a href="#">(4)</a>		P
Private Country Club	<a href="#">(5)</a>		S
Golf Driving Range	<a href="#">(6)</a>		S
Temporary Fundraising Events by Non-Profit	<a href="#">(7)</a>	<a href="#">(4)</a>	P
Indoor Gun Club with Skeet or Target Range	<a href="#">(8)</a>	<a href="#">(5)</a>	P
Health Club or Gym	<a href="#">(9)</a>		P
Private Club, Lodge or Fraternal Organization	<a href="#">(10)</a>	<a href="#">(6)</a>	P
Private Sports Arena, Stadium, and/or Track	<a href="#">(11)</a>		S
Public Park or Playground	<a href="#">(12)</a>		P
Tennis Courts ( <i>i.e. Not Accessory to a Public or Private Country Club</i> )	<a href="#">(14)</a>		S
Theater	<a href="#">(15)</a>		P
<b>RETAIL AND PERSONAL SERVICES LAND USES</b>	2.02(F)	2.03(F)	
Antique/Collectible Store	<a href="#">(1)</a>		P
Astrologer, Hypnotist, or Psychic	<a href="#">(2)</a>		P
Banquet Facility/Event Hall	<a href="#">(3)</a>		P
Portable Beverage Service Facility	<a href="#">(4)</a>	<a href="#">(1)</a>	S
Brew Pub	<a href="#">(5)</a>		P
Business School	<a href="#">(6)</a>		P
Catering Service	<a href="#">(7)</a>		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	<a href="#">(8)</a>	<a href="#">(2)</a>	P
Copy Center	<a href="#">(9)</a>		P
Craft/Micro Brewery, Distillery and/or Winery	<a href="#">(10)</a>	<a href="#">(3)</a>	S
Incidental Display	<a href="#">(11)</a>	<a href="#">(4)</a>	P
Food Trucks/Trailers	<a href="#">(12)</a>	<a href="#">(5)</a>	P
Garden Supply/Plant Nursery	<a href="#">(13)</a>		P
General Personal Service	<a href="#">(14)</a>	<a href="#">(6)</a>	P
General Retail Store	<a href="#">(15)</a>		P
Hair Salon and/or Manicurist	<a href="#">(16)</a>		P
Laundromat with Dropoff/Pickup Services	<a href="#">(17)</a>		P
Self Service Laundromat	<a href="#">(18)</a>		P
Massage Therapist	<a href="#">(19)</a>		P
Private Museum or Art Gallery	<a href="#">(20)</a>		P
Night Club, Discotheque, or Dance Hall	<a href="#">(21)</a>		P
Pawn Shop	<a href="#">(22)</a>		S
Permanent Cosmetics	<a href="#">(23)</a>	<a href="#">(7)</a>	A
Pet Shop	<a href="#">(24)</a>		P
Temporary Real Estate Sales Office	<a href="#">(25)</a>		P

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

## PERMITTED LAND USES IN AN COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a> ]	COMMERCIAL (C) DISTRICT
Rental Store without Outside Storage and/or Display	<a href="#">(26)</a>	<a href="#">(8)</a>	P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	<a href="#">(27)</a>	<a href="#">(9)</a>	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	<a href="#">(28)</a>		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	<a href="#">(27)</a>	<a href="#">(10)</a>	P
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	<a href="#">(28)</a>		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers ( <i>i.e. a Maximum of Four [4] Vehicles</i> )	<a href="#">(29)</a>		P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	<a href="#">(29)</a>		P
Secondhand Dealer	<a href="#">(30)</a>		P
Art, Photography, or Music Studio	<a href="#">(31)</a>		P
Tailor, Clothing, and/or Apparel Shop	<a href="#">(32)</a>		P
<b>COMMERCIAL AND BUSINESS SERVICES LAND USES</b>	<b>2.02(G)</b>	<b>2.03(G)</b>	
Bail Bond Service	<a href="#">(1)</a>		S
Building and Landscape Material with Limited Outside Storage	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Building Maintenance, Service, and Sales without Outside Storage	<a href="#">(3)</a>		P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	<a href="#">(6)</a>		P
Furniture Upholstery/Refinishing and Resale	<a href="#">(8)</a>	<a href="#">(4)</a>	S
Rental, Sales and Service of Heavy Machinery and Equipment	<a href="#">(10)</a>	<a href="#">(5)</a>	S
Locksmith	<a href="#">(11)</a>		P
Research and Technology or Light Assembly	<a href="#">(15)</a>		S
Shoe and Boot Repair and Sales	<a href="#">(16)</a>		P
Trade School	<a href="#">(17)</a>		P
Temporary On-Site Construction Office	<a href="#">(18)</a>	<a href="#">(6)</a>	P
<b>AUTO AND MARINE RELATED LAND USES</b>	<b>2.02(H)</b>	<b>2.03(H)</b>	
Minor Auto repair garage	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Automobile Rental	<a href="#">(3)</a>		S
New or Used Boat and Trailer Dealership	<a href="#">(4)</a>	<a href="#">(3)</a>	S
Full Service Car Wash and Auto Detail	<a href="#">(5)</a>	<a href="#">(4)</a>	P
Self Service Car Wash	<a href="#">(5)</a>	<a href="#">(4)</a>	P
New and/or Used Indoor Motor Vehicle Dealership/Showroom	<a href="#">(6)</a>	<a href="#">(5)</a>	S
New Motor Vehicle Dealership-for Cars and Light Trucks	<a href="#">(7)</a>	<a href="#">(6)</a>	S
Used Motor Vehicle Dealership for Cars and Light Trucks}	<a href="#">(7)</a>	<a href="#">(7)</a>	A
Commercial Parking	<a href="#">(8)</a>		P
Non-Commercial Parking Lot	<a href="#">(9)</a>		P
Recreational Vehicle (RV) Sales and Service	<a href="#">(10)</a>		S
Service Station	<a href="#">(11)</a>	<a href="#">(8)</a>	P
<b>INDUSTRIAL AND MANUFACTURING LAND USES</b>	<b>2.02(I)</b>	<b>2.03(I)</b>	
Temporary Asphalt or Concrete Batch Plant	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	<a href="#">(12)</a>	<a href="#">(5)</a>	S
<b>WHOLESALE, DISTRIBUTION AND STORAGE LAND USES</b>	<b>2.02(J)</b>	<b>2.03(J)</b>	

**LEGEND:**

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## PERMITTED LAND USES IN AN COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13,</a> <a href="#">Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04,</a> <a href="#">Permissible Uses</a> ]	COMMERCIAL (C) DISTRICT
Mini-Warehouse	<a href="#">(4)</a>	<a href="#">(1)</a>	S
Wholesale Showroom Facility	<a href="#">(8)</a>		S
<b>UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES</b>	<b>2.02(K)</b>	<b>2.03(K)</b>	
Antenna as an Accessory	<a href="#">(2)</a>	<a href="#">(1)</a>	P
Commercial Antenna	<a href="#">(3)</a>	<a href="#">(2)</a>	S
Antenna for an Amateur Radio	<a href="#">(4)</a>	<a href="#">(3)</a>	A
Antenna Dish	<a href="#">(5)</a>	<a href="#">(4)</a>	A
Commercial Freestanding Antenna	<a href="#">(6)</a>	<a href="#">(5)</a>	S
Mounted Commercial Antenna	<a href="#">(7)</a>	<a href="#">(6)</a>	S
Helipad	<a href="#">(9)</a>		S
Utilities ( <i>Non-Municipally Owned or Controlled</i> ), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	<a href="#">(10)</a>		S
Municipally Owned or Controlled Facilities, Utilities and Uses	<a href="#">(11)</a>		P
Private Streets	<a href="#">(12)</a>		S
Radio Broadcasting	<a href="#">(13)</a>		P
Railroad Yard or Shop	<a href="#">(14)</a>		S
Recording Studio	<a href="#">(15)</a>		P
Satellite Dish	<a href="#">(16)</a>		A
Solar Energy Collector Panels and Systems	<a href="#">(17)</a>	<a href="#">(7)</a>	A
Transit Passenger Facility	<a href="#">(18)</a>		S
TV Broadcasting and Other Communication Service	<a href="#">(20)</a>		S
Utilities Holding a Franchise from the City of Rockwall	<a href="#">(21)</a>		S
Utility Installation Other than Listed	<a href="#">(22)</a>		S
Utility/Transmission Lines	<a href="#">(23)</a>		S
Wireless Communication Tower	<a href="#">(24)</a>		S

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A COMMERCIAL (C) DISTRICT FOR A 2.00-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK A, ROADSIDE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* AND FURTHER DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Mariel Street on behalf of Cathy Strother for the approval of a *Zoning Change* from an Agricultural (AG) District to a Commercial (C) District for a 2.00-acre parcel of land identified as Lot 1, Block A, Roadside Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2410 S. Goliad Street [*SH-205*], and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Commercial (C) District;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes provided for a Commercial (C) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*; Section 04.01, *General Commercial District Standards*; Section 04.04, *Commercial (C) District*, of Article 05; and Section 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2<sup>TH</sup> DAY OF JANUARY, 2023.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

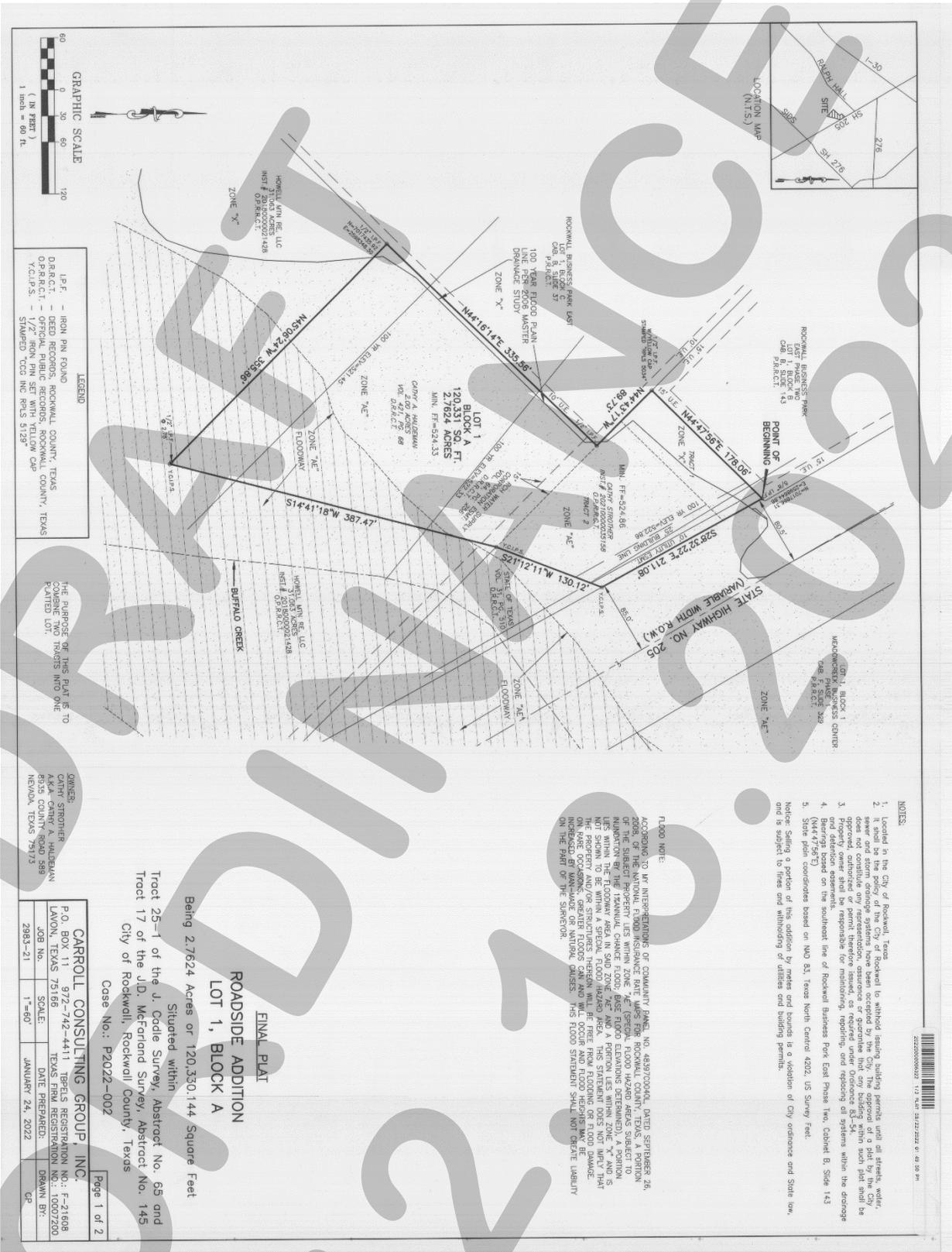
**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: *December 19, 2022*

2<sup>nd</sup> Reading: *January 2, 2023*

# Exhibit 'B' Zoning Exhibit







# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**FROM:** Angelica Guevara, *Planning Technician*  
**DATE:** December 13, 2022  
**SUBJECT:** Z2022-052; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision*

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On December 3, 2022, the applicant -- *Bart Carroll of Carroll Consulting Group, Inc.* -- sent an email on behalf of Dianna McCarty of Shepherd Place Homes, Inc. requesting to withdraw *Case No. Z2022-052*. According to the applicant, the purpose of the withdrawal request is to wait until sanitary sewer becomes available for the subject property. According to Subsection 01.03, *Application Withdrawal*, of the Article 11, *Development Application and Review Procedures*, of the Unified Development Code (UDC), "(i)f an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body." This means the Planning and Zoning Commission will need to vote on the applicant's request to withdraw. Should the Planning and Zoning Commission have any questions staff will be available at the December 13, 2022 meeting.

**From:** [Bart Carroll](#)  
**To:** [Guevara, Angelica](#); [Kyle McGlothlin](#); [Dianna McCarty](#)  
**Subject:** Re: Engineering Comments [Case No. Z2022-052]  
**Date:** Saturday, December 3, 2022 3:53:53 PM

---

Angelica

Shepherd Place Homes Inc. had decided not to continue the application for the SUP at this time for [Case No. Z2022-052]. They have decided to wait till the sanitary sewer is available.

Thank you.

***Bart Carroll RPLS***  
***Carroll Consulting Group Inc.***  
***P.O. Box 11, Lavon Texas 75166***  
*Texas RPLS Firm No. 10007200*  
*Texas PE Firm No. F-21608*  
*bart.carroll@yahoo.com*  
*972-742-4411*

On Wednesday, November 30, 2022 at 11:04:42 AM CST, Guevara, Angelica <[aguevara@rockwall.com](mailto:aguevara@rockwall.com)> wrote:

Mr. Carroll,

Please see the attached comments and let me know if you have any questions.

Thank you,

[Angelica Guevara](#)  
Planning Technician  
City of Rockwall Planning & Zoning  
385 S. Goliad Street  
Rockwall, TX 75087  
Office: 972-771-7745  
Direct: 972-772-6438

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 790 County Line Road  
 SUBDIVISION Rockwall Lake Estates LOT 2 BLOCK L  
 GENERAL LOCATION End of County Line Road East of Horizon

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential PD-75 CURRENT USE Single Family Residence PD-75  
 PROPOSED ZONING Residential PD-75 PROPOSED USE Single Family Residence PD-75  
 ACREAGE .4078 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

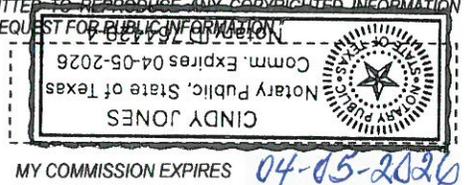
<input checked="" type="checkbox"/> OWNER	<u>Shepherd Place Homes Inc</u>	<input type="checkbox"/> APPLICANT	<u>Shepherd Place Homes Inc</u>
CONTACT PERSON	<u>Cindy Jones</u>	CONTACT PERSON	<u>Dianna McCarty</u>
ADDRESS	<u>10527 Church Rd St 201</u>	ADDRESS	<u>10527 Church Rd St 201</u>
CITY, STATE & ZIP	<u>Dallas TX 75238</u>	CITY, STATE & ZIP	<u>Dallas TX 75238</u>
PHONE	<u>972) 475-1100</u>	PHONE	<u>972 475-1100</u>
E-MAIL	<u>cjones@robbiehalehomes.com</u>	E-MAIL	<u>dianna@rhhomes@yahoo.com</u>

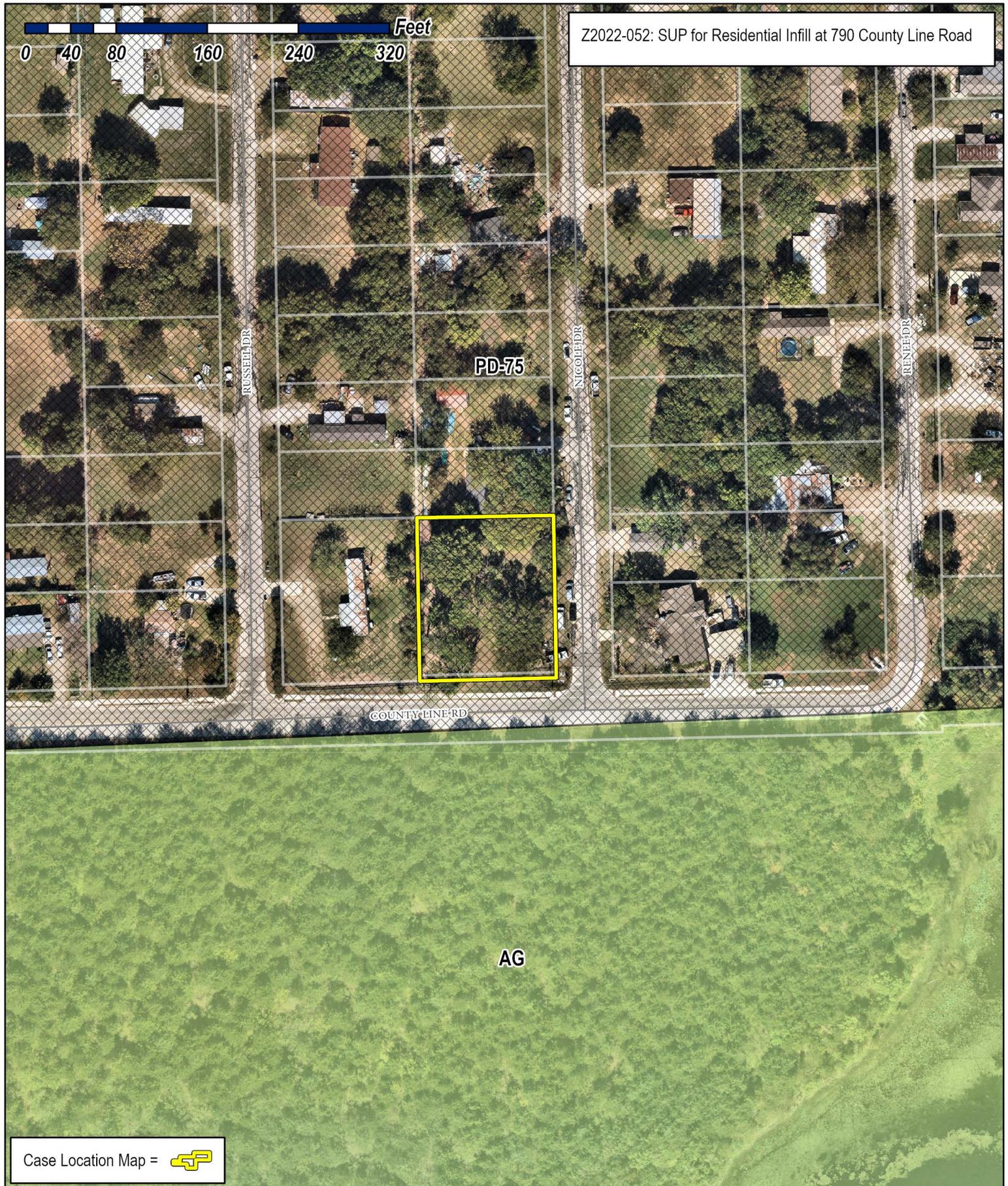
### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ROBBIE LEE HALE [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11/11/22 DAY OF NOVEMBER 2022 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF November, 2022  
 OWNER'S SIGNATURE Robbie Lee Hale, Pres  
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Kendy Jones





Z2022-052: SUP for Residential Infill at 790 County Line Road

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

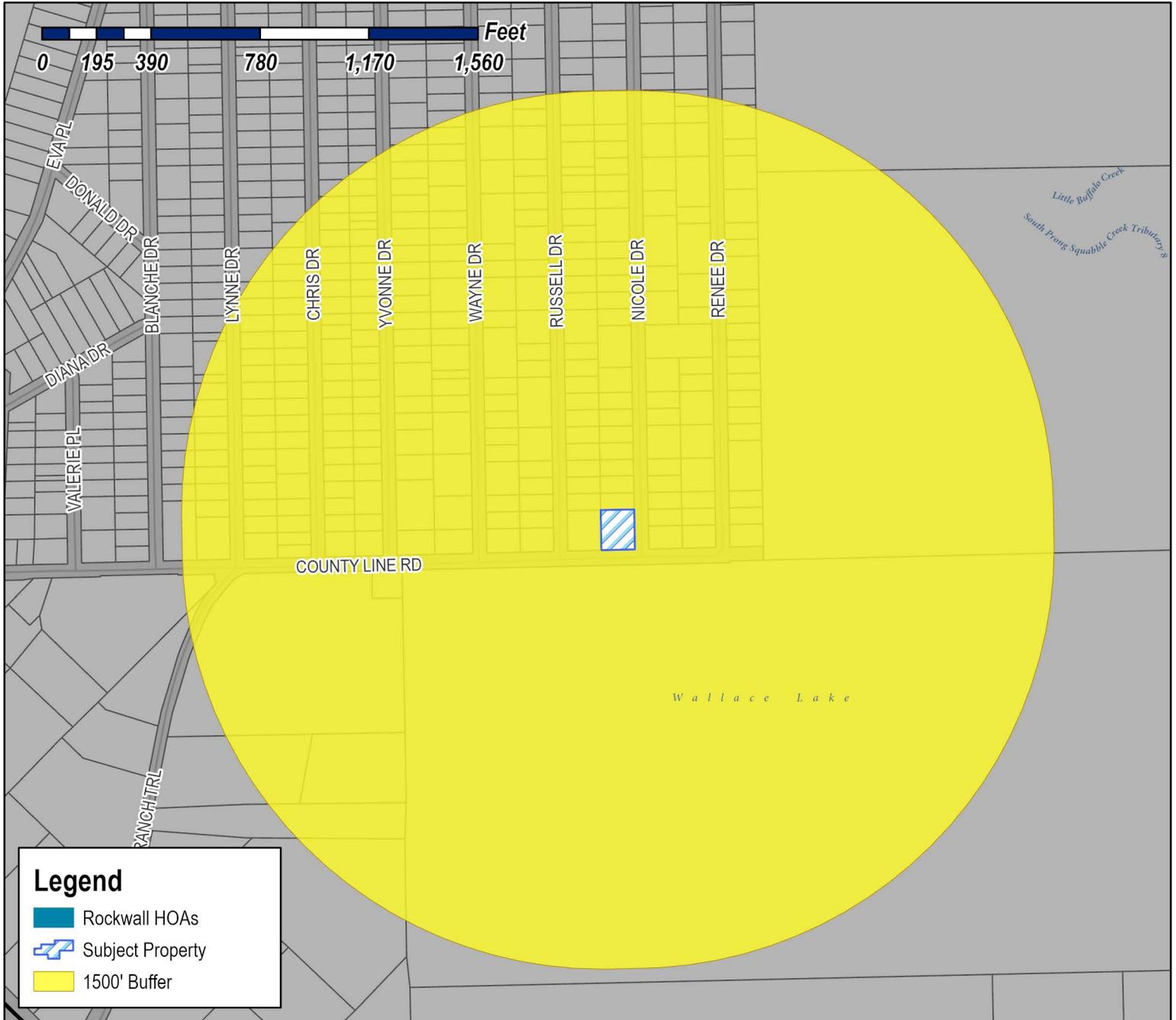




# City of Rockwall

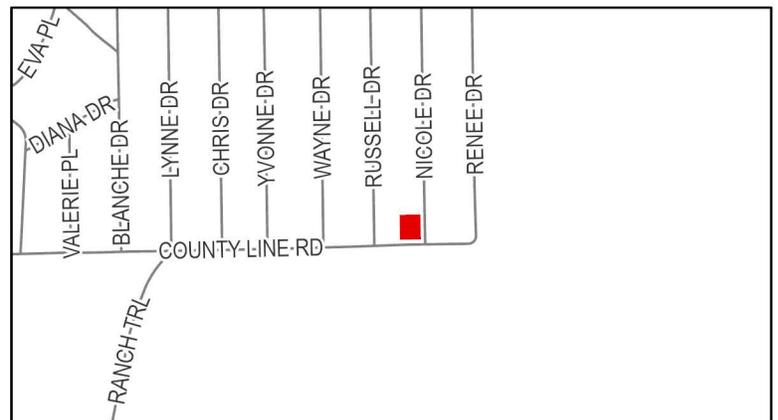
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**Case Number:** Z2022-052  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 790 County Line Rd

**Date Saved:** 11/15/2022  
 For Questions on this Case Call (972) 771-7745





# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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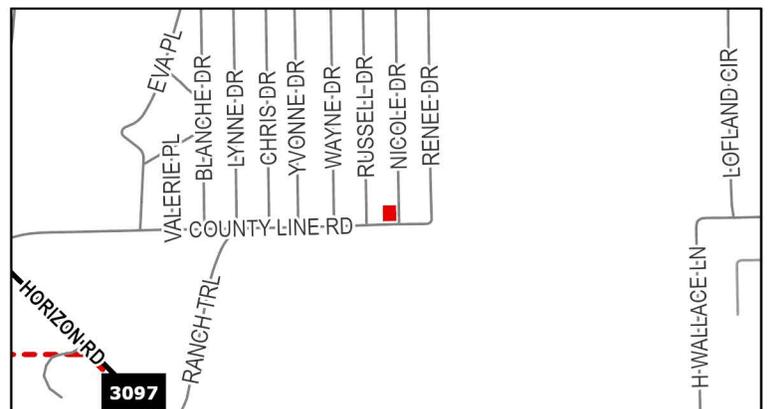
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**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 790 County Line Road

**Date Saved:** 11/15/2022

For Questions on this Case Call: (972) 771-7746



LOFLAND N L EST  
1 CARMARTHEN CT  
DALLAS, TX 75225

SHEPHERD PLACE HOMES INC  
10527 CHURCH RD SUITE 201  
DALLAS, TX 75238

ROCKWALL HABITAT FOR HUMANITY  
1101 RIDGE RD  
ROCKWALL, TX 75087

PANTZAY MARVIN A FLORES AND  
SULEIMA Y MONTERROSO  
111 NICOLE DRIVE  
ROCKWALL, TX 75032

THOMPSON WILLIAM R ETUX  
115 RENEE DR  
ROCKWALL, TX 75032

AGUILLON JOSE LUIS  
115 WAYNE DR  
ROCKWALL, TX 75032

DIAZ CARLOS O &  
YOVANA M CHAVEZ  
115 RUSSELL DR  
ROCKWALL, TX 75032

SHEPHERD PLACE HOMES INC  
116 NICOLE  
ROCKWALL, TX 75032

GLEASON DIANE  
116 RUSSELL DR  
ROCKWALL, TX 75032

CONTRERAS JOSE A  
118 RENEE DR  
ROCKWALL, TX 75032

OLIVARES JAIME  
1209 QUAIL DR  
GARLAND, TX 75040

DE SANTIAGO OSCAR MANUEL ACOSTA  
124 WAYNE DR  
ROCKWALL, TX 75032

RAMIREZ ZACARIAS  
1244 COUNTY RD 2278  
QUINLAN, TX 75474

RAMIREZ ZACARIAS  
1244 COUNTY RD 2278  
QUINLAN, TX 75474

BARRON GILDARDO  
125 WAYNE DR  
ROCKWALL, TX 75032

VASQUEZ FRANCISCO  
125 NICOLE DR  
ROCKWALL, TX 75032

ESPINOZA ERIKA ARACELI  
125 NICOLE DR  
ROCKWALL, TX 75032

THOMPSON WILLIAM R ETUX  
127 RENEE DR  
ROCKWALL, TX 75032

GLEASON DIANE  
128 RUSSELL DR  
ROCKWALL, TX 75032

CONTRERAS JOSE A  
130 RENEE DR  
ROCKWALL, TX 75032

ESPINOZA ERIKA ARACELI  
132 WAYNE DR  
ROCKWALL, TX 75032

RAMIREZ ZACARIAS  
133 RUSSELL DR  
ROCKWALL, TX 75032

JUNFA USA, LLC  
137 NICOLE DR  
ROCKWALL, TX 75032

THOMPSON WILLIAM R ETUX  
139 RENEE DR  
ROCKWALL, TX 75032

IBARRA MATEO CASTRO  
140 NICOLE DR  
ROCKWALL, TX 75032

IBARRA MATEO CASTRO  
140 NICOLE DR  
ROCKWALL, TX 75032

CLEM MILFORD  
142 RUSSELL DR  
ROCKWALL, TX 75032

CONTRERAS JOSE A  
142 RENEE DR  
ROCKWALL, TX 75032

CONTRERAS JOSE A  
142 RENEE DR  
ROCKWALL, TX 75032

CONTRERAS JOSE A  
142 RENEE DR  
ROCKWALL, TX 75032

RAMIREZ ZACARIAS  
143 RUSSELL DR  
ROCKWALL, TX 75032

EMZ REAL ESTATE LLC  
143 WAYNE DR  
ROCKWALL, TX 75032

RUIZ SONIA  
149 NICOLE DR  
ROCKWALL, TX 75032

IBARRA MATEO CASTRO  
152 NICOLE DR  
ROCKWALL, TX 75032

MARQUEZ FELIX C  
154 RUSSELL DR  
ROCKWALL, TX 75032

MARQUEZ FELIX C  
154 RUSSELL DR  
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ  
155 RUSSELL DR  
ROCKWALL, TX 75032

ROCKWALL HOUSING DEV CORP  
A TEXAS NON-PROFIT CORP OF RW  
157 WAYNE DR  
ROCKWALL, TX 75032

RODRIGUEZ YUNIOR ARROYO  
158 WAYNE DR  
ROCKWALL, TX 75032

RUIZ SONIA  
159 NICOLE DR  
ROCKWALL, TX 75032

VASQUEZ JESUS AND ROSA  
162 RENEE DR  
ROCKWALL, TX 75032

AGUILLON JOSE LUIS  
163 BASS RD  
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R  
164 NICOLE DR  
ROCKWALL, TX 75032

ROCKWALL HABITAT FOR HUMANITY  
167 RUSSELL DR  
ROCKWALL, TX 75032

VASQUEZ JESUS  
167 RENEE DR  
ROCKWALL, TX 75032

MARQUEZ FELIX C  
168 RUSSELL DR  
ROCKWALL, TX 75032

AVILA LUZ MARIA  
169 WAYNE DR  
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R  
176 NICOLE DR  
ROCKWALL, TX 75032

MEJIA JULIO & MARIA  
176 RENEE DR  
ROCKWALL, TX 75032

FAST INVESTMENTS LLC  
181 RUSSELL DR  
ROCKWALL, TX 75032

MEDRANO CESAR AND ANDREA MARTINEZ  
181 RENEE DR  
ROCKWALL, TX 75032

ACUNA NINFA  
182 RUSSELL DR  
ROCKWALL, TX 75032

HERNANDEZ FELICITAS  
183 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL  
GELLY DELROSARIO  
186 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R  
186 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL  
GELLY DELROSARIO  
186 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R  
186 NICOLE DR  
ROCKWALL, TX 75032

OLIVARES JAIME  
191 RENEE DR  
ROCKWALL, TX 75032

AVILA LUZ MARIA  
1924 DEVONSHIRE  
GARLAND, TX 75041

AVILA LUZ MARIA  
1924 DEVONSHIRE  
GARLAND, TX 75041

FAST INVESTMENTS LLC  
193 RUSSELL DR  
ROCKWALL, TX 75032

MONTOYA YVONNE  
193 RUSSELL DRIVE  
ROCKWALL, TX 75032

CARMONA JOSE  
194 RENEE DRIVE  
ROCKWALL, TX 75032

ESPARZA NORA  
195 NICOLE DR  
ROCKWALL, TX 75032

AVILA LUZ MARIA  
195 WAYNE DR  
ROCKWALL, TX 75032

HERNANDEZ FIDEL ESPINO  
195 WAYNE DR  
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL  
GELLY DELROSARIO  
196 NICOLE DR  
ROCKWALL, TX 75032

RENO PATRICIA JEAN  
198 RUSSELL DR  
ROCKWALL, TX 75032

THOMPSON WILLIAM R ETUX  
20 CALLE DEL SOL  
SAN JUAN, PR 901

THOMPSON WILLIAM R ETUX  
20 CALLE DEL SOL  
SAN JUAN, PR 901

THOMPSON WILLIAM R ETUX  
20 CALLE DEL SOL  
SAN JUAN, PR 901

RUIZ SONIA  
2009 WORCESTER LN  
GARLAND, TX 75040

RUIZ SONIA  
2009 WORCESTER LN  
GARLAND, TX 75040

LEDEZMA J SOCORRO AGUILAR  
201 RENEE DRIVE  
ROCKWALL, TX 75032

ESPARZA NORA  
207 NICOLE DR  
ROCKWALL, TX 75032

SANCHEZ ARNULFO  
208 NICOLE DR  
ROCKWALL, TX 75032

PROCK CHARLES A AND EVELYN  
209 RUSSELL DR  
ROCKWALL, TX 75032

PROCK CHARLES A AND EVELYN  
209 RUSSELL DR  
ROCKWALL, TX 75032

HERNANDEZ FIDEL ESPINO  
211 WAYNE DR  
ROCKWALL, TX 75032

RENO PATRICIA JEAN  
218 RUSSELL DRIVE  
ROCKWALL, TX 75032

CARMONA JOEL  
221 NICOLE DR  
ROCKWALL, TX 75032

SANCHEZ ARNULFO  
222 NICOLE DR  
ROCKWALL, TX 75032

SALAS MIGUEL ANGEL LEDEZMA AND  
YAJAIRA GUADALUPE GARCIA FERNANDEZ  
223 RUSSELL DR  
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA  
230 RENEE DR  
ROCKWALL, TX 75032

EMZ REAL ESTATE LLC  
235 RUSSELL DR  
ROCKWALL, TX 75032

SANCHEZ ARNULFO  
398 NICOLE DR  
ROCKWALL, TX 75032

SANCHEZ ARNULFO  
398 NICOLE DR  
ROCKWALL, TX 75032

SALAS MIGUEL ANGEL LEDEZMA AND  
YAJAIRA GUADALUPE GARCIA FERNANDEZ  
416 BASS RD  
ROCKWALL, TX 75032

CLEM MILFORD  
433 THISTLE DR  
GARLAND, TX 75043

WALLACE LAND PARTNERS L P  
6271 HORIZON RD  
ROCKWALL, TX 75032

ACUNA NINFA  
703 T L TOWNSEND DR  
ROCKWALL, TX 75087

SIERRA ZACARIAS RAMIREZ  
703 T L TOWNSEND DR  
ROCKWALL, TX 75087

ESPARZA NORA  
7723 GLENMERE TRAIL  
SACHSE, TX 75048

ESPARZA NORA  
7723 GLENMERE TRAIL  
SACHSE, TX 75048

ROCKWALL HOUSING DEV CORP  
A TEXAS NON-PROFIT CORP OF RW  
787 HAIL DR  
ROCKWALL, TX 75032

JUNFA USA, LLC  
910 MELISSA LN  
GARLAND, TX 75040

EMZ REAL ESTATE LLC  
9110 TAMPAS LANE  
DALLAS, TX 75227

EMZ REAL ESTATE LLC  
9110 TAMPAS LANE  
DALLAS, TX 75227

HERNANDEZ FIDEL ESPINO  
9233 WHISKERS RD  
QUINLAN, TX 75474

HERNANDEZ FIDEL ESPINO  
9233 WHISKERS RD  
QUINLAN, TX 75474

BARRON GILDARDO  
P.O. BOX 2044  
ROCKWALL, TX 75087

GLEASON DIANE  
PO BOX 670041  
DALLAS, TX 75367

GLEASON DIANE  
PO BOX 670041  
DALLAS, TX 75367

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2022-052: Specific Use Permit for Residential Infill in an Established Subdivision**

*Hold a public hearing to discuss and consider a request by Danna McCarty of Shepherd Place Homes, Inc. for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.4078-acre tract of land identified as Lots 1300 & 1301 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 790 County Line Road, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 13, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 19, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S.Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 19, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2022-052: Specific Use Permit for Residential Infill in an Established Subdivision**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

## Case No. Z2022-052: Specific Use Permit for Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

 I am in favor of the request for the reasons listed below. I am opposed to the request for the reasons listed below.~~Morr~~

More new houses, less wasteland. make the city of Rockwall more beautiful. I am favor of the request.

Name: Jufa USA, LLC

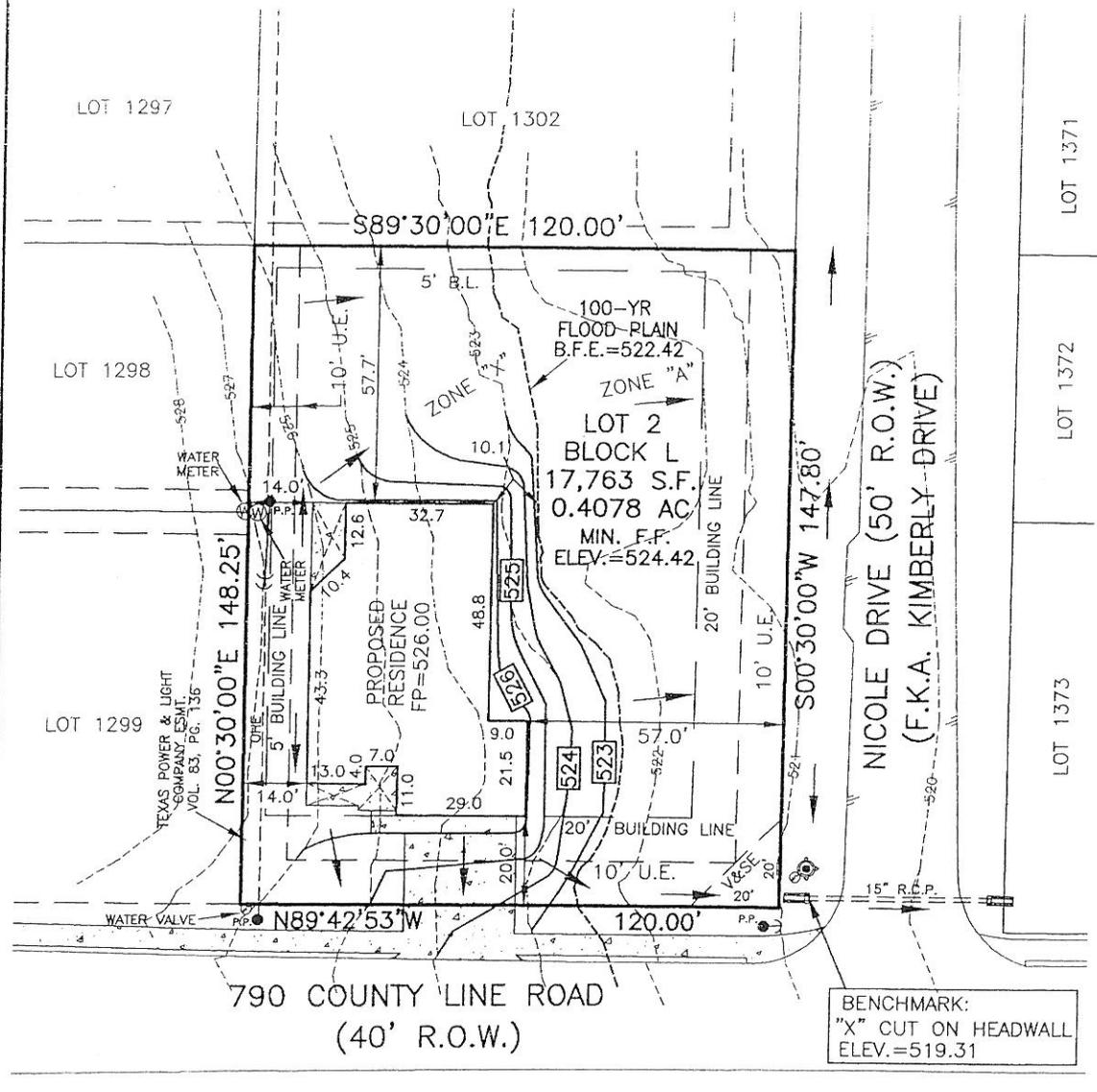
Address: 137 Nicole Dr. Rockwall TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# GRADING PLAN

BEING LOT 2, BLOCK L, OF LAKE ROCKWALL ESTATES EAST ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT NO. 20220000015610, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS.

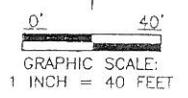
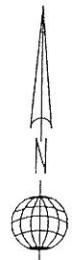


LEGEND	
B.F.E.	— BASE FLOOD ELEVATION
V&SE	— 20'x20' VISIBILITY AND SIDEWALK EASEMENT
	— EXISTING WATER VALVE
	— EXISTING FIRE HYDRANT
	— EXISTING POWER POLE
	— EXISTING WATER METER
—524—	— EXISTING CONTOURS
	— PROPOSED CONTOURS



*Henry G Niblo*  
9/28/2022

790 County Line Road  
Rockwall TX 75032  
Lot 2 Block L  
Rockwall Lake Estates Addition



BENCHMARK:  
"X" CUT ON HEADWALL  
ELEV.=519.31

NOTES:  
BEARINGS, BUILDING LINES, R.O.W.S,  
EASEMENTS, DIMENSIONS, ETC. ARE  
PER PLAT REFERENCED IN LEGAL  
DESCRIPTION ABOVE.

**CARROLL CONSULTING GROUP, INC.**  
P.O. BOX 11  
LAVON, TEXAS 75166  
Phone (972) 742-4411  
TBPELS REGISTRATION NO.: F-21608  
TEXAS FIRM REGISTRATION NO.: 10007200  
COPYRIGHT © CARROLL CONSULTING GROUP

WALLACE LAND PARTNERS, L.P.  
VOL. 2017, PG. 76  
D.R.R.C.T.

FLOOD NOTE:  
According to my interpretations of Community Panel No. 48397C0040L, dated September 26, 2008, of the National Flood Insurance Rate Maps for Rockwall County, Texas, a portion of the subject property lies within Zone "A" (special flood hazard areas subject to inundation by the 1% annual chance flood; no base flood elevations determined) and a portion lies within Zone "X" and is not shown to be within a special flood hazard area. This statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.



REAR ELEVATION



FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



Laura Lowe Design, LLC  
home design since 1980  
972-462-9300

790 County Line Road  
Rockwall lake Estates  
Lot 2 Block L

PLAN 2115  
B elevation  
3 CAR GARGAE

ROBBIE HALE  
HOMES

DATE:

4/16/2022

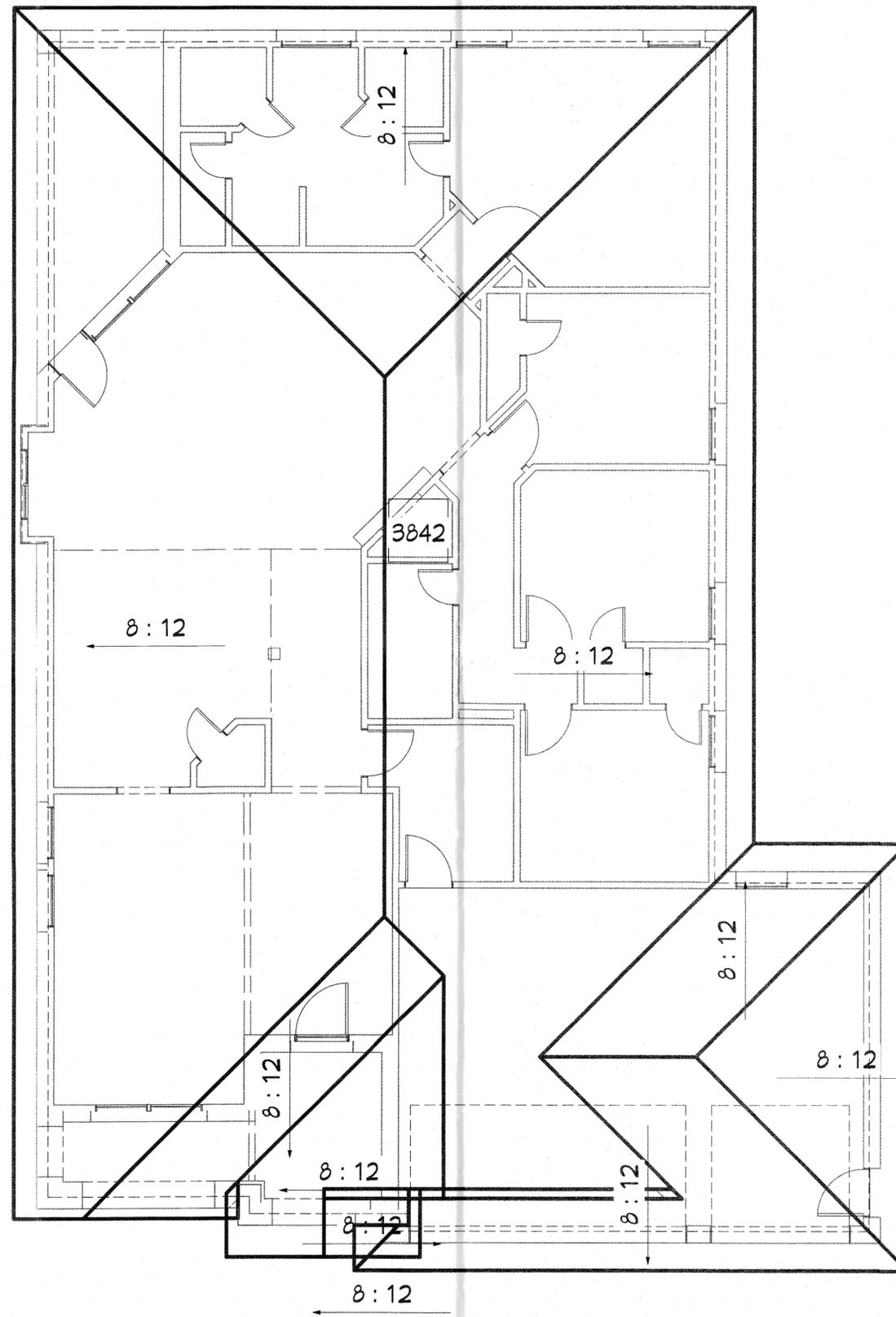
SCALE:

1/4" = 1'0"

SHEET:

2

These plans must comply with  
2018 IRC and 2014 NEC



Laura Lowe Design, LLC  
 home design since 1980  
 972-462-9300

ROBBIE HALE  
 HOMES

PLAN 2115  
 B elevation  
 3 CAR GARGAE

DATE:

4/19/2022

SCALE:

1/4"=1'0"

SHEET:

These plans must comply with  
 2018 IRC and 2014 NEC

790 County Line Road  
 Rockwall TX 75032  
 Lot 2 Block L  
 Rockwall Lake Estates Addition

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.4078-ACRE PARCEL OF LAND, IDENTIFIED AS LOTS 1300 & 1301, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Danna McCarty of Shepherd Homes, Inc. for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.4078-acre parcel of land being described as Lots 1300 & 1301, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 130 Chris Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 2<sup>nd</sup> DAY OF JANUARY, 2023.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: December 19, 2022

2<sup>nd</sup> Reading: January 2, 2023

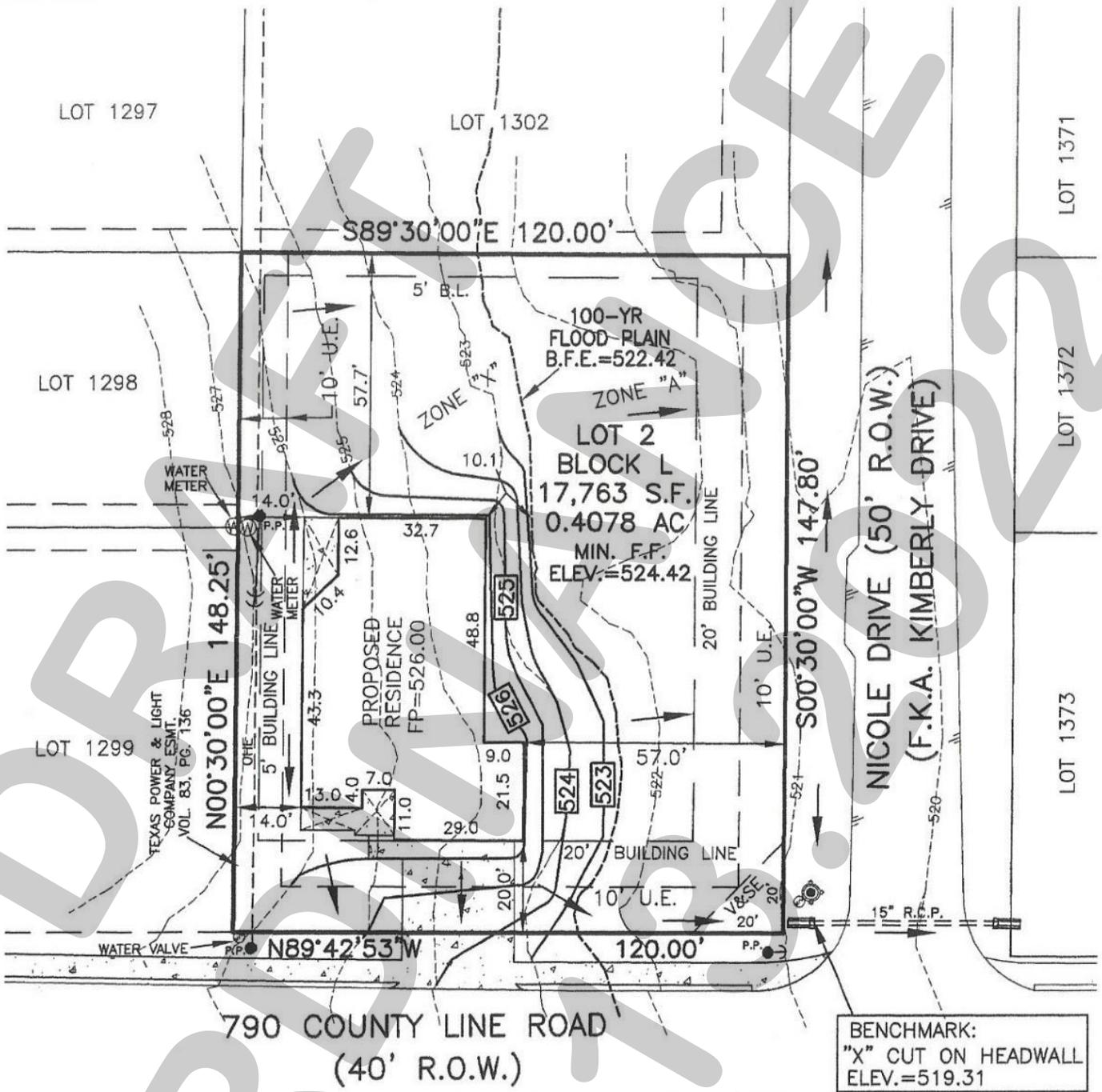
**Exhibit 'A'**  
*Location Map and Survey*

Address: 790 County Line Road

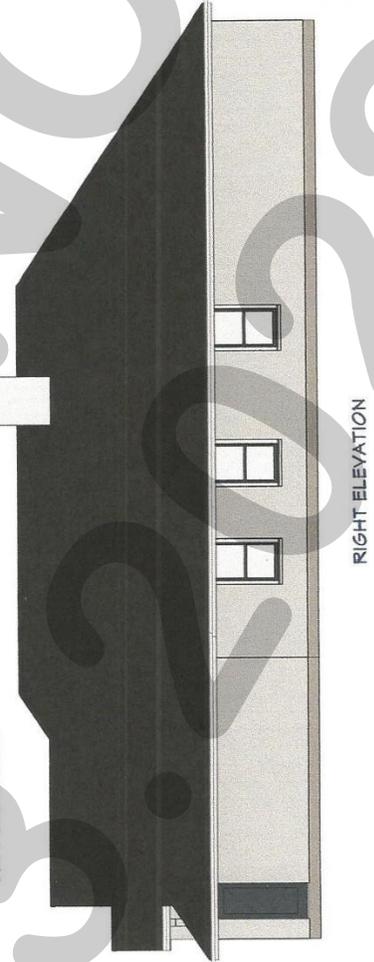
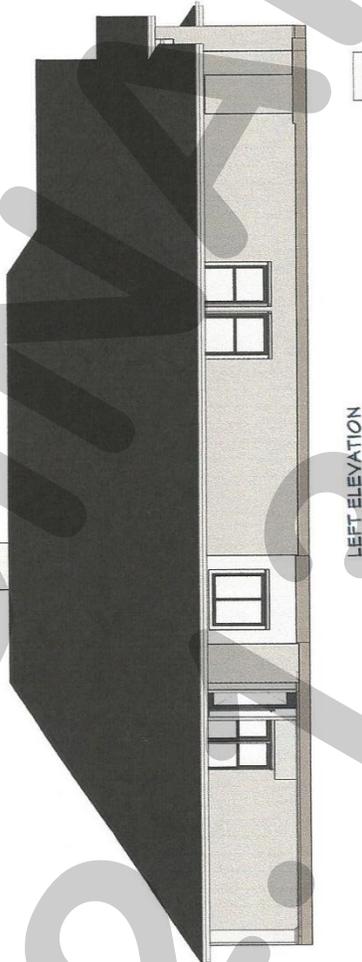
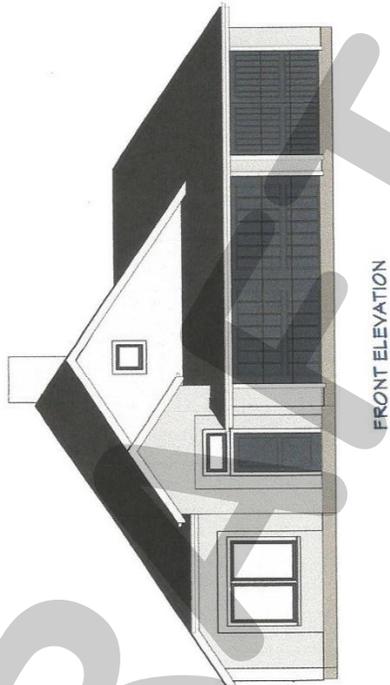
Legal Description: Lots 1300 & 1301, Rockwall Lake Estates #2 Addition



**Exhibit 'B':**  
Residential Plot Plan



**Exhibit 'C':**  
*Building Elevations*



These plans must comply with  
2018 IRC and 2014 NEC



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**FROM:** Henry Lee, *Planner*  
**DATE:** December 13, 2022  
**SUBJECT:** Z2022-053; *Zoning Change from Agricultural (AG) District to a Planned Development District*

---

On December 6, 2022, the applicant -- *Dub Douphrate of Douphrate & Associates, Inc.* -- sent an email to staff requesting to withdraw *Case No. Z2022-053*. According to the applicant, the purpose of the withdrawal request is to allow more time to address staff comments prior to resubmitting the case. According to Subsection 01.03, *Application Withdrawal*, of the Article 11, *Development Application and Review Procedures*, of the Unified Development Code (UDC), "(i)f an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body." This means the Planning and Zoning Commission will need to vote on the applicant's request to withdraw. Should the Planning and Zoning Commission have any questions staff will be available at the December 13, 2022 meeting.

December 6, 2022

Ryan Miller  
Director of Planning  
City of Rockwall, Texas

Re: Request for PD Zoning Case Z2022-053 application withdrawal

Dear Ryan,

On behalf of Mr. Dewayne Cain, please allow this letter to serve as a formal request to withdraw the zoning case Z2022-053 in order to allow our design team more time to work through the concept plan comments and design modifications that need to be addressed. We plan to resubmit the updated concept plan by the next submittal cycle deadline.

Should you have any questions regarding this request please let me know.

Sincerely,

*W.L. Douphrate II*

W.L. Douphrate II, P.E.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Parcel situated in David Harr Survey Abs. 102

SUBDIVISION 25.41 Cain Revocable Trust Property LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION located east of Wild Boon Addition adjacent to and south of SH 66 centered between J. King Blvd and FM 3549

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG CURRENT USE AG

PROPOSED ZONING PD PROPOSED USE PD

ACREAGE 25.41 LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] 8

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Dewayne Cain

APPLICANT Doughrate & Assoc., Inc.

CONTACT PERSON \_\_\_\_\_ CONTACT PERSON Dub Doughrate

ADDRESS 305 Stonebridge Dr ADDRESS 2235 R.idge Rd

CITY, STATE & ZIP Rockwall, TX 75087 CITY, STATE & ZIP Rockwall, TX 75087

PHONE 214.533.8641 PHONE 972.742.2210

E-MAIL dewaynecain25@outlook.com E-MAIL wldoughrate@doughrate.com

## NOTARY VERIFICATION [REQUIRED]

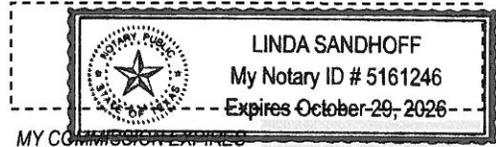
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Dewayne Cain [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 581.15 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 9th DAY OF NOVEMBER, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

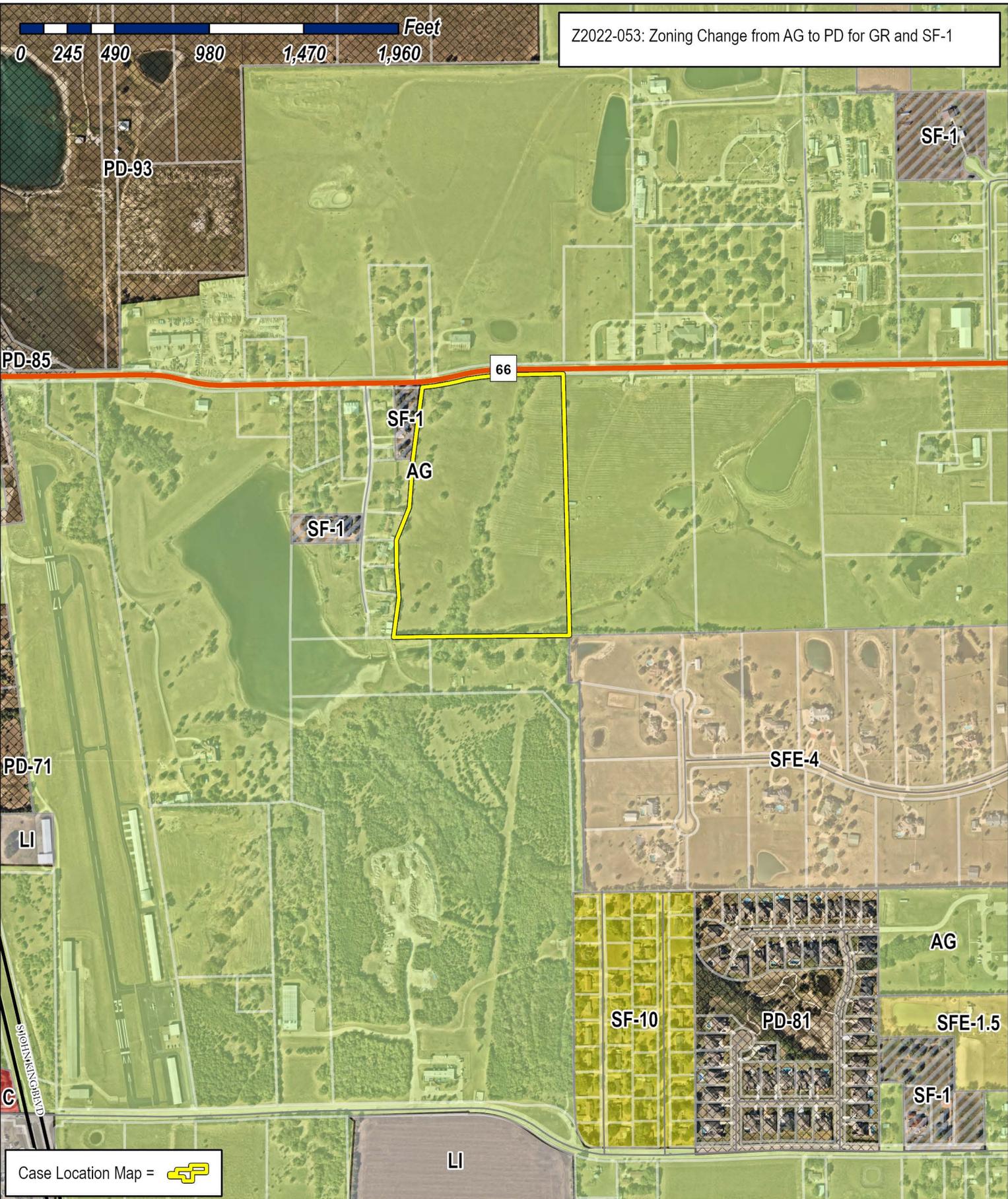
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 9 DAY OF Nov, 2022.

OWNER'S SIGNATURE Dewayne Cain

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Linda Sandhoff



Z2022-053: Zoning Change from AG to PD for GR and SF-1



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

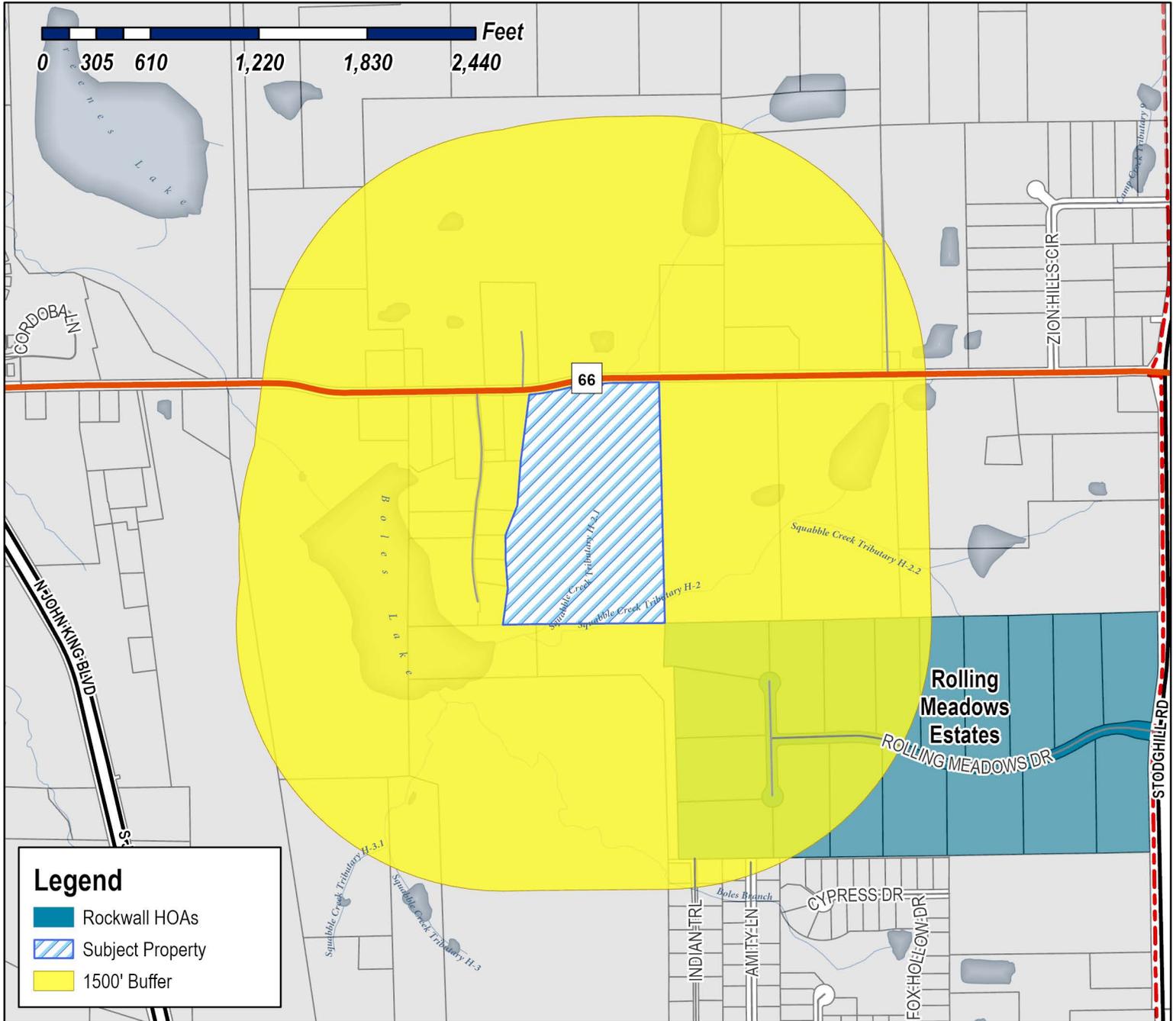




# City of Rockwall

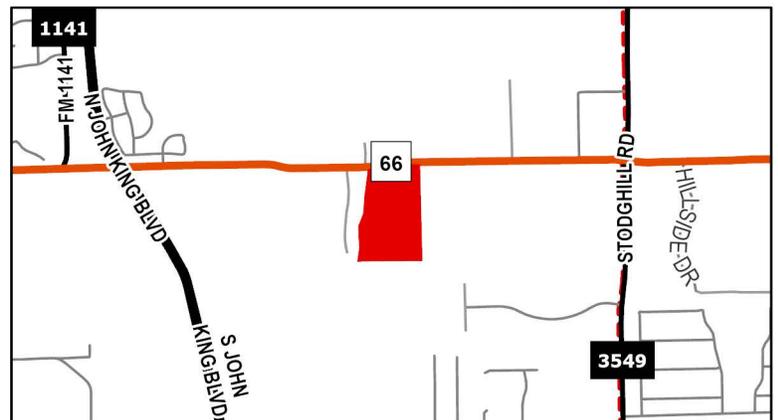
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2022-053  
**Case Name:** Zoning Change from AG to PD  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** SE of HWY 66 & John King Blvd

**Date Saved:** 11/15/2022  
 For Questions on this Case Call (972) 771-7745



## Lee, Henry

---

**From:** Guevara, Angelica  
**Sent:** Friday, November 18, 2022 8:51 AM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry; Chapin, Sarah  
**Subject:** Neighborhood Notification Program [Z2022-053]  
**Attachments:** HOA Map Z2022-053.pdf; Public Notice Z2022-053.pdf

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [November 18, 2022](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, December 13, 2022 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, December 19, 2022 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2022-053: Zoning Change from AG to PD**

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. for the approval of a [Zoning Change](#) from an Agricultural (AG) District to a Planned Development (PD) District for General Retail (GR) District and Single-Family 10 (SF-10) District land uses on a 25.87-acre tract of land identified as parcel of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66 and Davis Drive, and take any action necessary.

Thank you,

*Angelica Guevara*

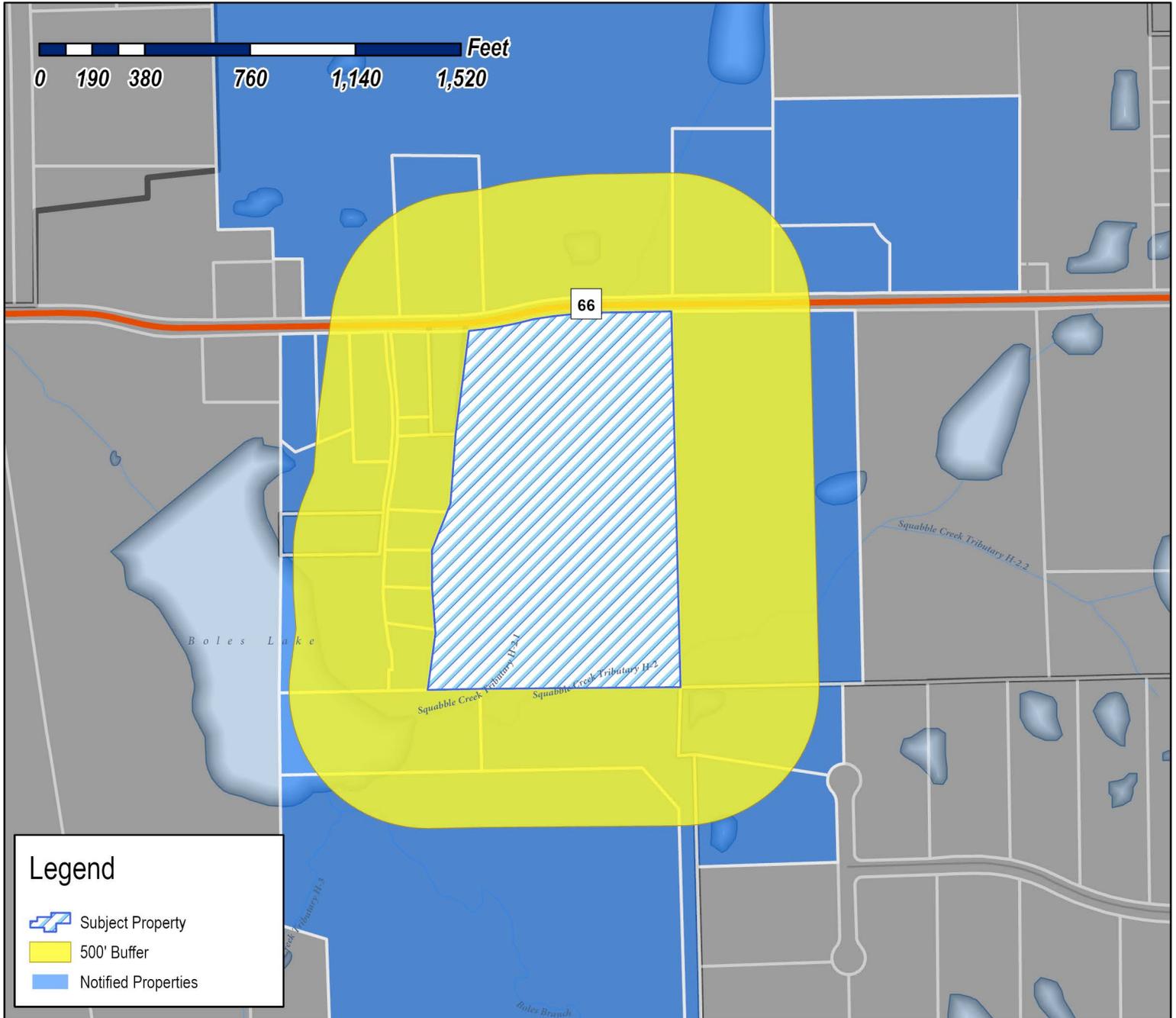
Planning Technician  
City of Rockwall Planning & Zoning  
385 S. Goliad Street  
Rockwall, TX 75087  
Office: 972-771-7745  
Direct: 972-772-6438



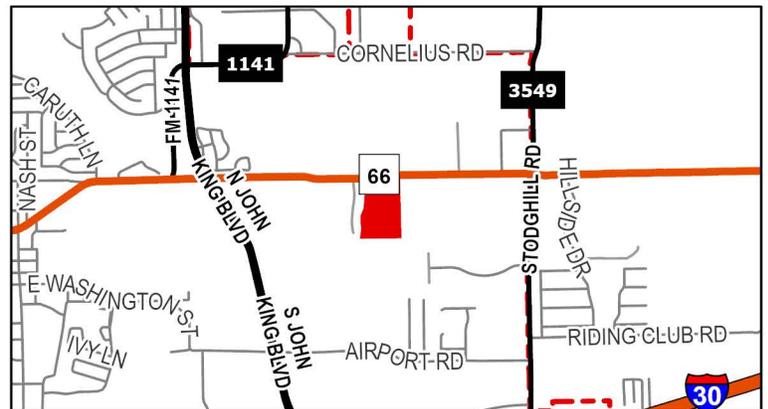
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2022-053  
**Case Name:** Zoning Change from AG to PD  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** SE of HWY 66 & John King Blvd



**Date Saved:** 11/15/2022

For Questions on this Case Call: (972) 771-7746

NELSON MARC J & MICHELLE L  
135 ROLLING MEADOWS CIR  
ROCKWALL, TX 75087

152 HILL LN  
ROCKWALL, TX 75087

CUMMINGS JOHN & LORI  
1770 E HWY66  
ROCKWALL, TX 75087

COLLIER JUDY KAY AND  
THERESA ROBBINS  
1780 WILLIAMS ST  
ROCKWALL, TX 75087

MCILRATH PROPERTIES LLC  
1790 WILLIAMS ST  
ROCKWALL, TX 75087

RYAN BILL K  
1800 WILLIAMS ST  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
1815 AIRPORT RD  
ROCKWALL, TX 75087

SULLIVAN BRETT D & EDNA  
195 ROLLING MEADOWS CIR  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
205 W RUSK ST  
ROCKWALL, TX 75087

CAIN FAMILY PARTNERSHIP LTD  
2294 E STATE HIGHWAY 66  
ROCKWALL, TX 75087

CARRIAGE MANAGEMENT INC  
2500 HWY66  
ROCKWALL, TX 75087

CARRIAGE MANAGEMENT INC  
3040 POST OAK BLVD SUITE 300  
HOUSTON, TX 77056

CARRIAGE MANAGEMENT INC  
3040 POST OAK BLVD SUITE 300  
HOUSTON, TX 77056

CAIN FAMILY PARTNERSHIP LTD  
305 STONEBRIDGE DR  
ROCKWALL, TX 75087

CAIN FAMILY PARTNERSHIP LTD  
305 STONEBRIDGE DR  
ROCKWALL, TX 75087

CUMMINGS JOHN & LORI  
308 STONEBRIDGE DR  
ROCKWALL, TX 75087

RYAN BILL K  
330 VZ CR 2207  
CANTON, TX 75103

RYAN GARY S AND CONSTANCE E  
502 WILLIAMS ST  
ROCKWALL, TX 75087

MCILRATH PROPERTIES LLC  
636 GRISHAM DR  
ROCKWALL, TX 75087

SELLERS DONYA BEATRICE  
700 DAVIS DR  
ROCKWALL, TX 75087

SELLERS DONYA BEATRICE  
700 DAVIS DR  
ROCKWALL, TX 75087

SELLERS DONYA BEATRICE  
700 DAVIS DR  
ROCKWALL, TX 75087

RYAN GARY S AND CONSTANCE E  
710 DAVIS DR  
ROCKWALL, TX 75087

MOCK ALYSSA  
720 DAVIS DR  
ROCKWALL, TX 75087

MA MICHAEL D AND CAROLINE J G MOORE  
725 DAVIS DR  
ROCKWALL, TX 75087

DAILEY MARK L  
730 DAVIS DR  
ROCKWALL, TX 75087

SARACAY JOSELIN E LANDAVERDE AND  
JOSE ANTONIO LANDAVERDE  
735 DAVIS DRIVE  
ROCKWALL, TX 75087

RINKEVICH FAMILY LIVING TRUST  
JOSEPH W RINKEVICH- TRUSTEE  
740 DAVIS DR  
ROCKWALL, TX 75087

RAINES SHERYL  
745 DAVIS DR  
ROCKWALL, TX 75087

COOK SHERRY LYNN  
760 DAVIS DRIVE  
ROCKWALL, TX 75087

WIDBOOM ROBBY AND KYLIE  
770 DAVIS DR  
ROCKWALL, TX 75087

CAIN REVOCABLE FAMILY TRUST AND  
CREDIT SHELTER TRUST AND SURVIVORS TRUST  
DEWAYNE CAIN TRUSTEE 305 STONEBRIDGE DR  
ROCKWALL, TX 75087

CAIN CEMETARY CORP  
N/A HWY66  
ROCKWALL, TX 75087

CAIN CEMETARY CORP  
PO BOX 1119  
ROCKWALL, TX 75087

RAINES SHERYL  
PO BOX 412  
ROCKWALL, TX 75087

, 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2022-051: Zoning Change from AG to C**

Hold a public hearing to discuss and consider a request by Mariel Street on behalf of Cathy Strother for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a two (2) acre parcel of land identified as Lot 1, Block A, Roadside Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2410 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 13, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 19, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 19, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2022-051: Zoning Change from AG to C**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

November 10, 2022

City of Rockwall

Planning and Zoning Department

385 S. Goliad Street

Rockwall, TX 75087

Dear Sirs:

I am requesting a Planned Development on a 25.41-acre tract of land my family trust owns. The property is in the David Harr Survey Abstract #102 and is adjacent to State Highway 66. The property falls within the Rockwall City Limits. The PD will be a mixed-use development consisting of residential lots that are larger than most currently being developed in Rockwall. As a buffer, the front of the property adjacent to State Highway 66 will be zoned commercial.

Respectfully submitted,

Cain Family Revocable Trust

A handwritten signature in blue ink that reads "Dewayne Cain". The signature is written in a cursive style with a large initial "D" and a long, sweeping underline.

Dewayne Cain, Trustee



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY THE BOARD OF PROFESSIONAL ENGINEERS OF THE STATE OF TEXAS P.E. DOUGLAS R. H. & ASSOCIATES, INC. LICENSE NO. 80102 DATE: NOV 2, 2022

**DOUPHRADE & ASSOCIATES, INC.**  
 ENGINEERING PROJECT MANAGEMENT SURVEYING  
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087  
 PHONE: (972)771-9004 FAX: (972)771-9005

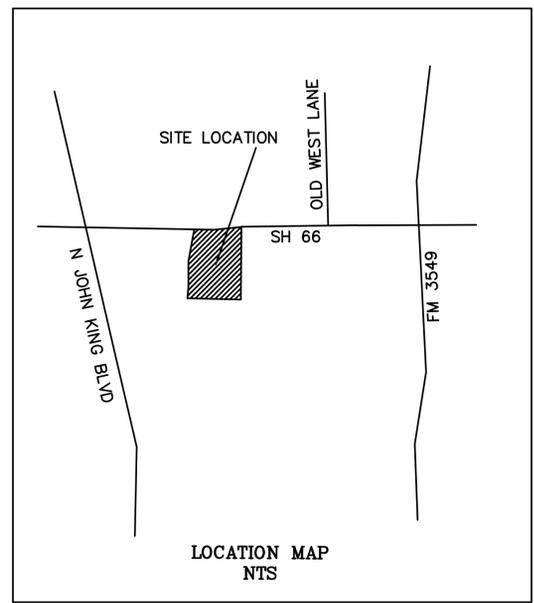
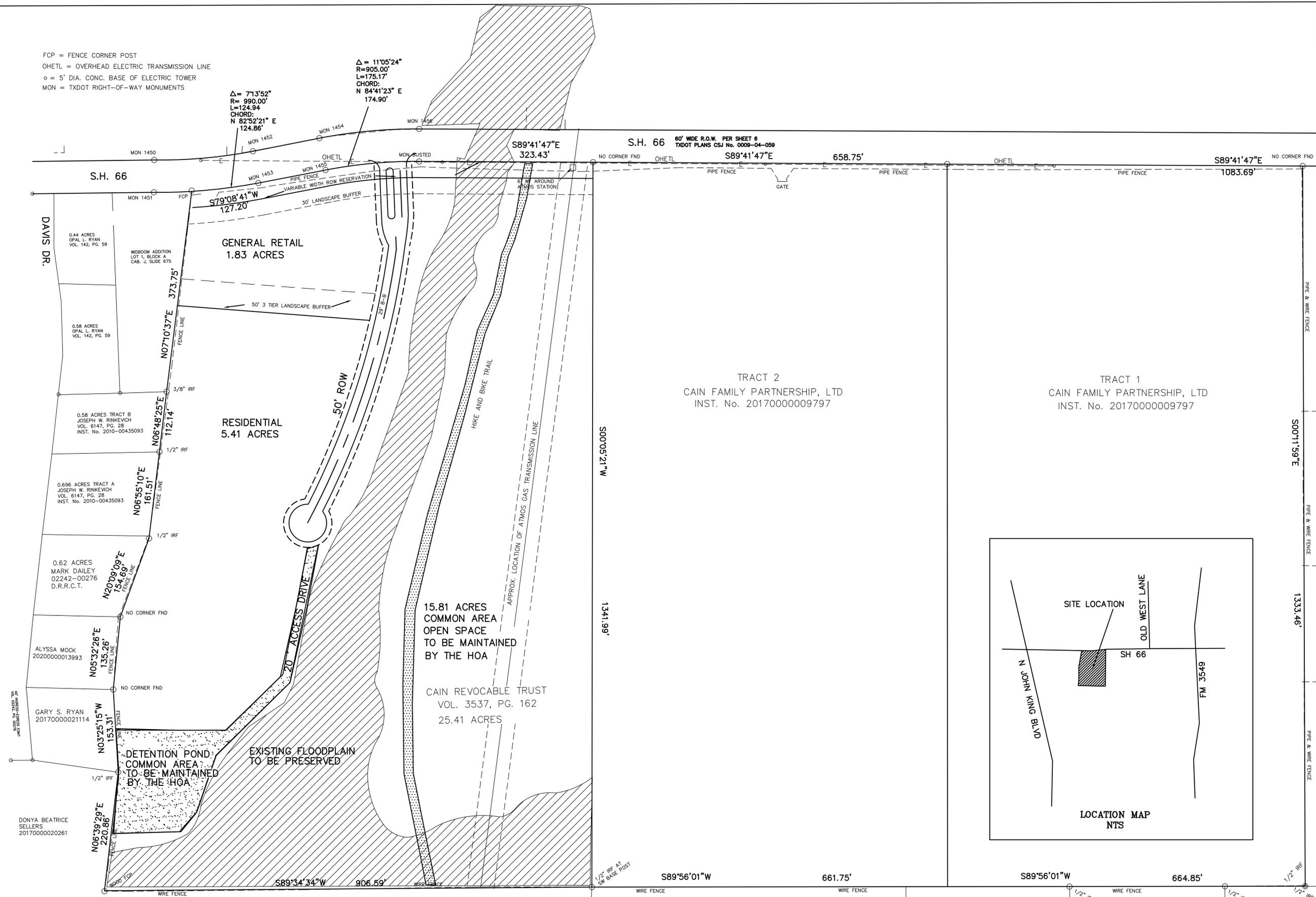
**CONCEPT PLAN**  
**CAIN SH 66 25 ACRE PLANNED DEVELOPMENT**  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS

REVISION  
 W.L.D.  
 CHECKED  
 G.C.W.  
 DRAWN  
 SCALE  
 1" = 80' H  
 1" = 100' V  
 DATE  
 NOV 4, 2022  
 PROJECT  
 2007 SITE PL.  
 20

FCP = FENCE CORNER POST  
 OHETL = OVERHEAD ELECTRIC TRANSMISSION LINE  
 ○ = 5' DIA. CONC. BASE OF ELECTRIC TOWER  
 MON = TXDOT RIGHT-OF-WAY MONUMENTS

$\Delta = 71'35.52"$   
 $R = 990.00'$   
 $L = 124.94$   
 CHORD:  
 $N 82'52.21" E$   
 $124.86'$

$\Delta = 11'05.24"$   
 $R = 905.00'$   
 $L = 175.17$   
 CHORD:  
 $N 84'41.23" E$   
 $174.90'$



ROLLING MEADOWS ESTATES  
 CABINET D, SLIDE 59  
 P.R.R.C.T. 10

11

12

13

CASE NO. Z2022-053

STATE OF TEXAS:

COUNTY OF ROCKWALL:

FIELD NOTES:

BEING a 25.41 acre tract of land situated in the David Harr Survey, Abstract No. 102 and being the same tract of land as described in a Warranty Deed from J. Diane Folzenlogen to the Cain Revocable Family Trust as recorded in Volume 3537, Page 162 of the Deed Records of Rockwall, County, Texas and being more particularly described as follows:

BEGINNING at the northeast corner of the Lot 1, Block A of the Widboom Addition, an addition to the City of Rockwall as recorded in Cabinet J, Slide 375 of the Plat Records of Rockwall County, Texas, said point being on the south right-of-way line of S.H. 66 (a 60' wide right-of-way);

THENCE along the south line of said S.H. 66 and along a curve to the left having a central angle of  $7^{\circ}13'52''$ , a radius of 990.00' and a chord that bears North  $82^{\circ}52'21''$  East a distance of 124.86';

THENCE along said curve an arc distance of 124.94' to a TXDOT concrete monument with an aluminum cap stamped "1453";

THENCE North  $79^{\circ}08'41''$  East a distance of 127.20' to a TXDOT concrete monument with an aluminum cap stamped "1455", said point being the beginning of a curve to the right having a central angle of  $11^{\circ}05'24''$ , a radius of 905.00' and a chord that bears North  $84^{\circ}41'23''$  East a distance of 174.90';

THENCE along said right-of-way line an arc distance of 175.17' to a busted TXDOT monument found;

THENCE South  $89^{\circ}41'47''$  East along said right-of-way line, a distance of 323.43' to a point for a corner, said point being the northwest corner of Tract 2 of a tract of land conveyed to Cain Family Partnership, Ltd. as recorded in Rockwall File Clerk's No. 20170000009797 of the Real Property Records of Rockwall County, Texas (R.P.R.R.C.T.);

THENCE South  $00^{\circ}05'21''$  West along the west line of said Tract 2, a distance of 1341.99' to a  $\frac{1}{2}$ " iron rod found at the southwest base of a wood fence corner post, said point being the northwest corner of Lot 10 of the revised Final Plat of Rolling Meadows Estates addition, an addition to Rockwall County, Texas as recorded in Cabinet D, Slide 59 of the Plat Records of Rockwall, County, Texas, said point also being the easterly northeast corner of a tract of land conveyed to Donya Beatrice Sellers as recorded in Instrument No. 20170000020261 of the Real Property Records of Rockwall County, Texas;

THENCE South  $89^{\circ}34'34''$  West along the north line of said Sellers Tract, a distance of 906.59' to a wooden fence corner post being an "ell" corner of said Sellers tract;

THENCE North  $06^{\circ}39'29''$  East along the east line of said Sellers Tract, a distance of 220.86' to a  $\frac{1}{2}$ " iron pipe found, said point being the southeast corner of a tract of land conveyed to Gary S. Ryan as recorded in Instrument No. 20170000021114 R.P.R.R.C.T.;

THENCE North  $03^{\circ}25'15''$  West a distance of 153.31' to a point for a corner, said point being the northeast corner of said Ryan Tract and the southeast corner of a tract of land conveyed to Alyssa Mock as recorded in Instrument No. 20200000013993 R.P.R.R.C.T.;

THENCE North 05°32'26" East a distance of 135.26' to a point for a corner, said point being the northeast corner of said Mock Tract and the southeast corner of a tract of land conveyed to Mark Dailey as recorded in Volume 2242, Page 276 of the Deed Records of Rockwall County, Texas;

THENCE North 20°09'09" East a distance of 154.69' to a ½" iron rod found for the northeast corner of said Dailey Tract and the southeast corner of a tract of land conveyed to Joseph W. Rinkevich as recorded in Volume 6147, Page 28 of the Deed Records of Rockwall County, Texas;

THENCE North 06°55'10" East a distance of 161.51' to a ½" iron rod found for a corner;

THENCE North 06°48'25" East a distance of 112.14' to a 3/8" iron rod found for the northeast corner of said Rinkevich Tract and the southeast corner of said Widboom Addition;

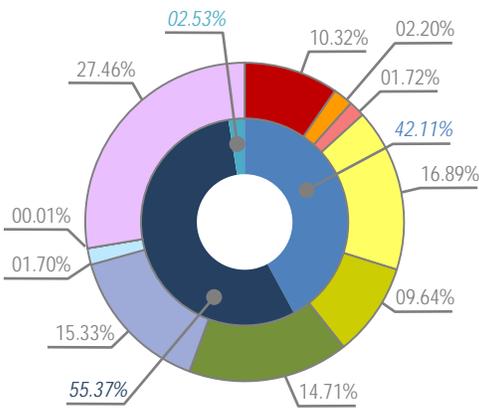
THENCE North 07°10'37" East a distance of 373.75' to the POINT OF BEGINNING and containing 25.41 acres or 1,107,008 square feet of land.

# 01 CENTRAL DISTRICT DISTRICT STRATEGIES

## DISTRICT DESCRIPTION

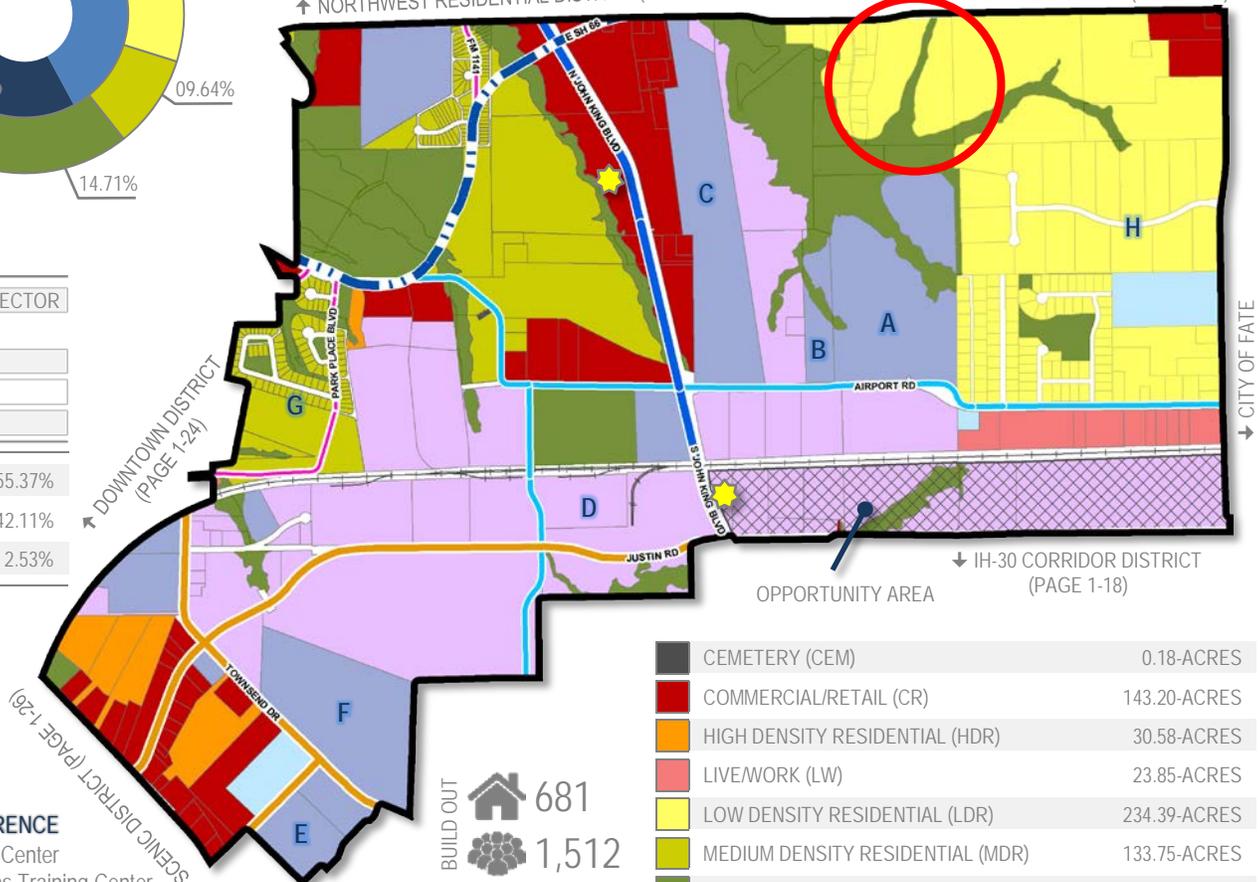
The *Central District* is composed of a wide range of land uses that vary from single-family to industrial. The district's residential areas consist of suburban residential (e.g. *Park Place*), estate and rural residential (e.g. *Rolling Meadows Subdivision*), and higher density residential developments (e.g. *Evergreen Senior Living*). The *Central District* also incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Rail Road* line that bisects the district -- and *City* -- in an east/west direction. The *Ralph Hall Municipal Airport* and several other large public/school facilities are also located within the boundaries of this district.

 John King Boulevard Trail Plan  
Rest Stop/Trailblazer Pylon



Color	Category	Percentage
Black	COMMERCIAL	55.37%
Blue	RESIDENTIAL	42.11%
Light Blue	MIXED USE	2.53%
Green	MINOR COLLECTOR	
Orange	M4U	
Yellow	M4D	
Purple	P6D	
Dark Blue	TXDOT 4D	

↑ NORTHWEST RESIDENTIAL DISTRICT (PAGE 1-25)    ↑ NORTHEAST RESIDENTIAL DISTRICT (PAGE 1-23)



- POINTS OF REFERENCE**
- A. Animal Adoption Center
  - B. Regional Firearms Training Center
  - C. Ralph Hall Municipal Airport
  - D. Leon Tuttle Athletic Complex
  - E. Rockwall County Courthouse
  - F. Utley Middle School
  - G. Park Place Subdivision
  - H. Rolling Meadows Subdivision

**BUILD OUT**

- House icon: 681
- Tree icon: 1,512

**% OF ROCKWALL**

- House icon: 1.10%
- Tree icon: 0.82%

**CURRENT**

- House icon: 220
- Tree icon: 488

Black	CEMETERY (CEM)	0.18-ACRES
Red	COMMERCIAL/RETAIL (CR)	143.20-ACRES
Orange	HIGH DENSITY RESIDENTIAL (HDR)	30.58-ACRES
Light Red	LIVE/WORK (LW)	23.85-ACRES
Yellow	LOW DENSITY RESIDENTIAL (LDR)	234.39-ACRES
Light Green	MEDIUM DENSITY RESIDENTIAL (MDR)	133.75-ACRES
Dark Green	PARKS AND OPEN SPACE (OS)	204.05-ACRES
Light Purple	PUBLIC (P)	212.77-ACRES
Light Blue	QUASI-PUBLIC (QP)	23.65-ACRES
Dark Purple	SPECIAL COMMERCIAL CORRIDOR (SC)	0.08-ACRES
Light Blue	TECHNOLOGY/EMPLOYMENT CENTER (TEC)	381.07-ACRES

- 1 Live/Work.** The live/work designation in this district is intended to provide flexibility for land owners, adjacent to the railroad tracks, to transition their properties -- *when appropriate* -- to low intensity office/retail land uses that are similar in scale and scope to the adjacent residential properties.
- 2 Suburban Residential.** While many of the larger tracts in this area are not large enough to support a master planned community (*which is characteristic of Northern Estates and Northwest Residential Districts*), any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should *not* be smaller than existing *Suburban Residential* lots in this district, but should be comparable in size to newer developments (*i.e. Ridgecrest Subdivision*). In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (*e.g. larger lots or a large landscape buffer*) adjacent to the existing subdivision.
- 3 Commercial/Retail Centers.** The commercial/retail centers in this district are intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (*i.e. are more characteristic of neighborhood/convenience centers*); however, areas adjacent to John King Boulevard should be capable of accommodating mid to large-scale commercial users. All commercial developments should incorporate appropriate screening (*e.g. berms, landscaping and large buffers*) to transition uses.
- 4 Industrial/Special Commercial Corridor Opportunity Area.** The area south of the railroad tracks that is indicated by a crosshatched pattern represents an opportunity area in the City of Rockwall. Due to its adjacency to the railroad tracks, the land is naturally suitable for *Technology/Industrial* land uses; however, due to the land's adjacency to strategically located parcels along IH-30 the land could be utilized as part of a larger development in the *Special Commercial Corridor*.
- 5 John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR GENERAL RETAIL (GR) DISTRICT AND SINGLE-FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 25.87-ACRE TRACT OF LAND IDENTIFIED AS TRACT 14 OF THE D. HARR SURVEY, ABSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Dub Douphrate of Douphrate and Associates, Inc. for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for General Retail (GR) District and Single-Family Estate 1.5 (SFE-1.5) District land uses, on a 25.87-acre tract of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located on the southside of SH-66 east of the intersection of SH-66 and Davis Drive, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with

the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

**SECTION 4.** That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

**SECTION 5.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) *Master Parks and Open Space Plan (Residential Only)*
  - (2) *Master Plat (Residential Only)*
  - (3) *Preliminary Plat (Residential Only)*
  - (4) *PD Development Plan (Non-Residential Only)*
  - (5) *PD Site Plan*
  - (6) *Final Plat*
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks,

trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2<sup>ND</sup> DAY OF JANUARY, 2023.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: December 19, 2022

2<sup>nd</sup> Reading: January 2, 2023

**Exhibit 'A':**  
*Legal Description*

*BEING* a 25.41 acre tract of land situated in the David Harr Survey, Abstract No. 102 and being the same tract of land as described in a Warranty Deed from J. Diane Folzenlogen to the Cain Revocable Family Trust as recorded in Volume 3537, Page 162 of the Deed Records of Rockwall, County, Texas and being more particularly described as follows:

*BEGINNING* at the northeast corner of the Lot 1, Block A of the Widboom Addition, an addition to the City of Rockwall as recorded in Cabinet J, Slide 375 of the Plat Records of Rockwall County, Texas, said point being on the south right-of-way line of S.H. 66 (a 60' wide right-of-way);

*THENCE* along the south line of said S.H. 66 and along a curve to the left having a central angle of 7°13'52", a radius of 990.00' and a chord that bears North 82°52'21" East a distance of 124.86';

*THENCE* along said curve an arc distance of 124.94' to a TXDOT concrete monument with an aluminum cap stamped "1453";

*THENCE* North 79°08'41" East a distance of 127.20' to a TXDOT concrete monument with an aluminum cap stamped "1455", said point being the beginning of a curve to the right having a central angle of 11°05'24", a radius of 905.00' and a chord that bears North 84°41'23" East a distance of 174.90';

*THENCE* along said right-of-way line an arc distance of 175.17' to a busted TXDOT monument found;

*THENCE* South 89°41'47" East along said right-of-way line, a distance of 323.43' to a point for a corner, said point being the northwest corner of Tract 2 of a tract of land conveyed to Cain Family Partnership, Ltd. as recorded in Rockwall File Clerk's No. 2017000009797 of the Real Property Records of Rockwall County, Texas (R.P.R.R.C.T.);

*THENCE* South 00°05'21" West along the west line of said Tract 2, a distance of 1341.99' to a 1/2" iron rod found at the southwest base of a wood fence corner post, said point being the northwest corner of Lot 10 of the revised Final Plat of Rolling Meadows Estates addition, an addition to Rockwall County, Texas as recorded in Cabinet D, Slide 59 of the Plat Records of Rockwall, County, Texas, said point also being the easterly northeast corner of a tract of land conveyed to Donya Beatrice Sellers as recorded in Instrument No. 20170000020261 of the Real Property Records of Rockwall County, Texas;

*THENCE* South 89°34'34" West along the north line of said Sellers Tract, a distance of 906.59' to a wooden fence corner post being an "ell" corner of said Sellers tract;

*THENCE* North 06°39'29" East along the east line of said Sellers Tract, a distance of 220.86' to a 1/2" iron pipe found, said point being the southeast corner of a tract of land conveyed to Gary S. Ryan as recorded in Instrument No. 20170000021114 R.P.R.R.C.T.;

*THENCE* North 03°25'15" West a distance of 153.31' to a point for a corner, said point being the northeast corner of said Ryan Tract and the southeast corner of a tract of land conveyed to Alyssa Mock as recorded in Instrument No. 20200000013993 R.P.R.R.C.T.;

*THENCE* North 05°32'26" East a distance of 135.26' to a point for a corner, said point being the northeast corner of said Mock Tract and the southeast corner of a tract of land conveyed to Mark Dailey as recorded in Volume 2242, Page 276 of the Deed Records of Rockwall County, Texas;

*THENCE* North 20°09'09" East a distance of 154.69' to a 1/2" iron rod found for the northeast corner of said Dailey Tract and the southeast corner of a tract of land conveyed to Joseph W. Rinkevich as recorded in Volume 6147, Page 28 of the Deed Records of Rockwall County, Texas;

*THENCE* North 06°55'10" East a distance of 161.51' to a 1/2" iron rod found for a corner;

*THENCE* North 06°48'25" East a distance of 112.14' to a 3/8" iron rod found for the northeast corner of said Rinkevich Tract and the southeast corner of said Widboom Addition;

*THENCE* North 07°10'37" East a distance of 373.75' to the *POINT OF BEGINNING* and containing 25.41 acres or 1,107,008 square feet of land.

**Exhibit 'B':**  
*Survey*

DRAFT  
ORDINANCE  
12.13.2022



**Exhibit 'D':**  
*Density and Development Standards*

**DENSITY AND DEVELOPMENT STANDARDS.**

(1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the General Retail (GR) District and Single-Family Estate 1.5 (SFE-1.5) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.

(a) Residential Land Uses. Residential land uses shall be allowed only within the area designated for residential lots as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permit by-right or by Specific Use Permit (SUP) for the Single-Family Estate 1.5 (SFE-1.5) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

(b) Non-Residential Land Uses. Non-residential land uses shall be allowed only within the area designated for *Commercial* land uses as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permitted *by-right* or by Specific Use Permit (SUP) for the General Retail (GR) District as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) and subject to the approval of a *PD Development Plan* and *PD Site Plan* in accordance with the Planned Development District regulations contained in Article 10, *Planned Development District Regulations*, of the Unified Development Code (UDC); however, the following uses shall be expressly prohibited:

- Animal Boarding/Kennel without Outside Pens
- Animal Hospital or Clinic
- Convent, Monastery, or Temple
- Commercial Parking Garage
- Limited-Service, Full-Service, and/or Residence Hotel
- Motel
- Cemetery/Mausoleum
- Church/House of Worship
- Congregate Care Facility/Elderly Housing
- Emergency Ground Ambulance Services
- Hospital
- Mortuary or Funeral Chapel
- Financial Institution with Drive-Through
- Temporary Carnival, Circus, or Amusement
- Outdoor Commercial Amusement/Recreation
- Private Country Club
- Golf-Driving Range
- Temporary Fundraising Events by Non-Profit
- Indoor Gun Club with Skeet or Target Range
- Private Club, Lodge or Fraternal Organization
- Tennis Courts
- Banquet Facility/Event Hall
- Brew Pub
- Private Sports Arena, Stadium, and or Track
- Portable Beverage Service Facility
- Temporary Christmas Tree Sales Lot and/or Similar Uses

**Exhibit 'D':**  
*Density and Development Standards*

- Copy Center
- Incidental Display
- Food Trucks/Trailers
- Garden Supply/Plant Nursery
- Self Service Laundromat
- Night Club, Discotheque, or Dance Hall
- Pawn Shop
- Restaurant with less/more than 2,000 SF with a Drive-Through or Drive-In
- Rental Store without Outside Storage and/or Display
- Retail Store with Gasoline Sales that has less/more than Two (2) Dispensers
- Trade School
- Minor Auto Repair Garage
- Full Service Car Wash and Auto Detail
- Self Service Car Wash
- Non-Commercial Parking Lot
- Service Station
- Temporary Asphalt or Concrete Batch Plant
- Mining and Extraction of Sand, Gravel, Oil and/or Other Materials
- Helipad
- Railroad Yard or Shop
- Transit Passenger Facility

(2) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated for the *Subject Property* shall be as follows:

(a) Residential. Except as provided by this Planned Development District ordinance, the residential land uses on the *Subject Property* shall be required to meet the development standards for the Single-Family Estate 1.5 (SFE-1.5) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC). The maximum permissible density for the *Subject Property* shall not exceed 0.25 dwelling units per gross acre of land; however, in no case should the proposed development exceed 6 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

<u>Lot Type (see Concept Plan) ►</u>	
<i>Minimum Lot Width</i>	150'
<i>Minimum Lot Depth</i>	250'
<i>Minimum Lot Area</i>	43,560 SF
<i>Minimum Front Yard Setback</i> <sup>(1)</sup>	50'
<i>Minimum Side Yard Setback</i>	25'
<i>Minimum Length of Driveway Pavement</i>	25'
<i>Maximum Height</i> <sup>(2)</sup>	36'
<i>Minimum Rear Yard Setback</i> <sup>(3)</sup>	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	3,000 SF
<i>Maximum Lot Coverage</i>	35%

General Notes:

- <sup>1</sup>: The location of the *Front Yard Building Setback* as measured from the front property line.
- <sup>2</sup>: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>3</sup>: The location of the *Rear Yard Building Setback* as measured from the rear property line.

(b) Non-Residential. Except as modified by this Planned Development District ordinance, the non-residential land uses on the *Subject Property* shall be required to meet the

**Exhibit 'D':**  
*Density and Development Standards*

development standards stipulated by the *General Overlay District Standards*, *General Commercial District Standards*, and the standards required for the General Retail (GR) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC). In addition, the *Commercial* area shall be designed to be pedestrian-oriented and easily accessible to the adjacent residential neighborhoods, and be constructed to be integrated with the adjacent uses, not be separated from them by screening walls or other physical barriers. This will be accomplished by creating paths from the adjacent development into the *Commercial* area and through the use of landscaping buffers utilizing a berm and three (3) tiered screening (*i.e.* [1] *a small to mid-sized shrub*, [2] *large shrubs or accent trees*, and [3] *canopy trees on 20-foot centers*), and building design and other urban design elements to create compatibility with the surrounding residential neighborhood.

- (1) Height. The maximum building height shall be 60-feet. The maximum height may be increased up to 240-feet if approved through a Specific Use Permit (SUP) by the Planning and Zoning Commission and City Council.
  
- (3) Building Standards for Residential. All development shall adhere to the following building standards:
  - (a) Masonry Requirement. The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 50.00% of the masonry requirement; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard in excess of 50.00% of the masonry requirement on a *case-by-case* basis.

**FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD**



*Continued on Next Page ...*

**Exhibit 'D':**  
*Density and Development Standards*

**FIGURE 2: EXAMPLES OF BOARD AND BATTEN**



**FIGURE 3: EXAMPLES OF HORIZONTAL LAP**



- (b) **Roof Pitch.** A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) **Garage Orientation and Garage Doors.** Garages shall be oriented in a traditional swing (or j-swing) or recessed front entry (i.e. the garage door may be oriented toward the street as long as it is setback a minimum of 20-feet behind the front façade of the primary structure). All garage doors shall be required to have upgraded finishes (e.g. divided garage bay doors, carriage style hardware and lighting elements, cedar clad garage doors, or a similar alternative -- to be approved by staff):

*Continued on Next Page ...*

**Exhibit 'D':**  
*Density and Development Standards*

**FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR**



**FIGURE 5: EXAMPLES OF UPGRADED FINISHES**



**DIVIDED BAYS**

**CARRIAGE HARDWARE**

**CEDAR CLADDING**

**ORNAMENTAL PAVING**

**FIGURE 6: EXAMPLES OF UPGRADED GARAGES**



(4) Anti-Monotony Restrictions. The development shall adhere to the following *Anti-Monotony* standards:

(a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face.

**Exhibit 'D':**  
*Density and Development Standards*

- (b) Front building elevations shall not repeat along any block face. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
  - (1) Number of Stories
  - (2) Roof Type and Layout
  - (3) Articulation of the Front Façade
- (c) The subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).
- (5) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
  - (a) Wrought Iron/Tubular Steel. All lots shall utilize fencing materials that shall be open in nature and not to exceed six (6) feet in height. Fences that extend beyond the front building line of any structure shall be required to be pipe-rail or similar fencing. No chain-link or wooden fencing shall be allowed.
  - (b) Lots with Floodplain. No fences shall be permitted within the floodplain.
- (6) Landscape and Hardscape Standards.
  - (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. All shrubs shall be a minimum of five (5) gallons in size. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall be required to plant an additional row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
  - (b) Landscape Buffer and Sidewalks (State Highway 66). A minimum of a 30-foot landscape buffer shall be provided along SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering six (6) foot trail shall be constructed within the 30-foot landscape buffer.
  - (c) Landscape Buffer (Adjacent to Residential Properties). A minimum of a 50-landscape buffer with a minimum of a 48-inch berm and three (3) tiered screening (*i.e. [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers*) along the entire adjacency.
  - (d) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm

**Exhibit 'D':**  
*Density and Development Standards*

lines that are less than ten (10) inches and ten (10) feet from public water, sanitary sewer and storm lines that are greater than ten (10) inches. All street trees shall be reviewed with the *PD Site Plan*.

- (e) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (as measured per *Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (as measured per *Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (f) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (g) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (7) Street. All streets (excluding drives, fire lanes and private parking areas) shall be built according to the City's standards.
- (8) Lighting. Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (9) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (10) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (11) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (12) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15 of the Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (including *drainage facilities*), floodplain areas, irrigation, landscaping,

**Exhibit 'D':**  
*Density and Development Standards*

screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.

- (13) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission

**DATE:** December 13, 2022

**APPLICANT:** Dana Moffatt

**CASE NUMBER:** Z2022-054; *Specific Use Permit (SUP) for a Residential Infill Adjacent to an Established Subdivision at 211 Jacob Crossing*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Scott Clements on behalf of Dana Moffatt for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1837-acre parcel of land identified as Lot 7, Block B, North Towne Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 211 Jacob Crossing, and take any action necessary.

### BACKGROUND

The subject property was annexed on February 6, 1961 by *Ordinance No. 60-01 [Case No. A1960-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the City's Historic Zoning Maps, the subject property was rezoned from an Agricultural (AG) District to a Single-Family 3 (SF-3) District sometime between the time the subject property was annexed and January 3, 1972. This zoning designation was changed between January 4, 1972 and May 15, 1983 from a Single-Family 3 (SF-3) District to a Single-Family 7 (SF-7) District based on the May 16, 1983 Zoning Map. On June 16, 1998 a final plat for the North Towne Addition was filed with Rockwall County. This subdivision plat established the subject property as Lot 7, Block B, North Towne Addition. No other changes have been made to the subject property since annexation.

### PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill In or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is generally located at 211 Jacob Crossing. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the remaining lots in the North Towne Addition. North of this is Phase 1 of the Harris Heights Subdivision, which was established on February 1, 1970, is zoned Single-Family 7 (SF-7) District, and consists of 58 residential lots. Beyond this is Phase 3 of the Harris Heights Subdivision, which was established on February 11, 1985, is zoned Single-Family 7 (SF-7) District, and consists of 26 residential lots. Beyond this is Phase 1 of the Caruth Lakes Subdivision, which was established on June 10, 1994, is zoned Planned Development District 5 (PD-5) for Single-Family 7 (SF-7) District land uses, and consists of 34 residential lots.

South: Directly south of the subject property are the remaining lots in the North Towne Addition, followed by a 0.1915-acre lot (*i.e. Lot 2, Mclean/Moore Addition*) zoned Single-Family 7 (SF-7) District that is developed with a single-family home. Beyond this is E. Health Street, which is classified as an R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 2.20-acre lot (*i.e. Lot C, Block 124, B.F. Boydston*) that zoned Single Family 7 (SF-7) District. Developed on this property is the *Heath Street Water Pump Station*.

East: Directly east of the subject property are the remaining lots in the North Towne Addition, followed by Phase 2 of the Harris Heights Subdivision. This subdivision was established on February 11, 1985, is zoned Single-Family 7 (SF-7) District, and consists of 15 residential lots. Beyond this is Phase 1 of the Harris Heights Subdivision, which was established on February 1, 1970, is zoned Single-Family 7 (SF-7) District, and consists of 58 residential lots. Beyond that is Wade Subdivision, which was established in 1954, is zoned Single-Family 7 (SF-7) District, and consists of 105 residential lots.

West: Directly west of the subject property is N. Goliad Street [SH-205], which is classified as a M4U-M (i.e. modified major collector, four [4] lane, undivided highway) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 0.257-acre vacant lot (i.e. Lot 2, Block A, Rakich Addition), zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, and addressed as 919 N Goliad Street. Beyond this is a 0.252-acre lot, zoned Single-Family 7 (SF-7) District, and developed with a single-family home. Beyond that is N Alamo Road, which is classified as a *Minor Collector* on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the North Towne Addition Subdivision, which has been in existence since 1998, consists of 41 residential lots, and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District.

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Jacob Crossing, Cody Place, and Chad Way compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Jacob Crossing, Cody Place, and Chad Way	Proposed Housing
Building Height	One (1) & Two (2) Story.	Two (2) Story
Building Orientation	Most of the homes are oriented towards their front property line.	The front elevation of the home will face onto Jacob Crossing
Year Built	1998-2003	N/A
Building SF on Property	1,667 SF – 2,177 SF	3,341 SF
Building Architecture	Traditional Brick Suburban Residential	Craftsman
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback along Jacob Crossing and the 15-foot front yard setback along Chad Way established within the North Towne Addition Subdivision Plat	15-Feet
Side	The side yard setbacks appear to conform to the required six (6) foot side yard setback.	6-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	10-Feet
Building Materials	Combination of Brick and Siding	Stone and Siding
Paint and Color	Pink, Red, White	White

Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the front with the orientations being 'J' or traditional swing entry.	The garage will be situated on the rear elevation and be accessed by the alley.

The proposed single-family home meets all of the density and dimensional requirements for a property situated within a Single-Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Jacob Crossing, Cody Place, and Chad Way as well as the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

**NOTIFICATIONS**

On November 17, 2022, staff mailed 129 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes and the Preserve Homeowner’s Associations (HOAs), which are the only Homeowner’s Associations (HOAs) or Neighborhood Organizations within 1,500 feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff has received two (2) notices in favor of the applicant’s request.

**CONDITIONS OF APPROVAL**

If City Council chooses to approve of the applicant’s request for a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘B’* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit ‘C’* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22022-054

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 211 Jacob Crossing Rockwall TX  
 SUBDIVISION North Town Addition LOT 7 BLOCK B  
 GENERAL LOCATION Jacob Crossing and Chadway

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SF-7 CURRENT USE Vacant  
 PROPOSED ZONING SF-7 PROPOSED USE Residential  
 ACREAGE 0.1837 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Dana moffatt  APPLICANT  
 CONTACT PERSON Scott Clements CONTACT PERSON  
 ADDRESS Po Box 609 ADDRESS  
 CITY, STATE & ZIP Royce city TX 75189 CITY, STATE & ZIP  
 PHONE 469 853 7952 PHONE  
 E-MAIL Scott@sclements-homes.com E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

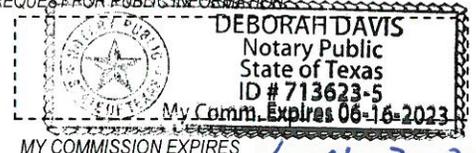
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF Nov, 2022

OWNER'S SIGNATURE

*Dana Moffatt*  
*Deborah Davis*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



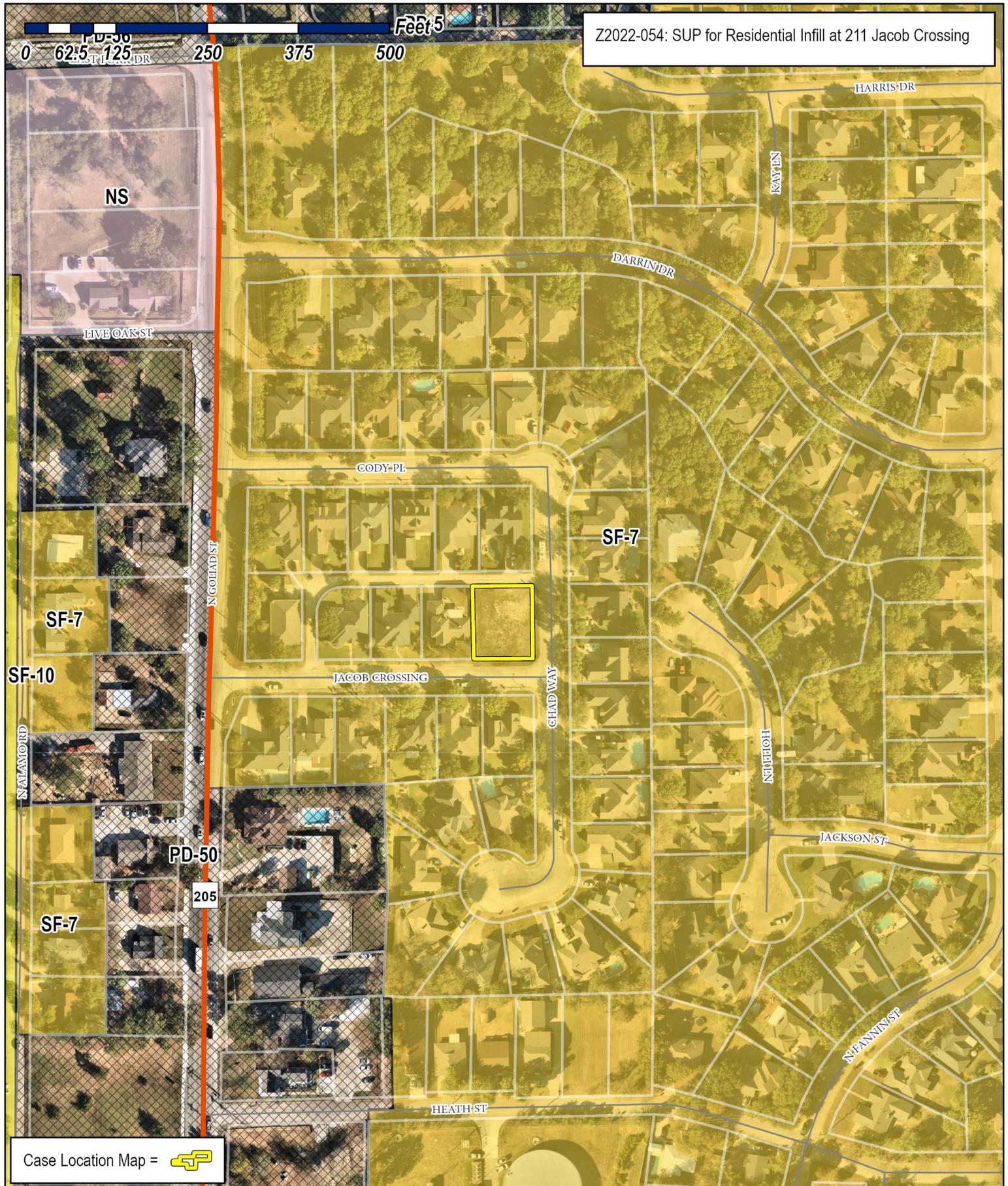
MY COMMISSION EXPIRES

6-16-2023

Z2022-054: SUP for Residential Infill at 211 Jacob Crossing

Feet 5

0 62.5 125 250 375 500



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

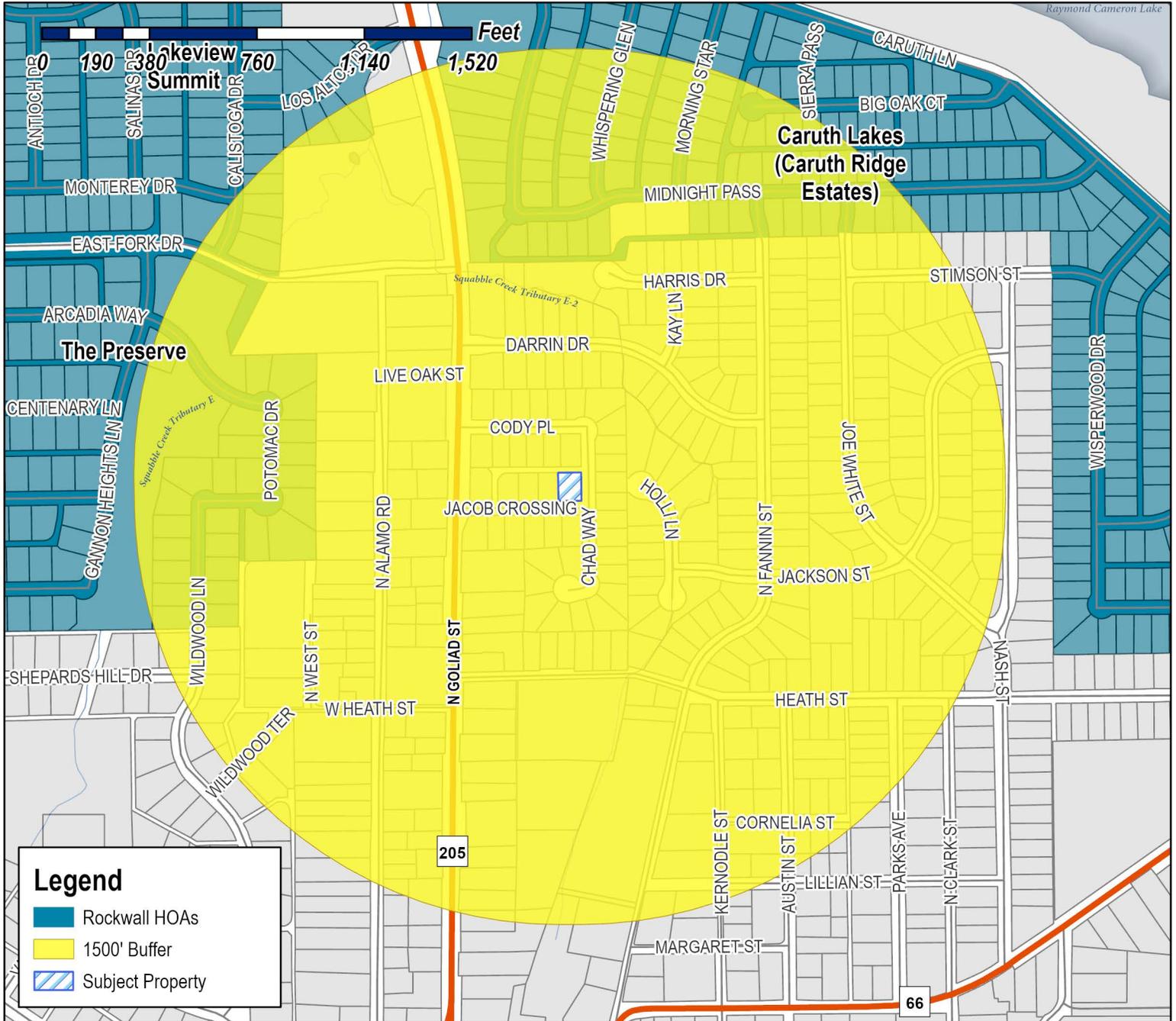




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**Case Number:** Z2022-054  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single Family 7 (SF-7) District  
**Case Address:** 211 Jacob Crossing

**Date Saved:** 11/15/2022  
 For Questions on this Case Call (972) 771-7745



## Ross, Bethany

---

**From:** Guevara, Angelica  
**Sent:** Friday, November 18, 2022 8:49 AM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry; Chapin, Sarah  
**Subject:** Neighborhood Notification Program [Z2022-054]  
**Attachments:** HOA Map (11.14.2022).pdf; Public Notice Z2022-054.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *November 18, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 13, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 19, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2022-054: SUP for Residential Infill**

Hold a public hearing to discuss and consider a request by Scott Clements on behalf of Dana Moffatt for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1837-acre parcel of land identified as Lot 7, Block B, North Towne Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 211 Jacob Crossing, and take any action necessary.

Thank you,

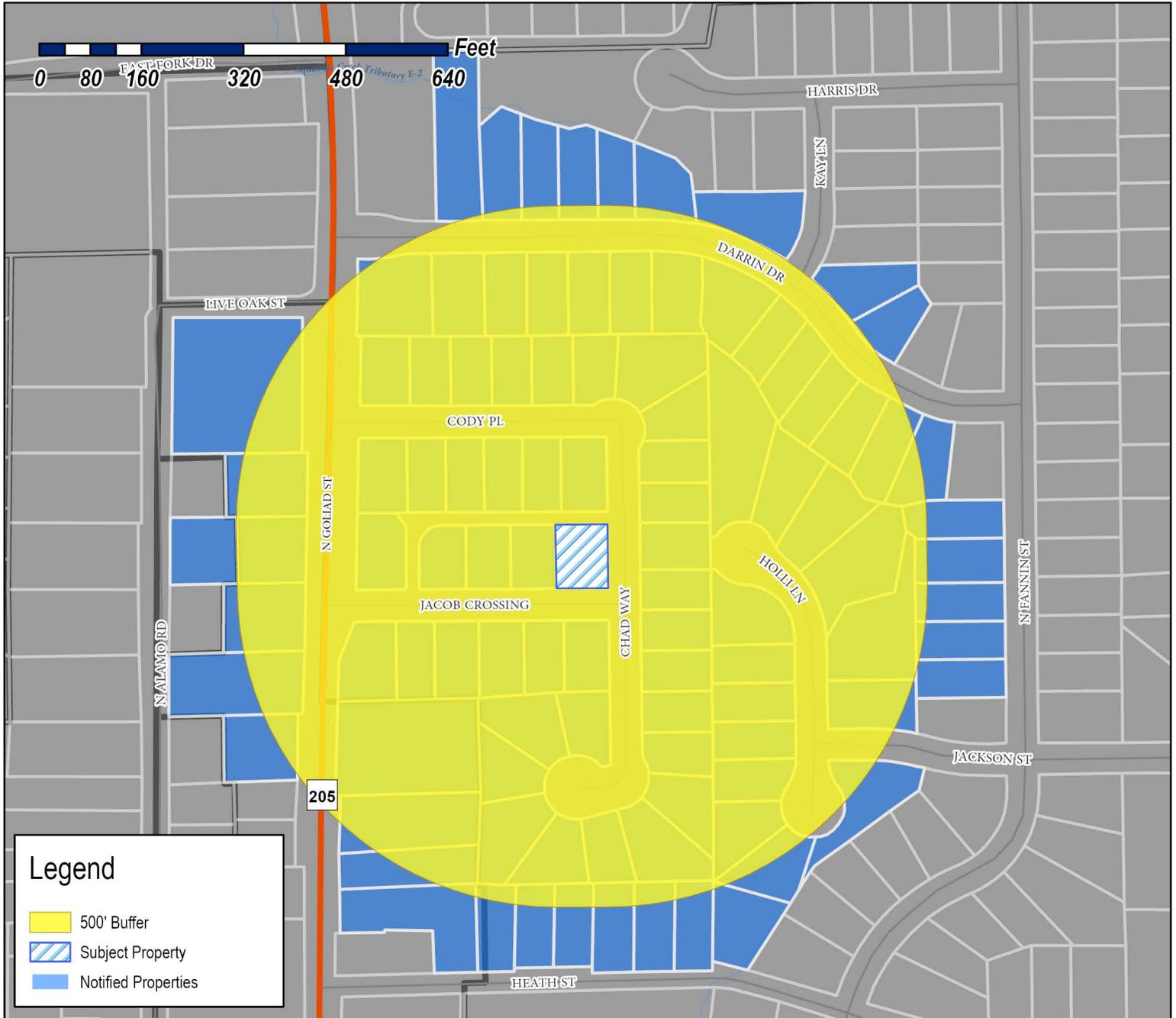
*Angelica Guevara*  
Planning Technician  
City of Rockwall Planning & Zoning  
385 S. Goliad Street  
Rockwall, TX 75087  
Office: 972-771-7745  
Direct: 972-772-6438



# City of Rockwall

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385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

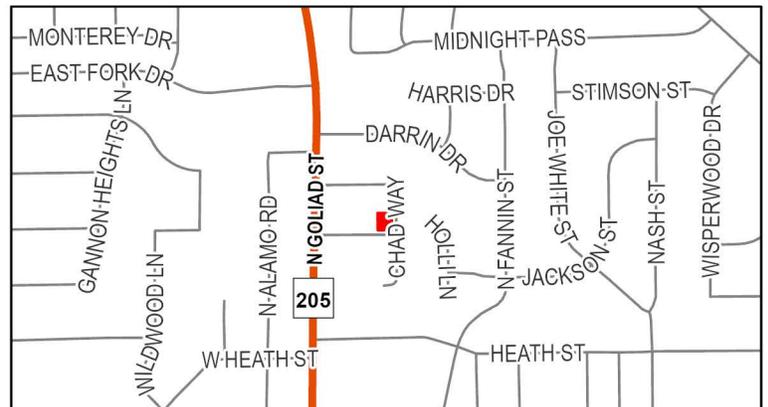
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**Legend**

- 500' Buffer
- Subject Property
- Notified Properties

**Case Number:** Z2022-054  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single Family 7 (SF-7) District  
**Case Address:** 211 Jacob Crossing



**Date Saved:** 11/15/2022

For Questions on this Case Call: (972) 771-7746

SOLIS JOE & FLORA  
1000 HOLLI LN  
ROCKWALL, TX 75087

ESTATE OF ELAINE I PETERSON  
1001 HOLLI LN  
ROCKWALL, TX 75087

HARRIS BENJAMIN AND  
NICOLE BLAKE  
1002 HOLLI LANE  
ROCKWALL, TX 75087

RHODES NANCY CLAYCOMB  
1003 HOLLI LN  
ROCKWALL, TX 75087

ROBINSON ROBERT L & JULIE C  
1003 N FANNIN ST  
ROCKWALL, TX 75087

CLARK LARISSA  
1004 HOLLI LN  
ROCKWALL, TX 75087

SOLIS JOHNNY & JULIE  
1005 HOLLI LN  
ROCKWALL, TX 75087

BATES AURELIUS JERRY AND EDWINA  
1005 N FANNIN STREET  
ROCKWALL, TX 75087

EICHER STEVEN & CHRISTINE  
1006 HOLLI LN  
ROCKWALL, TX 75087

CANWANT2 PROPERTIES LLC  
1007 N FANNIN ST  
ROCKWALL, TX 75087

GUILLEN FAITH ERIN ELISABETH & BRANDON  
HUNTER  
1008 HOLLI LANE  
ROCKWALL, TX 75087

SCHIMMEL JARROD J  
1009 FANNIN ST  
ROCKWALL, TX 75087

MUMMEY MAURICE E ETUX  
1010 HOLLI LANE  
ROCKWALL, TX 75087

JERAY DENNIS M & PATRICIA E JERAY  
TRUSTEES OF THE JERAY FAMILY LIV TRUST  
1011 N FANNIN ST  
ROCKWALL, TX 75087

DIXON CHARLES S AND STEPHANIE  
1025 KAY LN  
ROCKWALL, TX 75087

CALLIER JENNA AND LOGAN  
104 RUSH CREEK  
HEATH, TX 75032

HILL TOBY VERN H & ANGELA DAWN  
113 E HEATH ST  
ROCKWALL, TX 75087

FRENCH MELISSA AND JACOB AARON  
115 E HEATH ST  
ROCKWALL, TX 75087

STORY CATHERINE C  
117 E HEATH ST  
ROCKWALL, TX 75087

GARRISON MONA AND RONALD  
119 E HEATH STREET  
ROCKWALL, TX 75087

HPA TEXAS SUB 2017-1 LLC  
120 S RIVERSIDE PLZ STE 2000  
CHICAGO, IL 60606

DAFFRON JAMES R AND DEBBIE A  
12207 DARK HOLLOW RD  
ROCKWALL, TX 75087

LOZANO MANUEL A  
1388 S FM 740  
HEATH, TX 75126

VANDERSLICE R D AND LYNN  
1408 S LAKESHORE DR  
ROCKWALL, TX 75087

VANDERSLICE ROBERT  
1408 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

CARLON WILLIAM ANDREW  
192 JACOB CROSSING  
ROCKWALL, TX 75087

FRYER WILLIAM L III AND LAUREN S  
193 JACOB CROSSING  
ROCKWALL, TX 75087

CALLIER JENNA AND LOGAN  
194 CODY PLACE  
ROCKWALL, TX 75087

CROY DANNY L  
195 CODY PL  
ROCKWALL, TX 75087

RB40 INVESTMENTS LLC  
196 JACOB CROSSING  
ROCKWALL, TX 75087

STEWART DEBORAH LYNN  
196 DARRIN DR  
ROCKWALL, TX 75087

DAFFRON JAMES R AND DEBBIE A  
198 CODY PLACE  
ROCKWALL, TX 75087

KANSIER GAYLE  
198 DARRIN DR  
ROCKWALL, TX 75087

DOOLEY RHONDA N  
19801 E 86TH ST N  
OWASSO, OK 74055

BOWEN JAMES A  
199 DARRIN DR  
ROCKWALL, TX 75087

NJK ENTERPRISES LLC  
199 JACOB CROSSING  
ROCKWALL, TX 75087

YOUNG BARBARA NEUMANN  
199 CODY PLACE  
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L  
2 MANOR COURT  
HEATH, TX 75032

917 PROPERTIES LLC  
2 MANOR COURT  
HEATH, TX 75032

TURNER KYLE RADEY  
200 JACOB CROSSING  
ROCKWALL, TX 75087

SELLERS ROBERT STEVEN  
200 DARRIN DRIVE  
ROCKWALL, TX 75087

MCWHIRTER CRAIG L  
201 DARRIN DR  
ROCKWALL, TX 75087

MILLER ROBERT AND KATY  
202 CODY PL  
ROCKWALL, TX 75087

GANDY GEORGIA KNEL  
202 DARRIN DR  
ROCKWALL, TX 75087

DAVIS RICHARD S & LYNDELL R  
203 JACOB CROSSING  
ROCKWALL, TX 75087

CLAY KAREN L  
203 CODY PL  
ROCKWALL, TX 75087

DAVIS ROBERT C  
203 DARRIN  
ROCKWALL, TX 75087

BLANKENSHIP JAMES WISE & LISA  
203 E HEATH ST  
ROCKWALL, TX 75087

NELSON THERESE D  
204 DARRIN DR  
ROCKWALL, TX 75087

PHILLIPS TERESA  
204 JACOB CROSSING  
ROCKWALL, TX 75087

DRAKE EDWARD J II & JENNIFER R  
205 DARRIN DRIVE  
ROCKWALL, TX 75087

ESTATE OF ELAINE I PETERSON  
2054 BRUCE RD  
MARTIN, GA 30557

SIENY RYAN FAIN  
206 CODY PL  
ROCKWALL, TX 75087

RUDOLPH COLLIN J  
206 DARRIN DRIVE  
ROCKWALL, TX 75087

GARY DENNIS AND DIANNE  
207 DARRIN DR  
ROCKWALL, TX 75087

VANDERSLICE ROBERT  
207 JACOB CROSSING  
ROCKWALL, TX 75087

MITCHELL KELLI A &  
RYAN S WENZEL  
207 CODY PL  
ROCKWALL, TX 75087

HPA TEXAS SUB 2017-1 LLC  
208 JACOB CROSSING  
ROCKWALL, TX 75087

HARTMEIER MICHAEL J & DEANNA K  
208 DARRIN DR  
ROCKWALL, TX 75087

ADAMS FAITH INVESTMENT LLC  
208 SUMMIT RIDGE  
ROCKWALL, TX 75087

HENSON ORA LOUISE  
209 DARRIN DR  
ROCKWALL, TX 75087

210 CODY PL  
ROCKWALL, TX 75087

ZOLMAN ADAM DAVID AND  
DARBY ZOLMAN  
210 DARRIN DRIVE  
ROCKWALL, TX 75087

MOFFATT DANA MICHELLE  
211 JACOB CROSSING  
ROCKWALL, TX 75087

CALDWELL KARISSA A  
211 CODY PLACE  
ROCKWALL, TX 75087

SOON OI LING  
212 DARRIN DR  
ROCKWALL, TX 75087

SHIPLEY JASON P & ELIZABETH  
212 JACOB XING  
ROCKWALL, TX 75087

RATH OSCAR  
213 DARRIN DR  
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L  
214 DARRIN DR  
ROCKWALL, TX 75087

FOSTER EDWARD M & TERI L  
214 CODY PL  
ROCKWALL, TX 75087

MURRAY JOHN DAVID  
215 CODY PLACE  
ROCKWALL, TX 75087

HENDERSON REBECCA J  
216 DARRIN DR  
ROCKWALL, TX 75087

SMITH ERICA  
217 DARRIN DR  
ROCKWALL, TX 75087

DAVIS RICHARD S & LYNDELL R  
2175 LAKE FOREST DR  
ROCKWALL, TX 75087

COURVILLE MICHAEL AND FRANCES REPPOND  
218 DARRIN DR  
ROCKWALL, TX 75087

DUZAN TIMOTHY AND ANGELA  
219 CODY PL  
ROCKWALL, TX 75087

HART MICHAEL JOSEPH  
220 DARRIN DR  
ROCKWALL, TX 75087

EVERETT KENNETH N & CARYL W  
222 DARRIN DR  
ROCKWALL, TX 75087

SOON OI LING  
2221 ALL SAINTS LN  
PLANO, TX 75025

WEST MICHAEL  
299 SHENNENDOAH LANE  
ROCKWALL, TX 75087

SOLIS JOHNNY & JULIE  
3021 RIDGE RD SUITE A BOX 93  
ROCKWALL, TX 75032

NJK ENTERPRISES LLC  
31 ORLEANS CIRCUIT  
CECIL HILLS SYDNEY, NSW 2171 AUSTRALIA,

RB40 INVESTMENTS LLC  
400 CHIPPENDALE DRIVE  
HEATH, TX 75032

TURNER KYLE RADEY  
4002 BROWNSTONE CT  
DALLAS, TX 75204

MOFFATT DANA MICHELLE  
4756 SECRET COVE LANE  
HEATH, TX 75032

BAF 3 LLC  
5001 PLAZA ON THE LAKE SUITE 200  
AUSTIN, TX 78746

FANG PROPERTIES LLC  
536 LOMA VISTA  
HEATH, TX 75032

FANG PROPERTIES LLC  
536 LOMA VISTA  
HEATH, TX 75032

FRENCH MELISSA AND JACOB AARON  
5582 YARBOROUGH DR  
FORNEY, TX 75126

JERAY DENNIS M & PATRICIA E JERAY  
TRUSTEES OF THE JERAY FAMILY LIV TRUST  
795 RIDGE ROAD WEST  
ROCKWALL, TX 75087

GARY DENNIS AND DIANNE  
809 COUNTY CLUB DRIVE  
HEATH, TX 75032

WOMEN IN NEED INC  
904 N GOLIAD ST  
ROCKWALL, TX 75087

LOZANO MANUEL A  
906 N GOLIAD  
ROCKWALL, TX 75087

HEAVENLY HANDS BIRTHING CENTER PLLC  
908 N GOLIAD ST  
ROCKWALL, TX 75087

RECSA LLC  
911 NORTH GOLIAD  
ROCKWALL, TX 75087

WEST MICHAEL  
912 N GOLIAD  
ROCKWALL, TX 75087

ADAMS FAITH INVESTMENT LLC  
915 N GOLIAD  
ROCKWALL, TX 75087

917 PROPERTIES LLC  
917 N GOLIAD  
ROCKWALL, TX 75087

VANDERSLICE R D AND LYNN  
919 N GOLIAD  
ROCKWALL, TX 75087

BARRY BARBARA  
922 N ALAMO RD  
ROCKWALL, TX 75087

CHAVEZ ENRIQUE  
923 N GOLIAD ST  
ROCKWALL, TX 75087

CFPC INVESTMENTS LLC  
925 N GOLIAD  
ROCKWALL, TX 75087

TAILLAC JEAN ANTHONY AND JENNIFER LEE  
944 CHAD WAY  
ROCKWALL, TX 75087

RICE JOSHUA M  
947 CHAD WAY  
ROCKWALL, TX 75087

PRINGLE PHYLLIS M  
948 CHAD WAY  
ROCKWALL, TX 75087

CORENO FRANCISCO R  
951 CHAD WAY  
ROCKWALL, TX 75087

BRUMIT COURTNEY M AND DARREN D  
952 CHAD WAY  
ROCKWALL, TX 75087

TAYLOR TERRY K AND STACEY B  
955 CHAD WAY  
ROCKWALL, TX 75087

ALLEN MARK C AND  
DONNA K BOYD  
956 CHAD WAY  
ROCKWALL, TX 75087

CANWANT2 PROPERTIES LLC  
956 CHAD WAY  
ROCKWALL, TX 75087

LEFTEROV MARTIN AND  
JESSICA LADD  
960 CHAD WAY  
ROCKWALL, TX 75087

TO TUAN QUOC  
964 CHAD WAY  
ROCKWALL, TX 75087

JENSEN MIKEL K & MICHELLE  
968 CHAD WAY  
ROCKWALL, TX 75087

WILCOX GORDON RICHARD AND GINGER R  
974 CHAD WAY  
ROCKWALL, TX 75087

LOWRY BRENDA  
978 CHAD WAY  
ROCKWALL, TX 75087

CLARK RYAN W & AMY B  
982 CHAD WAY  
ROCKWALL, TX 75087

GIBSON MONTE ROY & BELINDA K  
986 CHAD WAY  
ROCKWALL, TX 75087

SCHMIDT STEVEN R AND CORINNA A  
990 CHAD WAY  
ROCKWALL, TX 75087

BAF 3 LLC  
993 HOLLI LN  
ROCKWALL, TX 75087

GAFFNEY BRIAN & HOPE  
994 CHAD WAY  
ROCKWALL, TX 75087

DOOLEY RHONDA N  
995 HOLLI LN  
ROCKWALL, TX 75087

RAWLINS DAN AND MERRIANNE  
997 HOLLI LN  
ROCKWALL, TX 75087

GAFFNEY RICHARD BENNETT AND MARY ANNE  
998 CHAD WAY  
ROCKWALL, TX 75087

MESSENGER BARNARD A & BONNIE  
998 HOLLI LN  
ROCKWALL, TX 75087

NELSON MICHAEL D  
999 HOLLI LN  
ROCKWALL, TX 75087

BOWEN JAMES A  
P.O. BOX 385  
CADDO MILLS, TX 75135

CFPC INVESTMENTS LLC  
PO BOX 1731  
MARBLE FALLS, TX 78654

WOMEN IN NEED INC  
PO BOX 349  
GREENVILLE, TX 75403

PRINGLE PHYLLIS M  
PO BOX 584  
ROCKWALL, TX 75087

, 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2022-054: Specific Use Permit for Residential Infill in an Established Subdivision**

Hold a public hearing to discuss and consider a request by Scott Clements on behalf of Dana Moffatt for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1837-acre parcel of land identified as Lot 7, Block B, North Towne Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 211 Jacob Crossing, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 13, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 19, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 19, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2022-054: Specific Use Permit for Residential Infill in an Established Subdivision**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]  
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**Case No. Z2022-054: Specific Use Permit for Residential Infill in an Established Subdivision**

**Please place a check mark on the appropriate line below:**

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name: *Charles W Siebert Jr AND Jane M. Siebert*  
Address: *199 JACOBS CROSSING ROCKWALL TX 75087*

Tex. Loc. Gov. Code, Sec. 211.006 (d). If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



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PLEASE RETURN THE BELOW FORM

## Case No. Z2022-054: Specific Use Permit for Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Comments section with a large light blue background area for text input.

Name: Kyle R. Turner

Address: 200 Jacob King Rockwall, TX 75087 (Property Owner)

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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# MOFFATT RESIDENCE



PERSPECTIVE VIEW  
NTS

### GENERAL NOTES:

1. THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
2. DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
4. CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR'S PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY FACET OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULING.
5. ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION TO THE GENERAL CONTRACTOR.
6. CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVER EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
7. CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
8. DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY CUTTING OR PATCHING OF ANY EXISTING FINISHED WORK SHALL MATCH ADJOINING SURFACES.
9. SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
10. CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

### BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

### CONTRACTOR NOTES:

1. ALL EXTERIOR WALLS SHALL BE 2x4 U.N.O.
2. ALL INTERIOR WALLS SHALL BE 2x4 U.N.O.
3. ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
4. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
5. SLIGHT ADJUSTMENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
6. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER PRIOR TO CONSTRUCTION.
7. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED U.N.O.
8. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE.

### Layout Page Table

Label	Title	Description	Comments
A-1	COVER SHEET		
A-2	SITE PLAN / ROOF PLAN		
A-3	FRONT AND REAR ELEVATIONS		
A-4	LEFT AND RIGHT ELEVATIONS		
A-5	FLOOR PLAN W/ DIMENSIONS		
A-6	DOOR AND WINDOW SCHEDULES		
A-7	ELECTRICAL PLAN		

PLANS FOR:  
MOFFATT RESIDENCE  
DANA MOFFATT  
211 JACOB CROSSING  
ROCKWALL, TEXAS 75087

TITLE:  
COVER SHEET

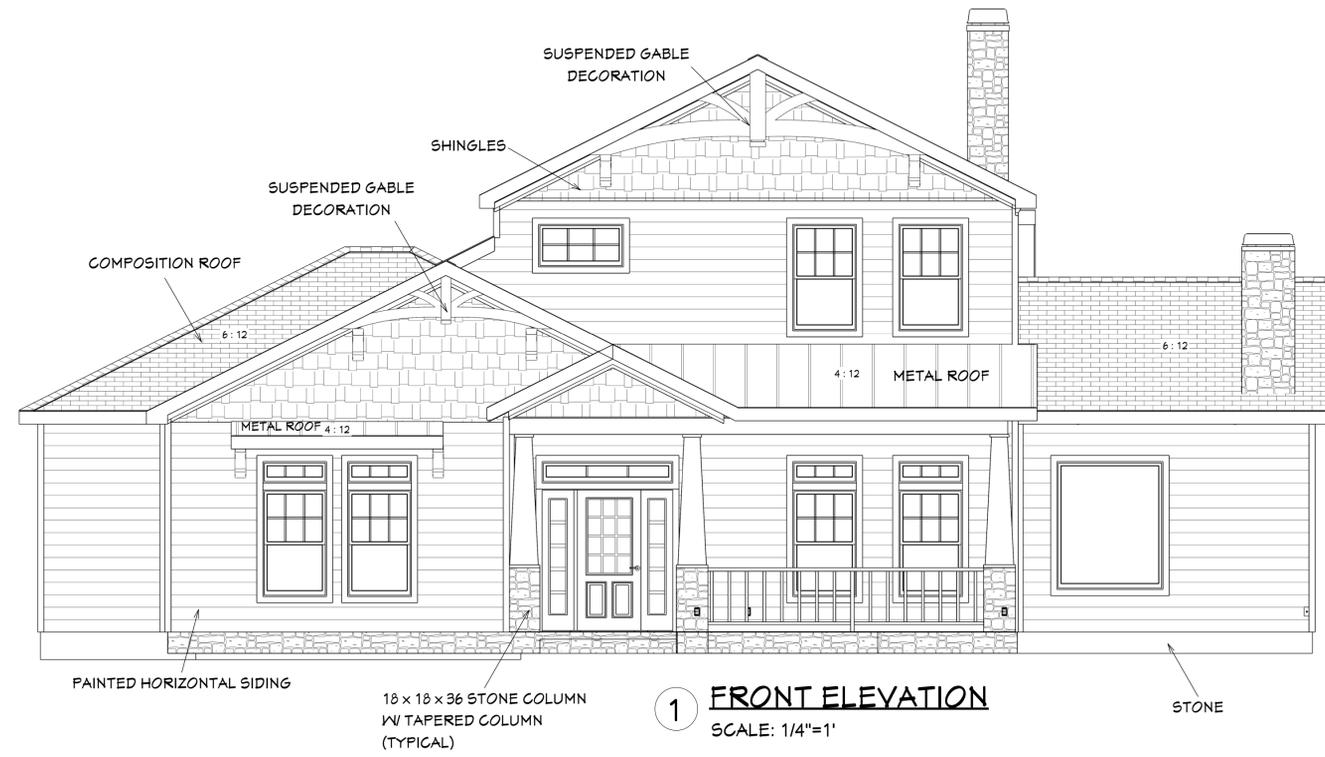
SHANNON NEWSOM MARK NEWSOM  
**CADAZIGN**  
ROYSE CITY, TEXAS 75189  
469-338-9863  
DRAWN BY:

DATE:  
10/3/2022

SCALE:  
AS SHOWN

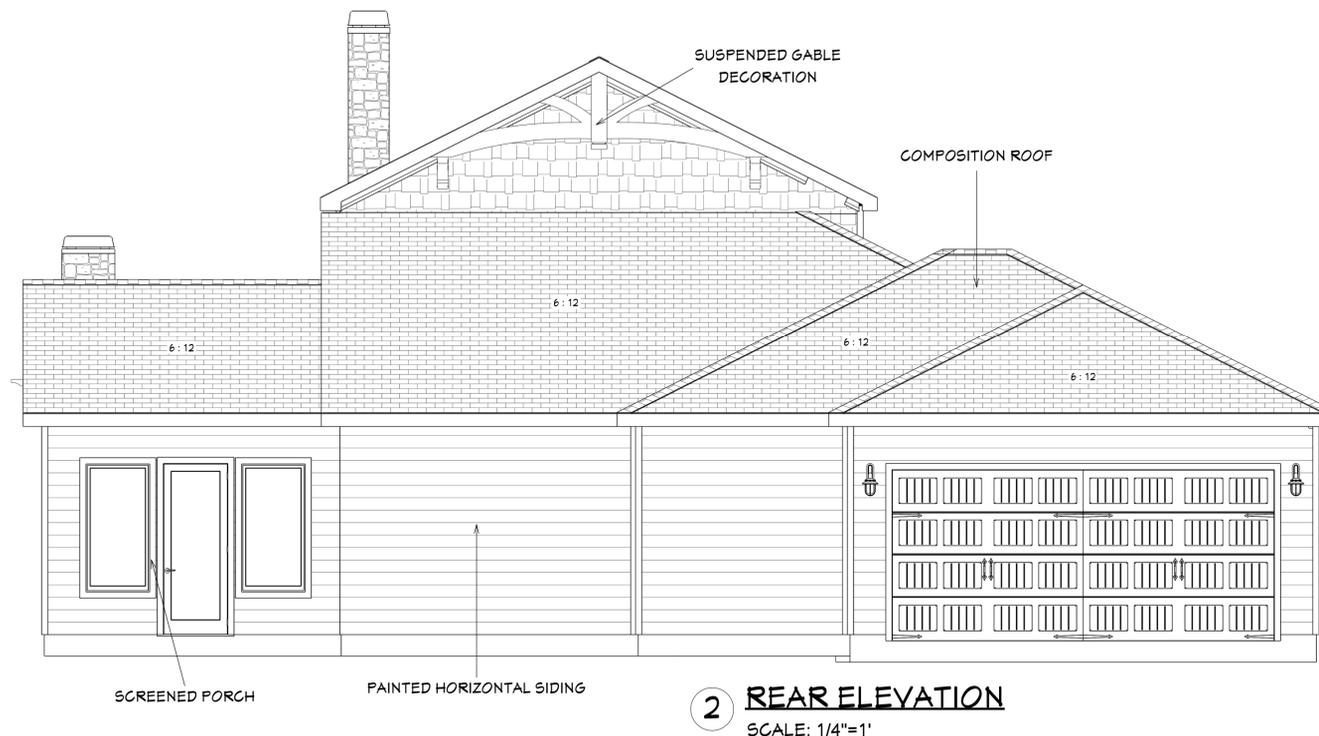
SHEET:

**A-1**



1 FRONT ELEVATION  
SCALE: 1/4"=1'

NOTE:  
BRICK PAVERS ON PORCH



2 REAR ELEVATION  
SCALE: 1/4"=1'

PLANS FOR:  
MOFFATT RESIDENCE  
DANA MOFFATT  
211 JACOB CROSSING  
ROCKWALL, TEXAS 75087

TITLE:  
FRONT AND REAR ELEVATIONS

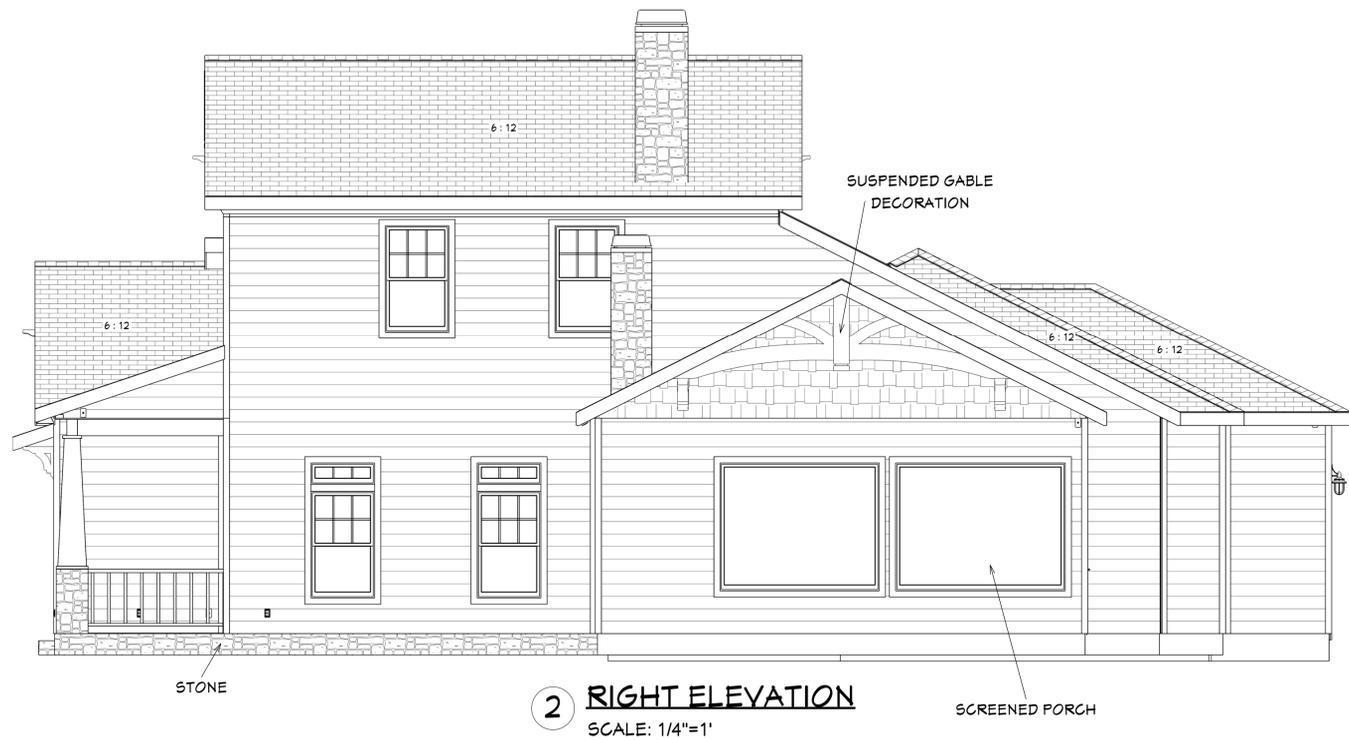
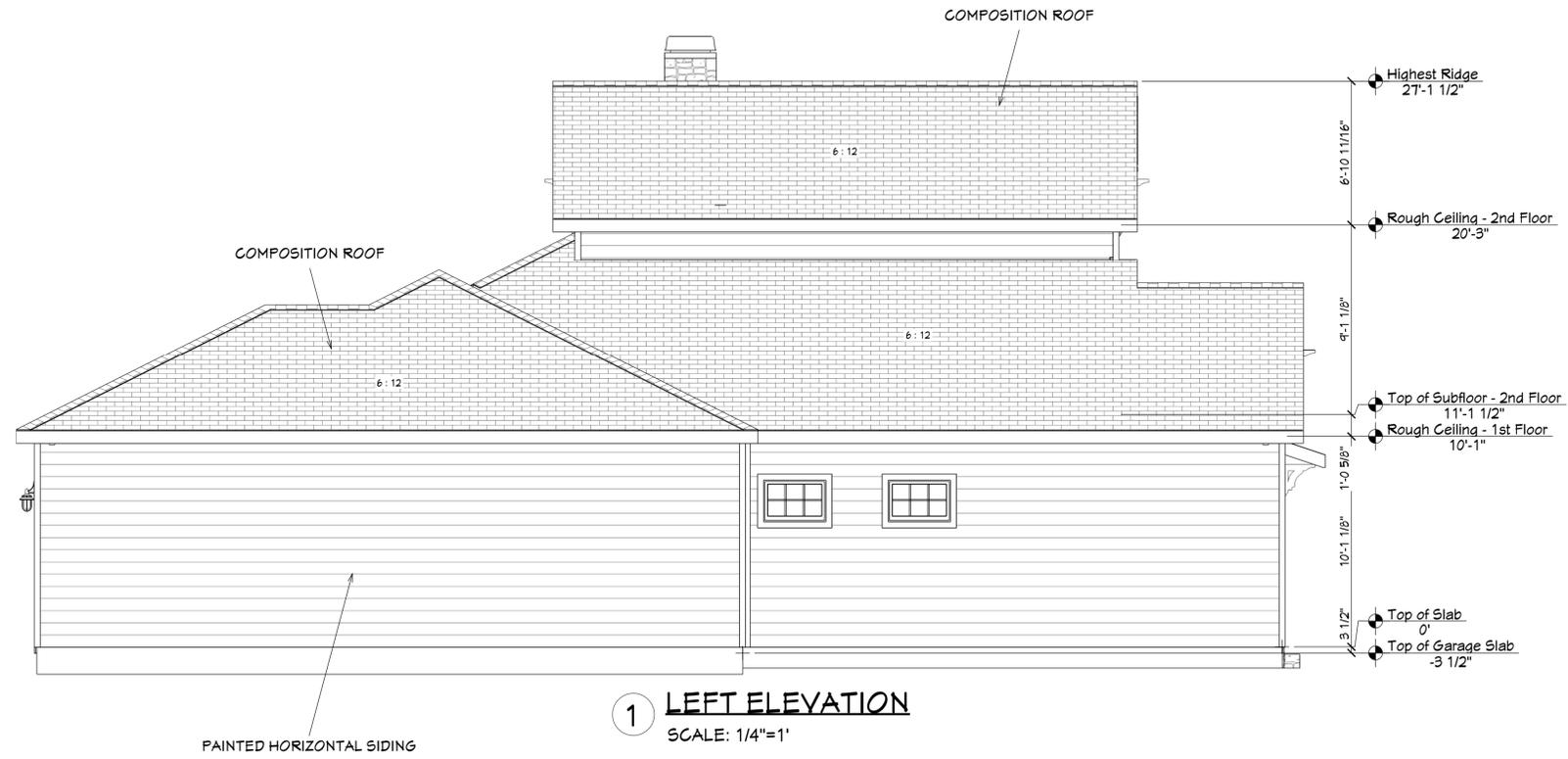
SHANNON NEWSOM MARK NEWSOM  
**CADAZIGN**  
ROYSE CITY, TEXAS 75189  
469-338-9863  
DRAWN BY:

DATE:  
10/3/2022

SCALE:  
AS SHOWN

SHEET:

A-3



PLANS FOR:  
 MOFFATT RESIDENCE  
 DANA MOFFATT  
 211 JACOB CROSSING  
 ROCKWALL, TEXAS 75087

TITLE:  
 LEFT AND RIGHT ELEVATIONS

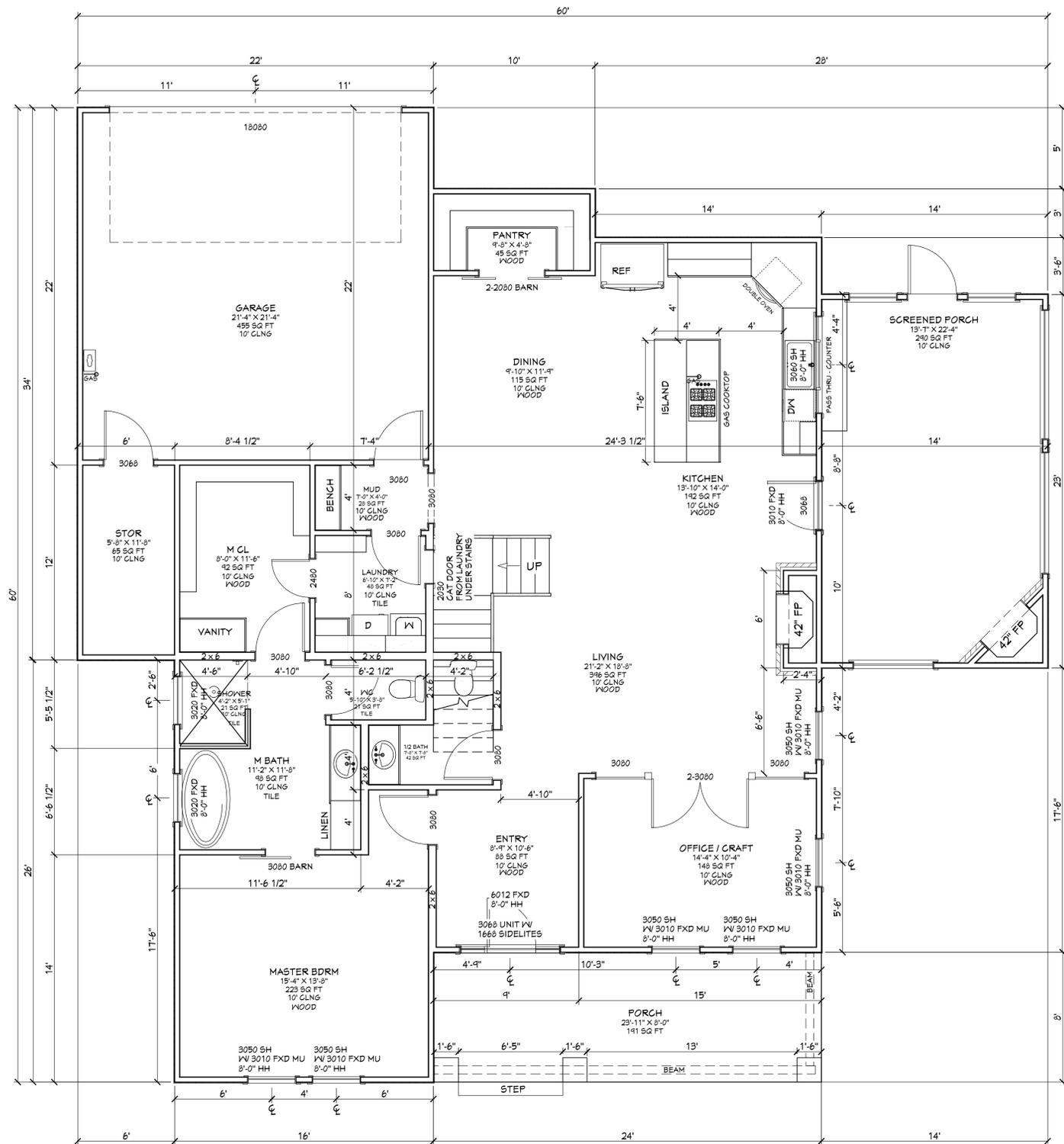
SHANNON NEWSON MARK NEWSON  
**CADAZIGN**  
 ROYSE CITY, TEXAS 75189  
 469-338-9863  
 DRAWN BY:

DATE:  
 10/3/2022

SCALE:  
 AS SHOWN

SHEET:

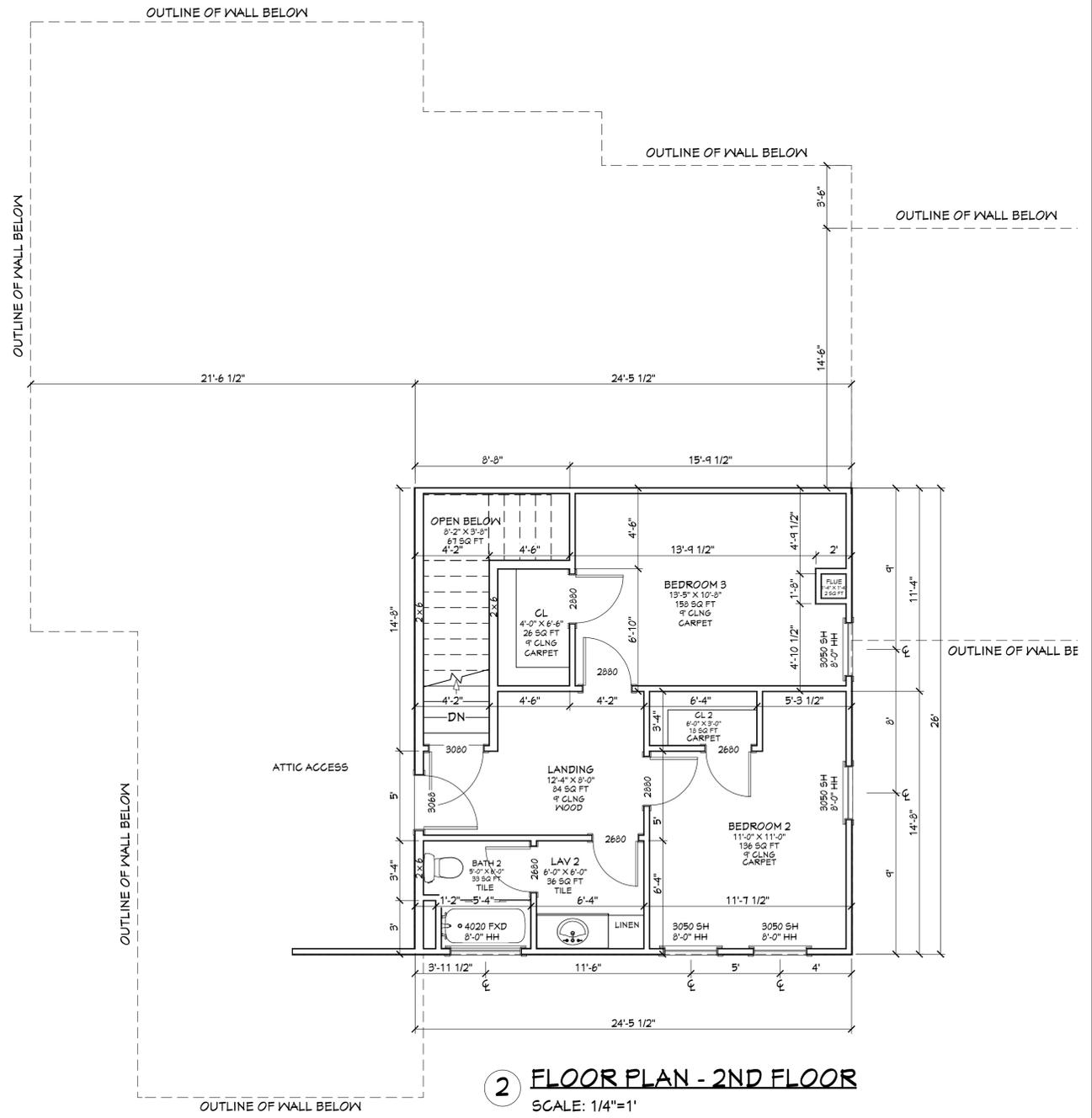
**A-4**



**1 FLOOR PLAN - 1ST FLOOR**  
SCALE: 1/4"=1'

AREAS	
FIRST FLOOR LIVING	1715 SQ. FT.
SECOND FLOOR LIVING	562 SQ. FT.
TOTAL LIVING AREA	2277 SQ. FT.
GARAGE / STOR	550 SQ. FT.
COVERED PORCH	192 SQ. FT.
SCREENED PATIO	322 SQ. FT.
<b>TOTAL SQ FT</b>	<b>3341 SQ. FT.</b>

Living Area  
1715 sq ft



**2 FLOOR PLAN - 2ND FLOOR**  
SCALE: 1/4"=1'

PLANS FOR:  
 MOFFATT RESIDENCE  
 DANA MOFFATT  
 211 JACOB CROSSING  
 ROCKWALL, TEXAS 75087

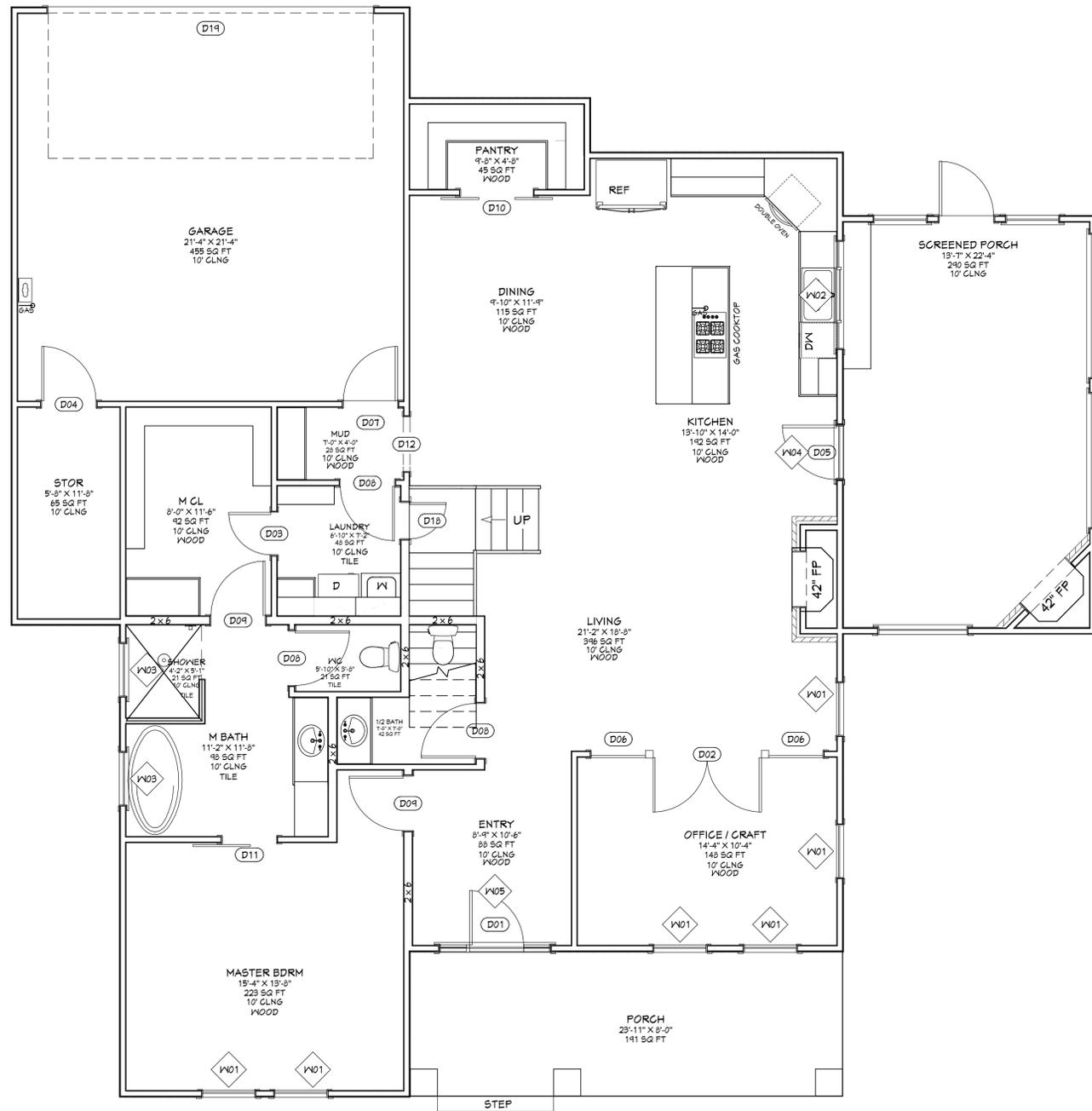
TITLE: **FLOOR PLAN W/ DIMENSIONS**

SHANNON NEWBOM  
 MARK NEWBOM  
**CADAZIGN**  
 ROYSE CITY, TEXAS 75189  
 469-338-9863  
 DRAWN BY:

DATE:  
 10/3/2022

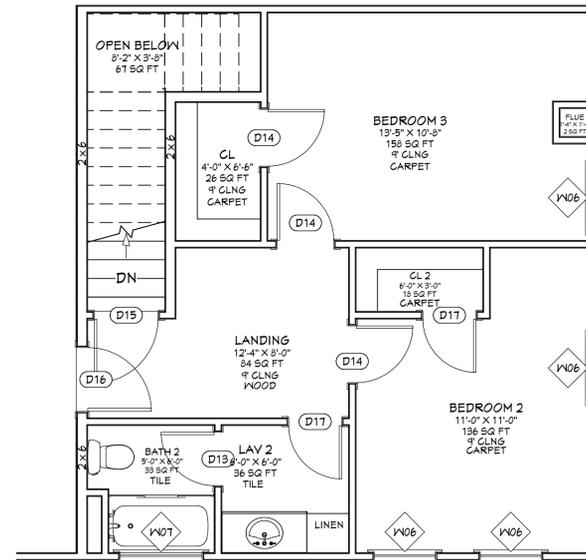
SCALE:  
 AS SHOWN

SHEET:  
**A-5**



1 1ST FLOOR DOOR - WINDOW & FLOOR SCHEDULES  
SCALE: 1/4"=1'

ROOM NAME	DIMENSIONS	AREA, INTERIOR (SQ FT)	FLOOR FINISH
ENTRY	8'-9" X 10'-6"	88	WOOD
LIVING	21'-2" X 18'-8"	396	WOOD
KITCHEN	13'-10" X 14'-0"	192	WOOD
DINING	9'-10" X 11'-9"	115	WOOD
PANTRY	9'-8" X 4'-8"	45	WOOD
MUD	7'-0" X 4'-0"	28	WOOD
OFFICE / CRAFT	14'-4" X 10'-4"	148	WOOD
MASTER BDRM	15'-4" X 13'-8"	223	WOOD
M CL	8'-0" X 11'-6"	92	WOOD
LAUNDRY	6'-10" X 7'-2"	48	TILE
M BATH	11'-2" X 11'-8"	98	TILE
VIC	5'-10" X 3'-8"	21	TILE
1/2 BATH	7'-8" X 7'-8"	42	TILE
SHOWER	4'-2" X 5'-1"	21	TILE
PORCH	23'-11" X 8'-0"	191	LIGHT RED BRICK
GARAGE	21'-4" X 21'-4"	455	
SCREENED PORCH	13'-7" X 22'-4"	290	
STOR	5'-8" X 11'-8"	65	
TOTALS:	5'-8" X 11'-8"	2558	



2 2ND FLOOR DOOR - WINDOW & FLOOR SCHEDULES  
SCALE: 1/4"=1'

ROOM NAME	DIMENSIONS	AREA, INTERIOR (SQ FT)	FLOOR FINISH
BEDROOM 2	11'-0" X 11'-0"	136	CARPET
CL 2	6'-0" X 3'-0"	18	CARPET
BEDROOM 3	13'-5" X 10'-8"	158	CARPET
CL	4'-0" X 6'-6"	26	CARPET
LANDING	12'-4" X 8'-0"	84	WOOD
BATH 2	5'-0" X 6'-0"	33	TILE
LAV 2	8'-0" X 6'-0"	36	TILE
TOTALS:		491	

NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION
D01	3068 UNIT W/ 1668 SIDELITES	1	1	6268	74"	80"	T5"X81"	MULLED UNIT
D02	2-3080	1	1	6080 L/R IN	72"	46"	T4"X48 1/2"	DOUBLE HINGED-DOOR F01
D03	2480	1	1	2480 R IN	28"	46"	30"X48 1/2"	HINGED-DOOR P10
D04	3068	1	1	3068 L IN	36"	80"	38"X82 1/2"	HINGED-DOOR P10
D05	3068	1	1	3068 R EX	36"	80"	38"X83"	EXT. HINGED-DOOR L07
D06	3080	2	1	3080	36"	46"	38"X49"	FIXED-GLASS PANEL
D07	3080	1	1	3080 R EX	36"	46"	38"X49"	EXT. HINGED-DOOR L07
D08	3080	3	1	3080 L IN	36"	46"	38"X48 1/2"	HINGED-DOOR P10
D09	3080	2	1	3080 R IN	36"	46"	38"X48 1/2"	HINGED-DOOR P10
D10	2-2080 BARN	1	1	4080 L/R	48"	46"	50"X48 1/2"	DOUBLE BARN-DOOR P10
D11	3080 BARN	1	1	3080 L	36"	46"	38"X48 1/2"	BARN-DOOR P10
D12	3080	1	1	3080	36"	46"	38"X48 1/2"	DOORWAY
D13	2680	1	2	2680 R IN	30"	46"	32"X48 1/2"	HINGED-DOOR P10
D14	2880	3	2	2880 L IN	32"	46"	34"X48 1/2"	HINGED-DOOR P10
D15	3080	1	2	3080 R IN	36"	46"	38"X48 1/2"	HINGED-DOOR F06
D16	3068	1	2	3068 R EX	36"	80"	38"X83"	EXT. HINGED-DOOR P11
D17	2680	2	2	2680 L IN	30"	46"	32"X48 1/2"	HINGED-DOOR P10
D18	2030 CAT DOOR FROM LAUNDRY UNDER STAIRS	1	1	2030 L IN	24"	36"	26"X38 1/2"	HINGED-DOOR S01
D19	18080	1	1	18080	216"	46"	218"X49"	GARAGE-BB - CLOSED

NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER
W01	3050 SH W/ 3010 FXD MU 8'-0" HH	6	1	3064	36"	76"	3T"X17"	MULLED UNIT	2X6X40" (2)
W02	3060 SH 8'-0" HH	1	1	6040TS	72"	48"	T3"X49"	TRIPLE SLIDING	2X6X16" (2)
W03	3020 FXD 8'-0" HH	2	1	3020FX	36"	24"	3T"X25"	FIXED GLASS	2X6X40" (2)
W04	3010 FXD 8'-0" HH	1	1	3010FX	36"	12"	3T"X13"	FIXED GLASS	2X6X40" (2)
W05	6012 FXD 8'-0" HH	1	1	6210FX	74"	12"	T5"X13"	FIXED GLASS	2X6X18" (2)
W06	3050 SH 8'-0" HH	4	2	3050SH	36"	60"	3T"X61"	SINGLE HUNG	2X6X40" (2)
W07	4020 FXD 8'-0" HH	1	2	4020FX	48"	24"	49"X25"	FIXED GLASS	2X6X52" (2)

PLANS FOR:  
MOFFATT RESIDENCE  
DANA MOFFATT  
211 JACOB CROSSING  
ROCKWALL, TEXAS 75087

TITLE:  
DOOR - WINDOW & FLOORING SCHEDULES

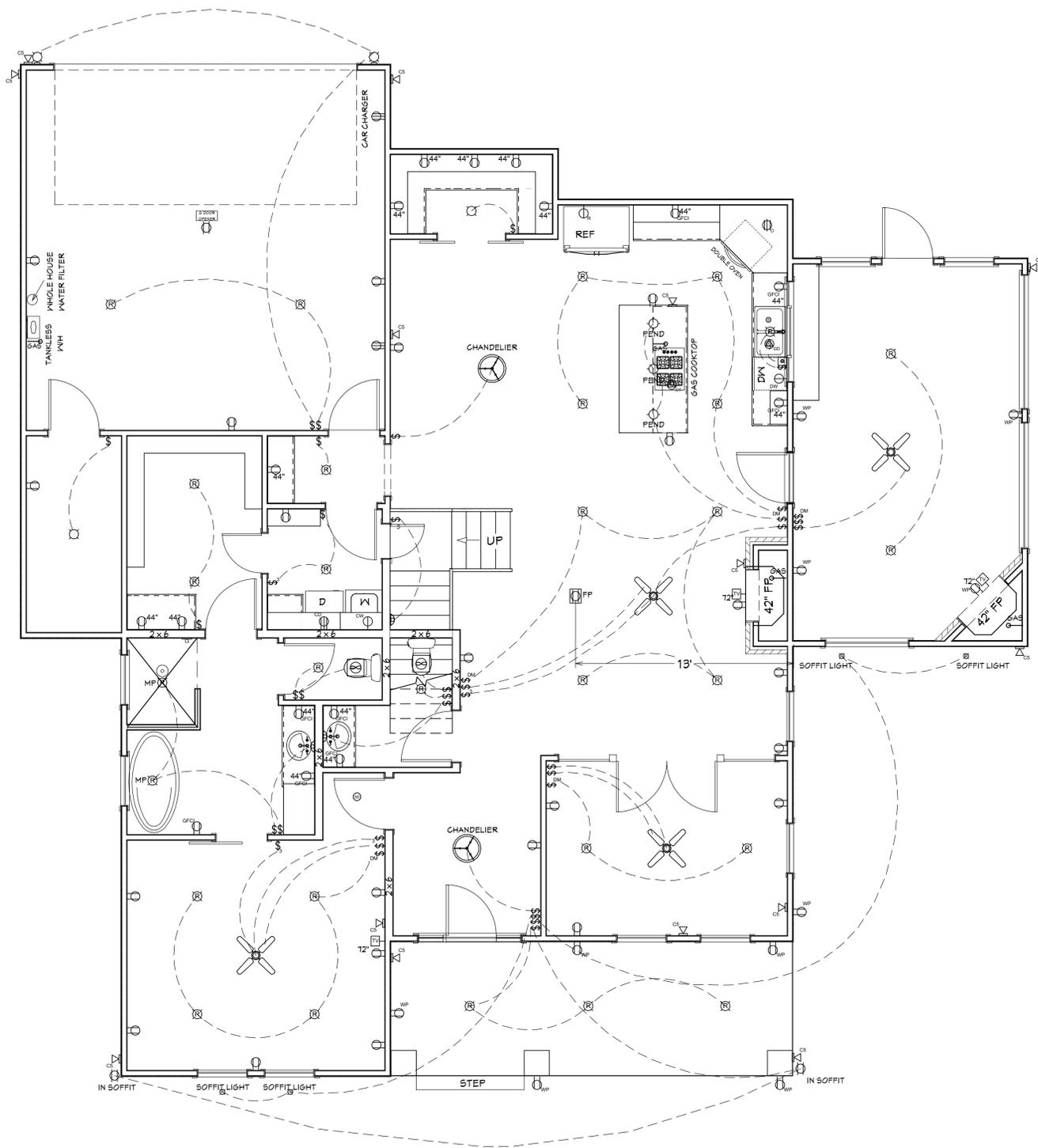
SHANNON NENSON  
MARK NENSON  
**CADAZIGN**  
ROYSE CITY, TEXAS 75189  
469-338-9883  
DRAWN BY:

DATE:  
10/3/2022

SCALE:  
AS SHOWN

SHEET:

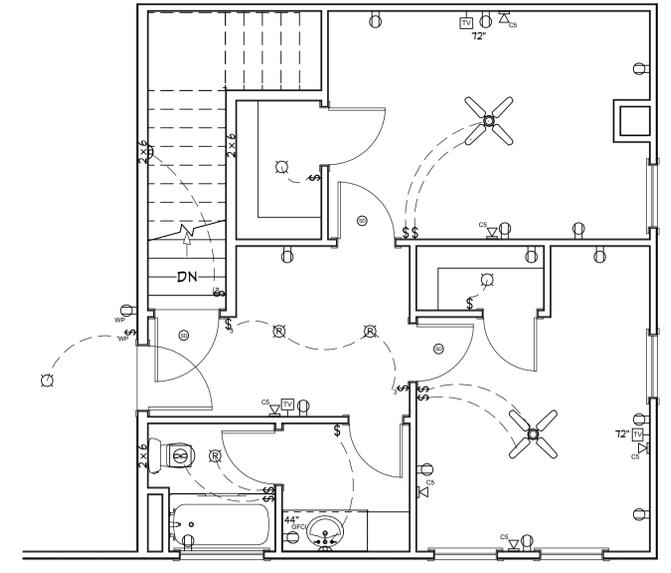
A-6



**1 FIRST FLOOR ELECTRICAL PLAN**  
SCALE: 1/4"=1'

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel
	MOTION SENSOR SPOTLIGHT

NOTES:  
 1. WIRE SOFFIT OUTLETS TO SWITCH IN ENTRY.  
 2. WIRE ALL SOFFIT LIGHTING TO SWITCH IN ENTRY.  
 3. VERIFY FLOOR PLUG LOCATION W/ OWNER.



**2 SECOND FLOOR ELECTRICAL PLAN**  
SCALE: 1/4"=1'

PLANS FOR:  
 MOFFATT RESIDENCE  
 DANA MOFFATT  
 211 JACOB CROSSING  
 ROCKWALL, TEXAS 75087

TITLE: **ELECTRICAL PLAN**

SHANNON NEWSOM MARK NEWSOM  
**CADAZIGN**  
 ROYSE CITY, TEXAS 75189  
 469-338-9863  
 DRAWN BY:

DATE:  
 10/3/2022

SCALE:  
 AS SHOWN

SHEET:

**A-7**



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-054

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING SF	EXTERIOR MATERIALS
192 Jacob Crossing	Single-Family Home	1999	2077	N/A	Brick
193 Jacob Crossing	Single-Family Home	2002	1941	N/A	Brick
196 Jacob Crossing	Single-Family Home	1998	1728	N/A	Brick
199 Jacob Crossing	Single-Family Home	1998	1667	N/A	Brick
200 Jacob Crossing	Single-Family Home	1998	1700	N/A	Brick
203 Jacob Crossing	Single-Family Home	2000	1874	N/A	Brick
204 Jacob Crossing	Single-Family Home	1999	1944	N/A	Brick
207 Jacob Crossing	Single-Family Home	1999	2117	N/A	Brick
208 Jacob Crossing	Single-Family Home	2000	1895	N/A	Brick
212 Jacob Crossing	Single-Family Home	1999	1892.5	N/A	Brick and Siding
194 Cody Place	Single-Family Home	2002	1939	80	Brick and Siding
198 Cody Place	Single-Family Home	2000	1674	N/A	Brick and Siding
202 Cody Place	Single-Family Home	1999	1916.5	N/A	Brick
206 Cody Place	Single-Family Home	2000	2038	N/A	Brick and Siding
210 Cody Place	Single-Family Home	2003	1904	N/A	Brick
214 Cody Place	Single-Family Home	1999	2070	N/A	Brick and Siding
215 Cody Place	Single-Family Home	2000	1869	N/A	Brick
219 Cody Place	Single-Family Home	2003	2051	N/A	Brick
974 Chad Way	Single-Family Home	2000	1760	N/A	Brick
978 Chad Way	Single-Family Home	2000	1835	N/A	Brick and Stone
982 Chad Way	Single-Family Home	1999	1941	N/A	Brick
986 Chad Way	Single-Family Home	1998	1817	N/A	Brick
990 Chad Way	Single-Family Home	2001	1673	N/A	Stone, Siding, and Brick
994 Chad Way	Single-Family Home	2000	1853	120	Brick and Stone
AVERAGES:		2000	1882	100	Brick



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-054

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192 Jacob Crossing



193 Jacob Crossing



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-054

### PLANNING AND ZONING DEPARTMENT

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196 Jacob Crossing



199 Jacob Crossing



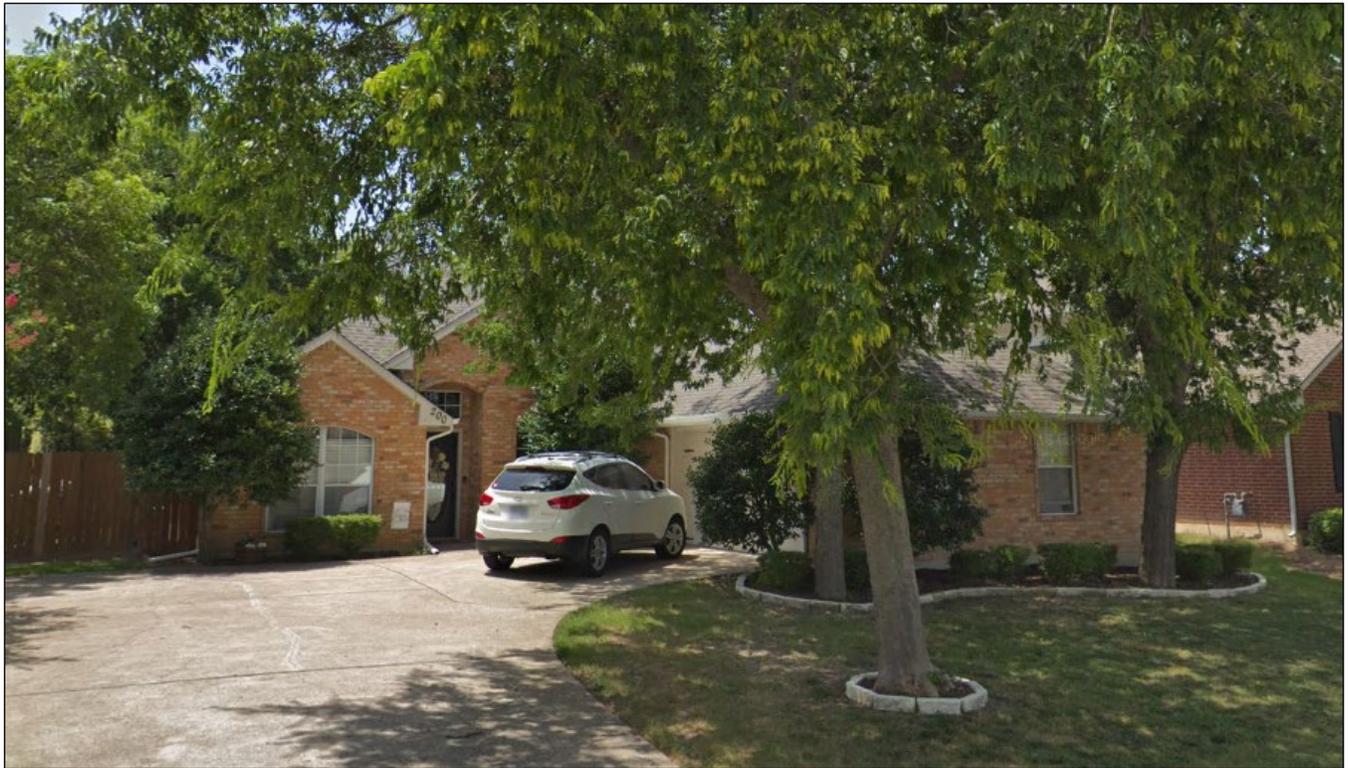
# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-054

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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200 Jacob Crossing



203 Jacob Crossing



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-054

### PLANNING AND ZONING DEPARTMENT

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204 Jacob Crossing



207 Jacob Crossing



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-054

### PLANNING AND ZONING DEPARTMENT

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208 Jacob Crossing



212 Jacob Crossing



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-054

**PLANNING AND ZONING DEPARTMENT**

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194 Cody Place



198 Cody Place



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-054

**PLANNING AND ZONING DEPARTMENT**

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202 Cody Place



206 Cody Place



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-054

**PLANNING AND ZONING DEPARTMENT**

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210 Cody Place



214 Cody Place



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-054

**PLANNING AND ZONING DEPARTMENT**

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215 Cody Place



219 Cody Place



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-054

**PLANNING AND ZONING DEPARTMENT**

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974 Chad Way



978 Chad Way



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-054

### PLANNING AND ZONING DEPARTMENT

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



982 Chad Way



986 Chad Way



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-054

**PLANNING AND ZONING DEPARTMENT**

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990 Chad Way



994 Chad Way

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1837-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 7, BLOCK B, NORTH TOWN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Scott Clements on behalf of Dana Moffatt for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1837-acre parcel of land identified as Lot 7, Block B, North Towne Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 211 Jacob Crossing, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 2<sup>ND</sup> DAY OF JANUARY, 2023.

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: December 19, 2022

2<sup>nd</sup> Reading: January 2, 2023

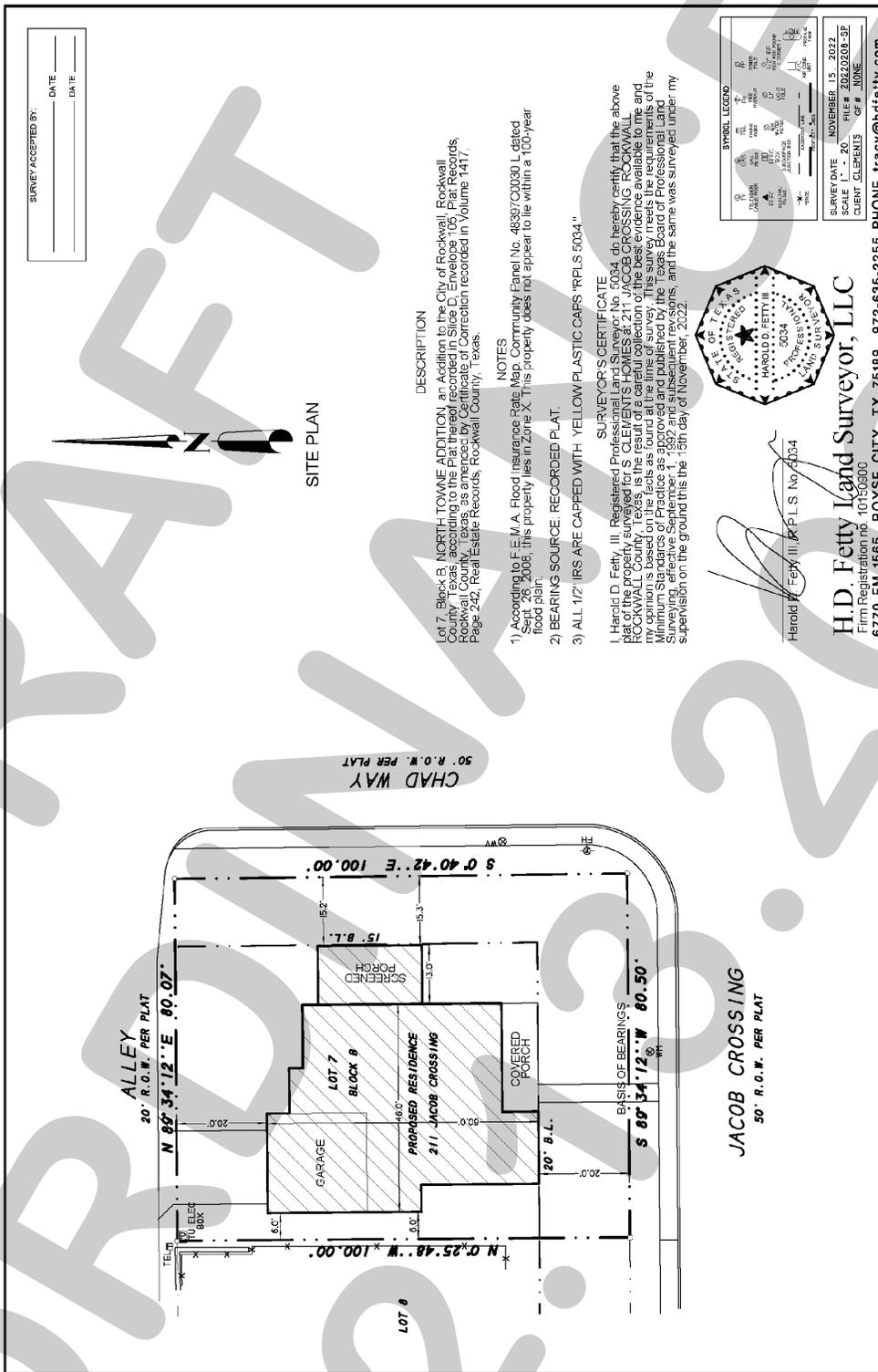
**Exhibit 'A':**  
*Legal Description*

Address: 211 Jacobs Crossing

Legal Description: Lot 7, Block B, North Town Addition



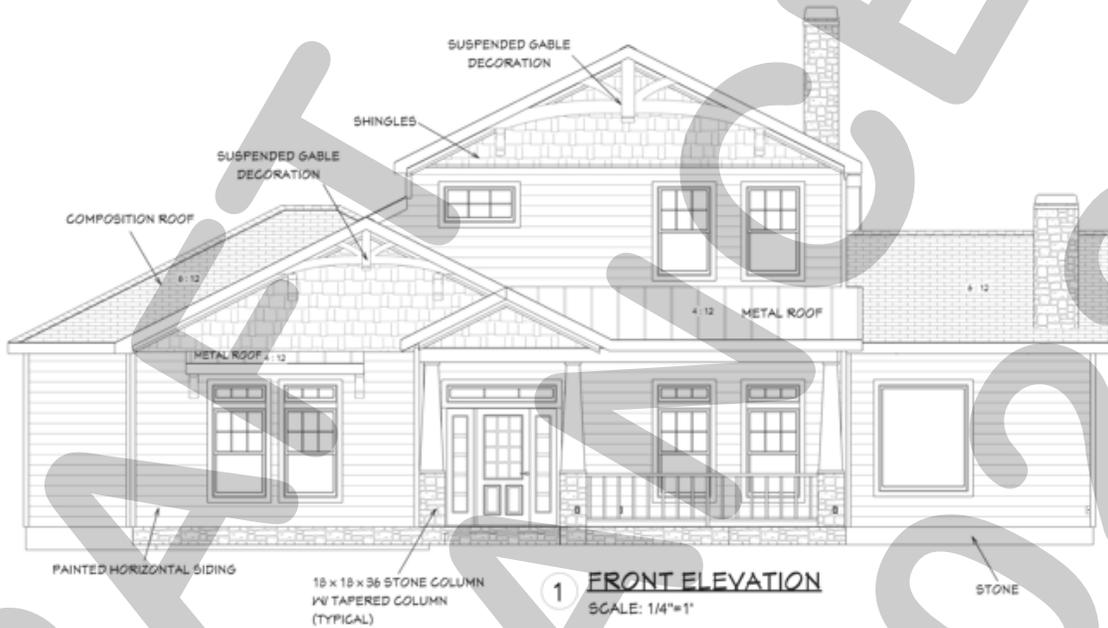
**Exhibit 'B':  
Residential Plot Plan**



Harold D. Fetty, III, RPLS No. 5034

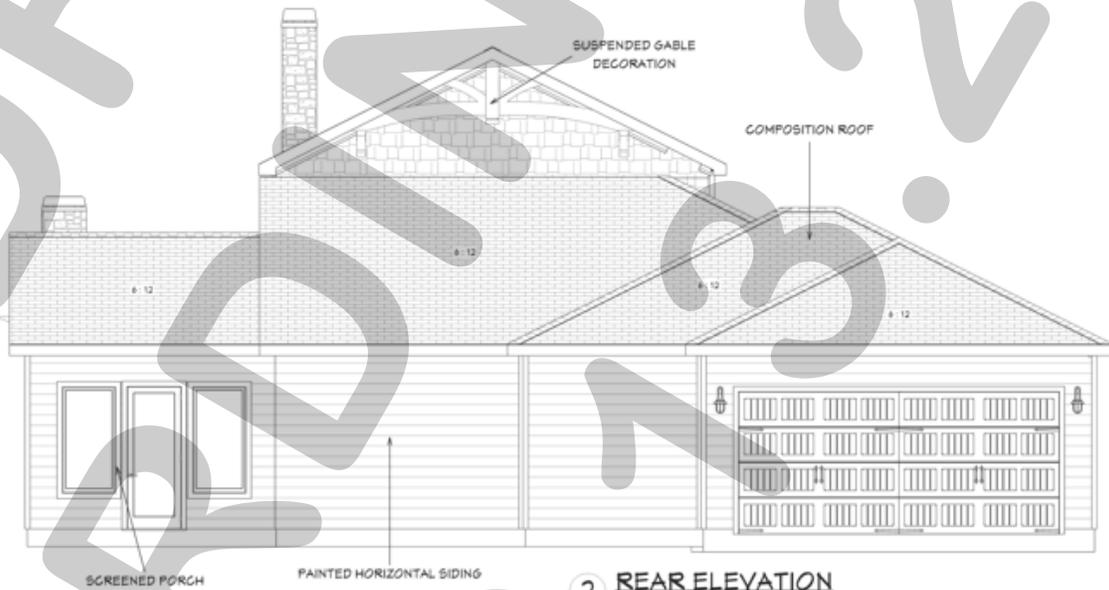
**H.D. Fetty Land Surveyor, LLC**  
Firm Registration no. 10150600  
6770 FM 1566, ROYSE CITY, TX 75189 972-635-2265 PHONE tracy@hdfetty.com

**Exhibit 'C':**  
**Building Elevations**



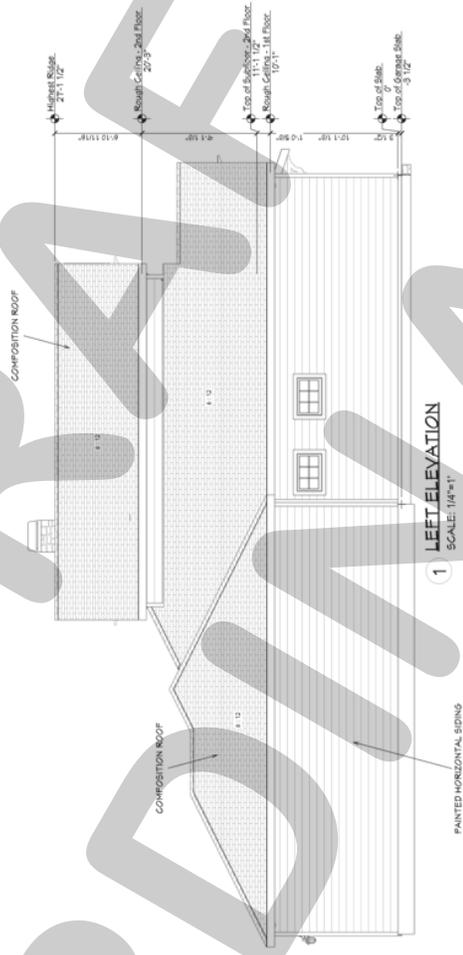
**1 FRONT ELEVATION**  
 SCALE: 1/4"=1'

NOTE:  
 BRICK FAVERS ON PORCH

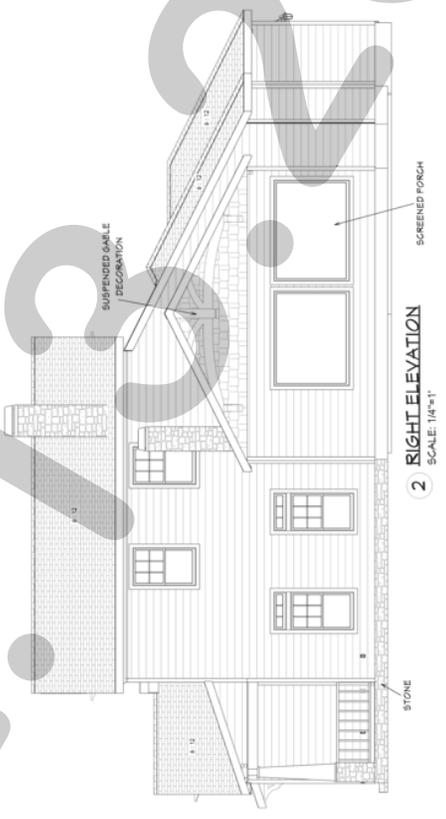


**2 REAR ELEVATION**  
 SCALE: 1/4"=1'

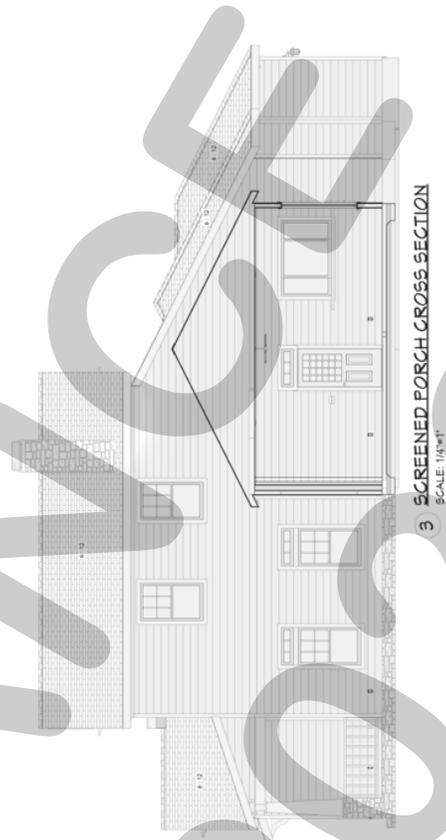
**Exhibit 'C':  
Building Elevations**



**1 LEFT ELEVATION**  
SCALE: 1/8"=1'



**2 RIGHT ELEVATION**  
SCALE: 1/8"=1'



**3 SCREENED PORCH CROSS SECTION**  
SCALE: 1/8"=1'



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** December 13, 2022  
**APPLICANT:** Dub Douphrate; *Douphrate and Associates*  
**CASE NUMBER:** Z2022-055; *Amendment to Planned Development District 87 (PD-87)*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Ryan Lewis and Scott Sutton of Crosspoint Community Church for the approval of a Zoning Change amending Planned Development District 87 (PD-87) [Ordinance No. 18-46] being a 16.26-acre tract of land identified as a Lot 1, Block 1, Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 87 (PD-87) for Single-Family 10 (SF-10) District, General Retail (GR) District and Light Industrial (LI) District land uses, located on the southside of E. Washington Street east of the intersection of Park Place Boulevard and E. Washington Street, and take any action necessary.

### **BACKGROUND**

The subject property was annexed on February 6, 1961 by *Ordinance No. 60-01* [Case No. A1960-001]. According to the City's historic zoning maps, the subject property has been zoned Light Industrial (LI) District since at least January 3, 1972. On July 14, 2000, the City Council approved a final plat for a portion of this property (*i.e.* 7.409-acres), establishing it as Lot 1, Block 1, Indalloy Addition by *Case No. PZ2000-055-01*. On November 19, 2018, the City Council approved a change in zoning [Case No. Z2018-032; *Ordinance No. 18-46*] from a Light Industrial (LI) District to Planned Development District 87 (PD-87) for Single-Family 10 (SF-10) District, General Retail (GR) District, and Light Industrial (LI) District land uses. On July 15, 2019, the City Council approved a preliminary plat [Case No. P2019-026] for the purpose of establishing a lot layout for a townhome development (*i.e.* *Park Station, Phase 1*). This preliminary plat expired on July 15, 2020. The subject property is currently vacant with the exception of a private driveway that connects the property south of the subject property to E. Washington Street.

On July 15, 2022, the applicant submit an application requesting to amend Planned Development District 87 (PD-87) [Case No. Z2022-035] to remove the *Church/House of Worship* land use from the prohibited land uses, which is the same request as is currently being requested. On August 9, 2022, the Planning and Zoning Commission reviewed Case No. Z2022-035, and approved a recommendation to deny by a vote of 7-0. Following the recommendation by the Planning and Zoning Commission the applicant requested that the City Council allow the case to be withdrawn. The City Council approved a motion to allow the withdrawal by a vote of 7-0.

### **PURPOSE**

On November 14, 2022, the applicant -- *Dub Douphrate of Douphrate & Associates, Inc.*-- submitted an application requesting to amend Planned Development District 87 (PD-87) to change the prohibited uses within *Ordinance No. 18-46*. Specifically, the applicant is proposing to combine *Tracts 2-5* into one (1) tract (*i.e.* *Tract 2*) and remove *Church/House of Worship* from the prohibited land uses in *Tract 2*.

### **ADJACENT LAND USES AND ACCESS**

The subject property is generally located south of E. Washington Street and east of Park Place Boulevard, across from Harry Myers Park. The land uses adjacent to the subject property are as follows:

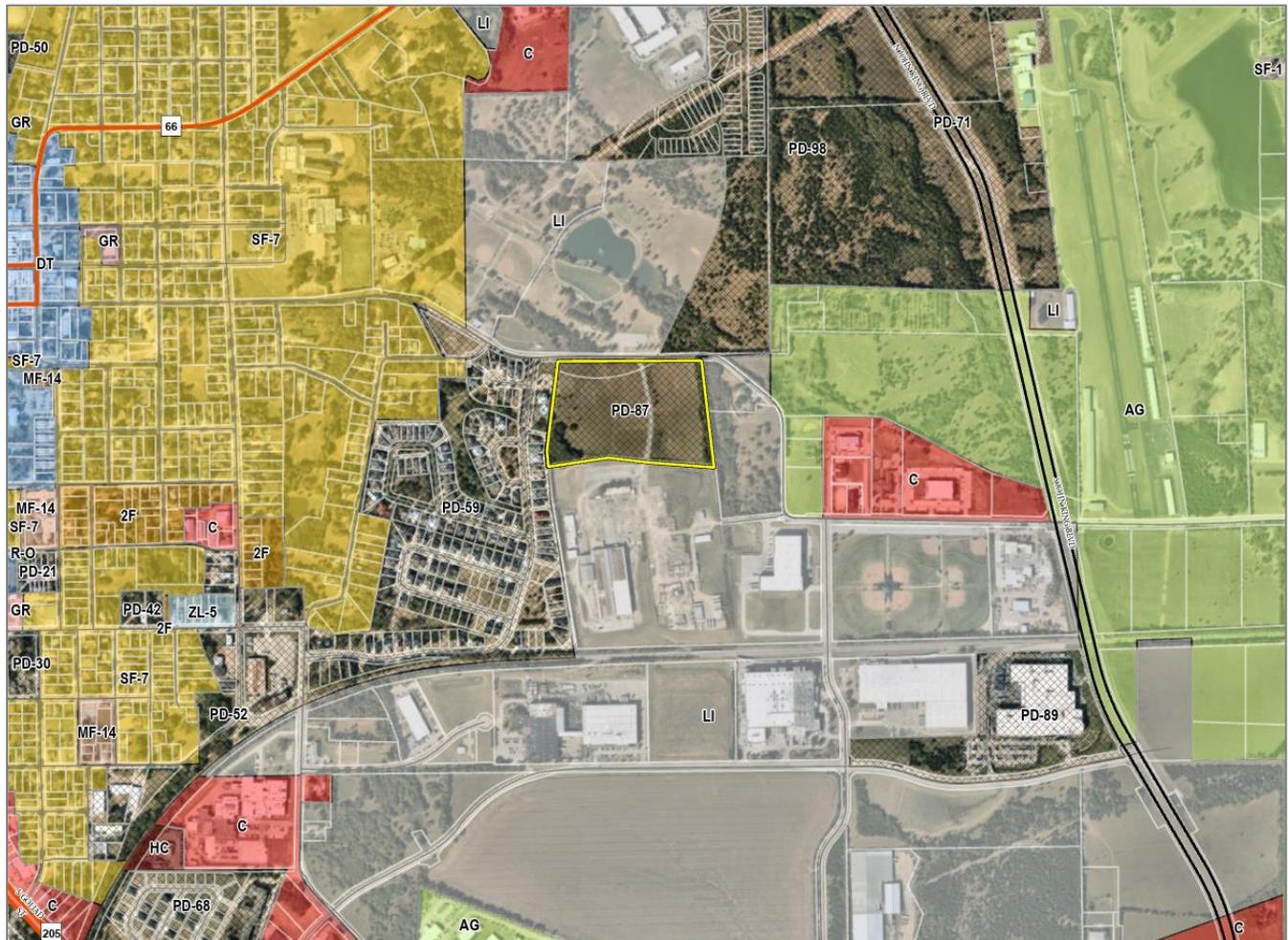
North: Directly north of the subject property is E. Washington Street, which also delineates the future alignment of SH-66. This roadway is identified as a TXDOT4D (i.e. four [4] lane, divided highway, owned by the Texas Department of Transportation) on the City's Master Thoroughfare Plan. North of this thoroughfare is a 67.036-acre public park (i.e. Harry Myers Park), which is zoned Light Industrial (LI) District. Beyond this is a 17.861-acre vacant tract of land that was platted as a 78 unit duplex subdivision (i.e. Oak Creek) in 1984. This property is zoned Planned Development District 98 (PD-98) for Single-Family 8.4 (SF-8.4) District land uses. Adjacent to this residentially zoned area is a 21.326-acre tract of land that is zoned Light Industrial (LI) District. This property has a school and administrative offices (i.e. Rockwall Quest Academy/RISD Administrative Offices) situated on it.

South: Directly south of the subject property is an 8.197-acre tract of land and a 14.53-acre parcel of land (i.e. Lot 1-01, Block 1, Indalloy Addition). Both of these properties are zoned Light Industrial (LI) District. Situated on these properties is a large industrial building and various other improvements. Beyond this is the right-of-way for the Union Pacific Dallas/Garland Northeast Railroad.

East: Directly east of the subject property is a 2.093-acre parcel of land (i.e. Lot 1, Block A, Soroptimist Rockwall Children's Home), a vacant 7.97-acre tract of land, and a vacant 11.3736-acre tract of land. All of these properties are zoned Light Industrial (LI) District. Beyond this are E. Washington Street, Airport Road, and Industrial Boulevard. These roadways are all identified as an M4U (i.e. minor collector, four [4] lane, roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Phases 2 & 3 of the Park Place Subdivision, which currently contain 94 single-family residential lots. This property is zoned Planned Development District 59 (PD-59) for Neighborhood Services (NS) District, Residential-Office (RO) District, and Single-Family 7 (SF7) District land uses.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



## **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted a revised concept plan that proposes combining *Tracts 2-5* as shown on the existing concept plan contained in *Ordinance No. 18-46*. Specifically, the applicant is requesting to change the 12.82-acre tract of land (*i.e. Tracts 2-5*) into one (1) tract (*i.e. Tract 2*) [see *Figures 1 & 2 below*]. In addition to combining these tracts of land, the applicant is requesting to remove the *Church/House of Worship* land use as a prohibited land use within *Ordinance No. 18-46*. Making this change would allow a *Church/House of Worship* to develop *by-right* on *Tract 2*, which is prohibited under the current ordinance. These are the only changes being proposed for Planned Development District 87 (PD-87). That being said the applicant has also provide staff with a conceptual site plan -- *that is not included in the draft ordinance* -- that depicts the applicant's intent to develop the subject property as a *Church/House of Worship*. This concept plan shows that a 35,000 SF church will be constructed on *Tract 2*, with the possibility of a second building in the future.



**FIGURE 1: CURRENT CONCEPT PLAN IN ORDINANCE 18-46**



**FIGURE 2: PROPOSED CONCEPT PLAN**

## **INFRASTRUCTURE**

Based on the applicant's concept plan, the infrastructure requirements have not changed; however, if a *Church/House of Worship* is developed on the subject property per the conceptual site plan provided by the applicant, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) **Roadways.** According to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan, E. Washington Street is a TXDOT4D (*i.e. four [4] lane, divided highway, owned by the Texas Department of Transportation*), which requires a 120-foot right-of-way. In this case, right-of-way must be dedicated for the future alignment of SH-66.
- (2) **Water.** The applicant will be required to construct an eight (8) inch water line that loops through the subject property.
- (3) **Wastewater.** The applicant will be required to construct an eight (8) inch wastewater line that connects to existing lines located south of the subject property.
- (4) **Drainage.** Detention will be required and sized per the required detention study. If the applicant is proposing development that will affect the existing floodplain on the subject property, a *Flood Study* and a Letter of Map Revision (LOMR) will be required.

## **CONFORMANCE TO THE CITY'S CODES**

The proposed amendment to Planned Development District 87 (PD-87) conforms to all of the requirements of the Unified Development Code (UDC) and the Engineering Department's *Standards of Design and Construction Manual*.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Central District* and is designated for *Commercial/Retail* and *Technology/Employment Center* land uses. The designation for this area was originally changed from a *Technology/Employment Center* designation to a *Commercial/Retail* and *Technology/Employment Center* designation by Case No. Z2018-032 [Ordinance No. 18-46]. Under this case, the applicant had requested this area be changed to allow flexibility for low intensity commercial and light industrial businesses to be allowed.



FIGURE 3: FUTURE LAND USE MAP  
RED CIRCLE: SUBJECT PROPERTY

The proposed amendment to Planned Development District 87 (PD-87) will not immediately change the Future Land Use Map; however, if a *Church/House of Worship* is developed on the subject property the Future Land Use Map will change from *Commercial/Retail* and *Technology/Employment Center* to *Quasi-Public*. This change would be made with a future update to the Comprehensive Plan in the event the *Church/House of Worship* is approved and constructed. Staff should note that a change to *Quasi-Public* does not appear to have an impact on any of the adjacent properties or the essential character of the neighboring Park Place Subdivision. With this being said, zoning changes are discretionary decisions for the City Council pending a recommendation by the Planning and Zoning Commission. Should the City Council choose to approve this request, staff has added a condition of approval that would make the necessary changes to the Future Land Use Map.

## **NOTIFICATIONS**

On November 18, 2022, staff mailed 70 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received 38 responses from 31 property owners. These responses were as follows:

### Responses Inside of the City Limits

- (1) Sixteen (16) responses from twelve (12) property owners in opposition to the applicant's request.
- (2) Twenty-two (22) responses from thirteen (19) property owners in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to amend Planned Development District 87 (PD-87), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) Any construction resulting from the approval of this *Zoning Change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22022-055

NOTE: THIS APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_  
CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1200 E. Washington St.

SUBDIVISION Park station 4 LOT 1 BLOCK A

GENERAL LOCATION SEQ of E. Washington St. and Park Place Blvd

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD CURRENT USE Commercial

PROPOSED ZONING PD PROPOSED USE Church

ACREAGE 14.93 LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Crosspoint Community Church  APPLICANT Rob Doughrate w/

CONTACT PERSON Ryan Lewis / Scott Sutton CONTACT PERSON Doughrate & Assoc., Inc.

ADDRESS P.O. Box 1015 ADDRESS 2235 Ridge Rd

CITY, STATE & ZIP Rockwall, Tx 75087 CITY, STATE & ZIP Rockwall, Tx 75087

PHONE 214.538.1050 PHONE 9727422210

E-MAIL ryan@ccrockwall.com E-MAIL wldoughrate@doughrate.com

## NOTARY VERIFICATION [REQUIRED]

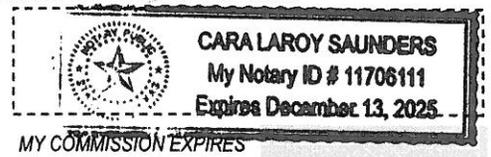
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ryan Lewis [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

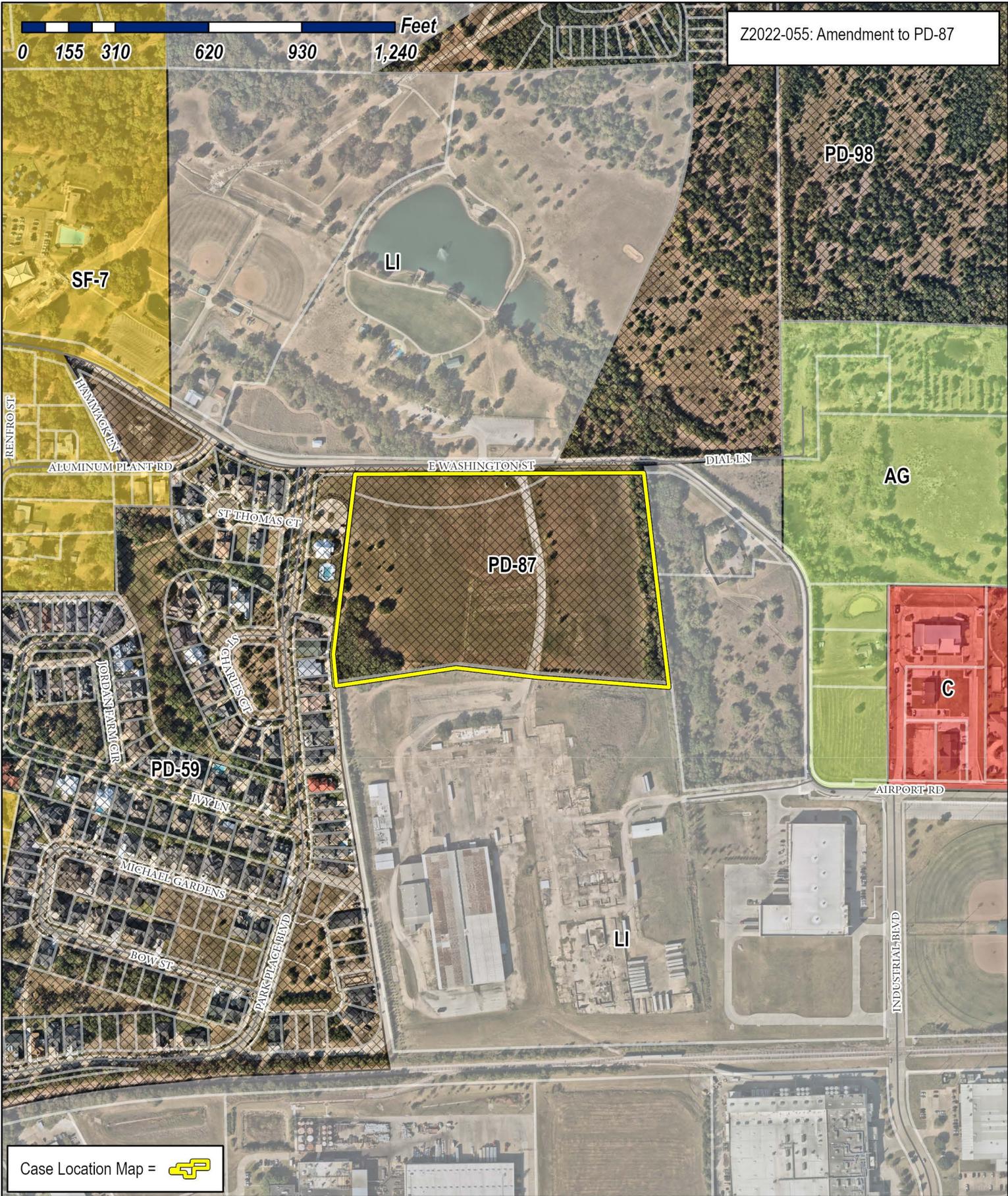
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF Nov, 2022

OWNER'S SIGNATURE \_\_\_\_\_

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS \_\_\_\_\_





Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

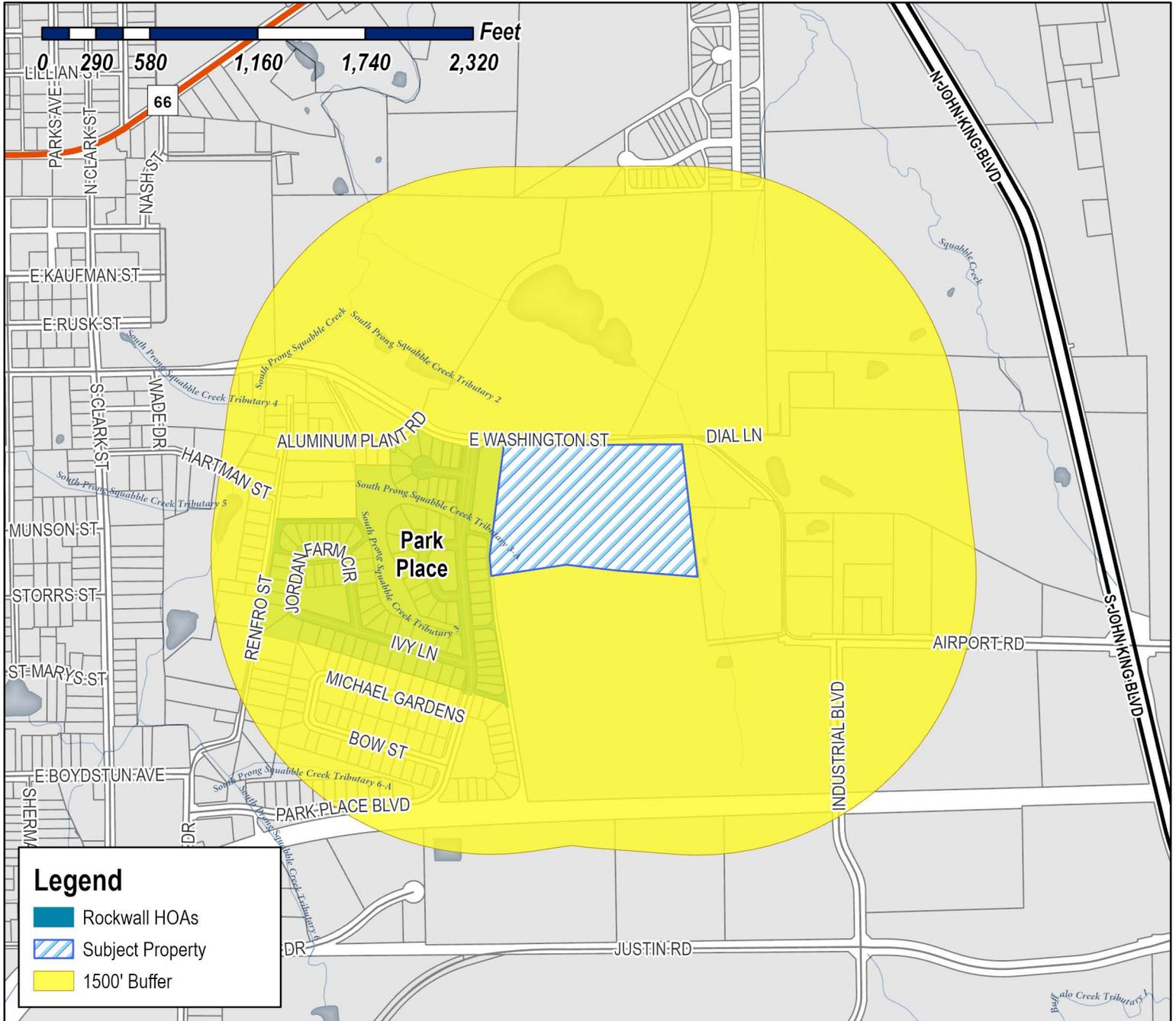




# City of Rockwall

Planning & Zoning Department  
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Rockwall, Texas 75087  
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**Case Number:** Z2022-055  
**Case Name:** Amendment to PD-87  
**Case Type:** Zoning  
**Zoning:** Planned Development District 87 (PD-87)  
**Case Address:** NEC of E. Washington St. & Park Place Blvd.

**Date Saved:** 11/14/2022  
 For Questions on this Case Call (972) 771-7745



## Lee, Henry

---

**From:** Guevara, Angelica  
**Sent:** Friday, November 18, 2022 8:50 AM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry; Chapin, Sarah  
**Subject:** Neighborhood Notification Program [Z2022-055]  
**Attachments:** HOA Map Z2022-055.pdf; Public Notice Z2022-055.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *November 18, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 13, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 19, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2022-055: Zoning Change Amending PD-87**

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Ryan Lewis and Scott Sutton of Crosspoint Community Church for the approval of a *Zoning Change* amending Planned Development District 87 (PD-87) [*Ordinance No. 18-46*] being a 16.26-acre tract of land identified as a Lot 1, Block 1, Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 87 (PD-87) for Single-Family 10 (SF-10) District, General Retail (GR) District and Light Industrial (LI) District land uses, located on the southside of E. Washington Street east of the intersection of Park Place Boulevard and E. Washington Street, and take any action necessary.

Thank you,

*Angelica Guevara*

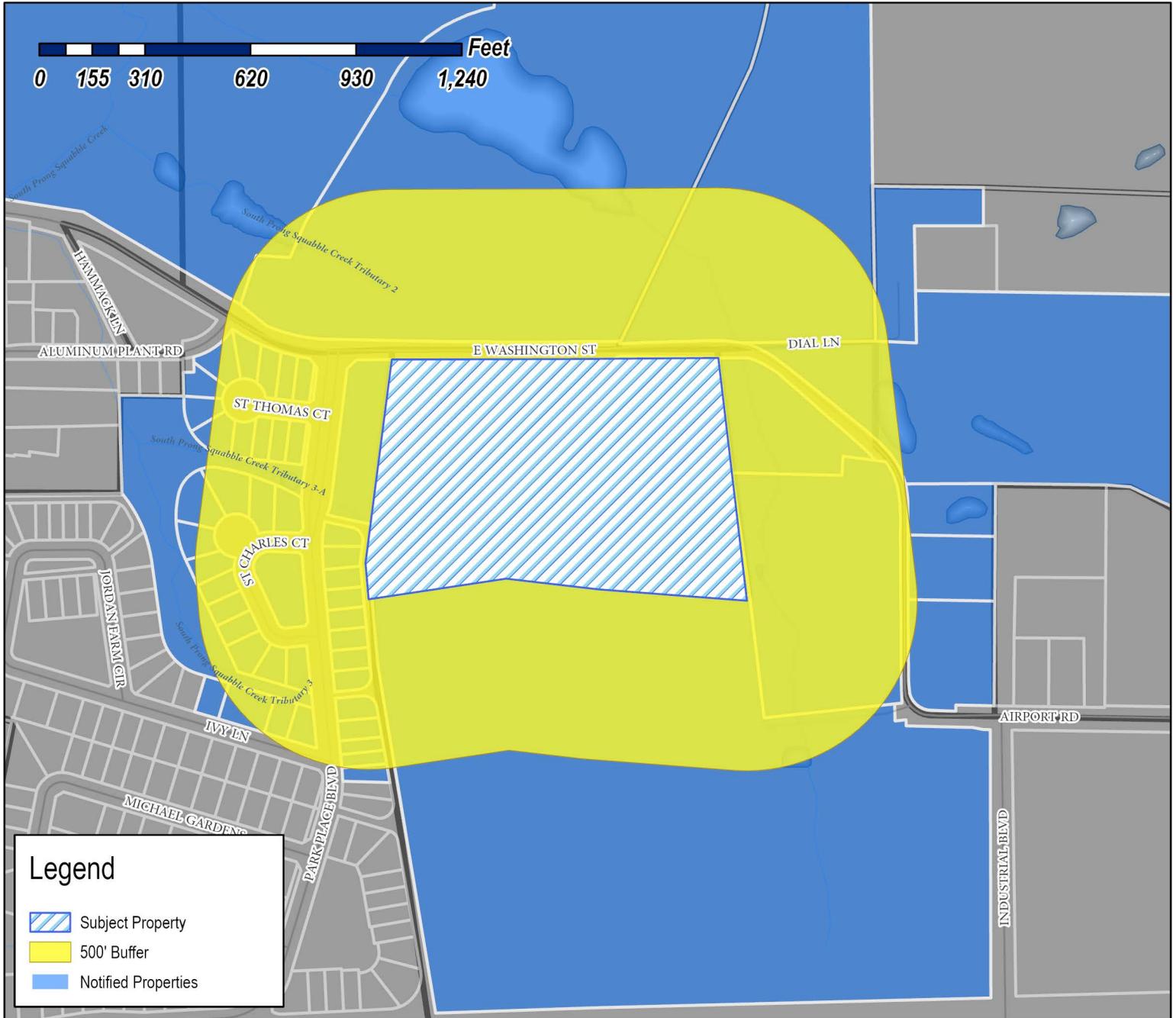
Planning Technician  
City of Rockwall Planning & Zoning  
385 S. Goliad Street  
Rockwall, TX 75087  
Office: 972-771-7745  
Direct: 972-772-6438



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2022-055  
**Case Name:** Amendment to PD-87  
**Case Type:** Zoning  
**Zoning:** Planned Development District 87 (PD-87)  
**Case Address:** SEC of E. Washington St. & Park Place Blvd.

**Date Saved:** 11/14/2022

For Questions on this Case Call: (972) 771-7746



DUKE JERI L  
1001 ST. CHARLES CT  
ROCKWALL, TX 75087

LAKEVIEW SUMMIT PROPERTIES LLC  
1002 SAINT CHARLES CT  
ROCKWALL, TX 75087

TROSPER MARK AND GLORIA  
1007 ST. CHARLES CT  
ROCKWALL, TX 75087

TROSPER MARK AND GLORIA  
1007 ST. CHARLES CT  
ROCKWALL, TX 75087

ROLLINS DANNY & JONNA  
1008 SAINT CHARLES CT  
ROCKWALL, TX 75087

PODINA HERB AND LAURA  
1014 SAINT CHARLES CT  
ROCKWALL, TX 75087

TROSPER MARK AND GLORIA  
1015 ST CHARLES CT  
ROCKWALL, TX 75087

DAVID DAVID A AND CHRISTINE A  
1020 SAINT CHARLES CT  
ROCKWALL, TX 75087

DAVIS SHAUNTE AND JACOB  
1021 IVY LN  
ROCKWALL, TX 75087

TAYLOR TIMOTHY DAVID AND  
JUDY HELENE DUBREUIL  
1023 ST THOMAS COURT  
ROCKWALL, TX 75087

YOUNG PHIL & KATHY  
1026 SAINT CHARLES COURT  
ROCKWALL, TX 75087

IVEY BRUCE AND TINA  
1026 ST THOMAS CT  
ROCKWALL, TX 75087

RIPP KEEGAN V AND NICOLA M  
1027 IVY LANE  
ROCKWALL, TX 75087

FOX DENNIS AND KAREN  
1027 ST THOMAS CT  
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST  
EDWINA W EDWARDS TRUSTEE  
1030 ST THOMAS CT  
ROCKWALL, TX 75087

WHITWORTH JULIE A  
1031 ST THOMAS COURT  
ROCKWALL, TX 75087

FIELDS SHAY AND JONI  
1032 ST CHARLES COURT  
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST  
EDWINA W EDWARDS TRUSTEE  
1034 ST THOMAS CT  
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST  
EDWINA W EDWARDS TRUSTEE  
1034 ST THOMAS CT  
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST  
EDWINA W EDWARDS TRUSTEE  
1034 ST THOMAS CT  
ROCKWALL, TX 75087

JOHNSON RICHARD ERIC AND DIANNA MUNRO  
1035 SAINT THOMAS CT  
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST  
EDWINA W EDWARDS TRUSTEE  
1038 ST THOMAS CT  
ROCKWALL, TX 75087

KRAEMER TERESA A  
1039 IVY LN  
ROCKWALL, TX 75087

BEER TERRY L AND  
CYNTHIA OLSON  
1039 ST THOMAS CT  
ROCKWALL, TX 75087

HOULE GARY AND AYURNI NAKAMURA  
1040 SAINT CHARLES CT  
ROCKWALL, TX 75087

SOMMER RICHELLE AND RICHARD  
1042 SAINT THOMAS CT  
ROCKWALL, TX 75087

SOUTHERLAND CHRISTOPHER AND JENNIFER  
1043 ST THOMAS COURT  
ROCKWALL, TX 75087

DENTON LANCE AND GLENDA K  
1045 IVY LN  
ROCKWALL, TX 75087

VRANA MARK AND  
PAM VRANA  
1046 ST CHARLES CT  
ROCKWALL, TX 75087

BLACKWOOD SCOTT W & GLENITA G  
1046 ST THOMAS CT  
ROCKWALL, TX 75087

VRANA MARK AND  
PAM VRANA  
1046 SAINT CHARLES CT  
ROCKWALL, TX 75087

FUNK JOSEPH  
11226 INDIAN TRAIL  
DALLAS, TX 75229

SOROPTIMIST INT'L OF ROCKWALL  
1350 E WASHINGTON  
ROCKWALL, TX 75087

BAYS JACOB M  
1435 E WASHINGTON ST  
ROCKWALL, TX 75087

ALVAPLAST US DEVELOPMENT LLC  
1480 JUSTIN ROAD  
ROCKWALL, TX 75087

DEVENNEY DIANA  
205 DIAL  
ROCKWALL, TX 75087

CUMMINGS KARYN  
2823 QUAIL HOLLOW DR  
MESQUITE, TX 75150

DEVENNEY DIANA  
2944 PEGASUS DR  
GARLAND, TX 75044

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
305 PARK PLACE  
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORP  
ATTN:BILL BRICKER  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087

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ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
ATTN;MARY SMITH  
385 S GOLIAD ST  
ROCKWALL, TX 75087

MATEER JEFFREY CARL & D'ANN ELIZABETH  
DELP  
405 PARK PLACE BLVD  
ROCKWALL, TX 75087

JONES KENNETH AND CINDY  
411 PARK PLACE BLVD  
ROCKWALL, TX 75087

VAN WINKLE KATHI AND RONNIE G  
417 PARK PLACE BLVD  
ROCKWALL, TX 75087

KISTNER ARIANA M AND KELLY  
423 PARK PLACE BLVD  
ROCKWALL, TX 75087

MORGAN WILBUR J AND NANCY F  
429 PARK PLACE BLVD  
ROCKWALL, TX 75087

ALVAPLAST US DEVELOPMENT LLC  
501 INDUSTRIAL BLVD  
ROCKWALL, TX 75087

LOVOI JOSEPH J SR AND VELMA J  
501 PARK PLACE BLVD  
ROCKWALL, TX 75087

RASMUSSEN MICHAEL AND DELILA RASMUSSEN  
507 PARK PLACE BLVD  
ROCKWALL, TX 75087

GARCIA MELISSA P AND  
JOE DOWELL LOFTIS JR AKA JOE DOWELL LOFTIS  
513 PARK PLACE BLVD  
ROCKWALL, TX 75087

MOORE CONNIE JO  
523 PARK PLACE BLVD  
ROCKWALL, TX 75087

SANTIAGO KIMBERLY J AND JOSE JR  
535 PARK PLACE BLVD  
ROCKWALL, TX 75087

WALSH DONNA  
541 PARK PLACE BLVD  
ROCKWALL, TX 75087

CUMMINGS KARYN  
547 PARK PLACE BLVD  
ROCKWALL, TX 75087

BLACKWOOD SCOTT W & GLENITA G  
5574 CANADA CT  
ROCKWALL, TX 75032

BAYS JACOB M  
5602 YACHT CLUB DR.  
ROCKWALL, TX 75032

BAYS JACOB M  
5602 YACHT CLUB DR.  
ROCKWALL, TX 75032

BAYS JACOB M  
5602 YACHT CLUB DR.  
ROCKWALL, TX 75032

MURREY GARY L AND PAMELA K  
601 PARK PLACE BLVD  
ROCKWALL, TX 75087

ROCKWALL COMMUNITY PLAYHOUSE  
609 E RUSK ST  
ROCKWALL, TX 75087

WALSH DONNA  
8009 LAKEBEND  
ROWLETT, TX 75088

CITY OF ROCKWALL  
815 E WASHINGTON ST  
ROCKWALL, TX 75087

DENTON LANCE AND GLENDA K  
900 DAVY CROCKETT  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
ATTN;MARY SMITH  
945 E WASHINGTON ST  
ROCKWALL, TX 75087

2020 T R MARTIN REVOCABLE TRUST  
CHARLES TED MARTIN AND RHONDA KAREN  
MARTIN- TRUSTEES  
995 ST CHARLES COURT  
ROCKWALL, TX 75087

SOROPTIMIST INT'L OF ROCKWALL  
PO BOX 372  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2022-055: Amendment to PD-87**

*Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Ryan Lewis and Scott Sutton of Crosspoint Community Church for the approval of a Zoning Change amending Planned Development District 87 (PD-87) [Ordinance No. 18-46] being a 16.26-acre tract of land identified as a Lot 1, Block 1, Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 87 (PD-87) for Single-Family 10 (SF-10) District, General Retail (GR) District and Light Industrial (LI) District land uses, located on the southside of E. Washington Street east of the intersection of Park Place Boulevard and E. Washington Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 13, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 19, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 19, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2022-055: Amendment to PD-87**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-055

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I think a church next to Park Place would be great.

## Respondent Information

Please provide your information.

## First Name \*

Bruce

Last Name \*

Ballard

Address \*

1043 Michael Gardens

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.

Google Forms

# Zoning & Specific Use Permit Input Form

**Case Number \***

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-55

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

**Respondent Information**

Please provide your information.

**First Name \***

Carol

Last Name \*

Jones

Address \*

838 Park Place Blvd

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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Google Forms

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-55

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

A beautiful community church adjacent to our neighborhood is a bonus, in my humble opinion! Having a church as "neighbors" to our Park Place community, should provide more of a positive, stabalized, home-town community environment.

I am in favor of having a church community adjacent to our Park Place community.

## Respondent Information

Please provide your information.

## First Name \*

Cathy

Last Name \*

Ballard

Address \*

1043 Michael Gardens

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: Park Place HOA meeting

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## Ross, Bethany

---

**From:** AOL Mail <nindyfeet@aol.com>  
**Sent:** Friday, December 2, 2022 7:15 PM  
**To:** Planning  
**Subject:** zoning request for Community Church/Columbia Corp land development

I am a resident of Park Place. The tree line of cedars on the far side of the alleyway parallel to Park Place Blvd. (alongside the club house) serves as a valuable buffer between our neighborhood and the property in question. I request that this row of trees remain as part of the development plan for the new purchased property. This tree line provides privacy and beauty to our homes. I would also request that the tree line be extended all the way down the alley to benefit all the houses in this section.

Thank you,  
Cindy Jones  
411 Park Place Blvd.  
Rockwall, TX 75043  
(972) 754-9785

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

Case No. Z2022-055: Amendment to PD-87

Please place a check mark on the appropriate line below:

 I am in favor of the request for the reasons listed below. I am opposed to the request for the reasons listed below.

I am in favor of this request but I do not like the idea of  
Townhomes - If it has to be associated with Park Place  
I find that the townhomes will not enhance our neighborhood

Name:

Covine Moore

Address:

523 Park Place Blvd Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

2022-055

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I believe the church would be a neighbor

## Respondent Information

Please provide your information.

## First Name \*

David

Last Name \*

David, Sr.

Address \*

1020 Saint Charles Ct

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

72022-055

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I have been a Rockwall citizen since 1985 and was one of the first to build in the Park Place community (2009). I completely support the church's requests!

## Respondent Information

Please provide your information.

## First Name \*

Deanna

Last Name \*

Allison

Address \*

886 Ivy Lane

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: Through an email sent by our HOA.

This content is neither created nor endorsed by Google.

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-55

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

We can't think of a better Park Place neighbor than a church. Please approve the re-zoning request.

## Respondent Information

Please provide your information.

## First Name \*

Frosini

Last Name \*

Rubertino

Address \*

1048 Michael Gardens

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.

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# Zoning & Specific Use Permit Input Form

**Case Number \***

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-055

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I am in favor of the church building on this property

**Respondent Information**

Please provide your information.

**First Name \***

Glenda

Last Name \*

Denton

Address \*

1045 Ivy Ln

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-55

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I am in favor of the church.

## Respondent Information

Please provide your information.

## First Name \*

Jared

Last Name \*

Fecht

Address \*

1026 Ivy Ln.

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: I live in park place neighborhood

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-055

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I prefer a church rather than retail or light industrial as a neighbor.

## Respondent Information

Please provide your information.

## First Name \*

Joe

Last Name \*

Rubertino

Address \*

1048 Michael Gardens

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-55

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I couldn't think of a better neighbor than a church. I like the town house buffer and the pastors presented their plans at the HOA meeting which were very thought out in consideration of our neighborhood.

## Respondent Information

Please provide your information.

## First Name \*

Julie

Last Name \*

Fecht

Address \*

1026 Ivy Ln.

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

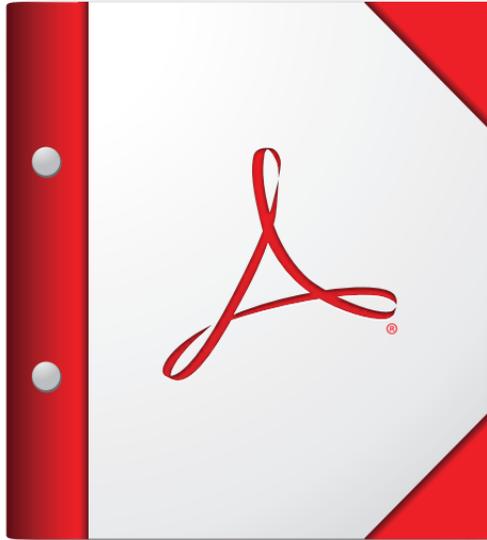
- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: I live in park place neighborhood

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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Acrobat X or Adobe Reader X, or later.**

[Get Adobe Reader Now!](#)

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-055

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I approve of the Church purchase, I believe it is a good use of the property. I am concerned for the privacy and traffic on Park Place Blvd as well as the community and traffic on Washington; particularly as the church grows. Please help secure options to reduce this concern. Thank you.

## Respondent Information

Please provide your information.

## First Name \*

Laura

Last Name \*

Podina

Address \*

1014 Saint Charles Ct

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-055

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I previously worked in economic development and think the plans for the church would be a great addition to the area. I love the Craftsman design of the buildings.

## Respondent Information

Please provide your information.

## First Name \*

Leanna

Last Name \*

Kimball

Address \*

602 Angela Crescent

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: I live in Park Place

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-055:

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Good project for this site.

## Respondent Information

Please provide your information.

## First Name \*

Michael

Last Name \*

Mishler

Address \*

1009 Ivy Lane

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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Case No. Z2022-055: Amendment to PD-87

Please place a check mark on the appropriate line below:

 I am in favor of the request for the reasons listed below. I am opposed to the request for the reasons listed below.

THIS CHURCH WILL BE A GREAT FIT FOR OUR  
NEIGHBORHOOD

Name: Robert + GAYLE BREWER

Address: 1004 MICHAEL GARDENS Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-055

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

## Respondent Information

Please provide your information.

## First Name \*

Robert & Sharon

Last Name \*

Garland

Address \*

1028 Michael Gardens

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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## Ross, Bethany

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**From:** Ronnie Howell <ronnie\_howell@yahoo.com>  
**Sent:** Wednesday, November 23, 2022 11:34 AM  
**To:** Planning  
**Subject:** case # Z2022-055

I won't to submit my approval for case Z2022-055.  
I live in Park Place and I am FOR the church being built next to our neighborhood.

434 Jordan Farm Circle

Thanks,  
**Ronnie Howell**  
Realtor  
Stewart Realty Group  
214-354-0450 (call or text)  
ronnie\_howell@yahoo.com

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-055

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

If we can't limit the zoning to office space, we would prefer to have a church next to our neighborhood vs. restaurants or other retail establishments.

## Respondent Information

Please provide your information.

## First Name \*

Russell and Cynthia

Last Name \*

Willman

Address \*

423 Jordan Farm Circle

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:  
Advised by HOA of the development. Also received emails from different neighbors in both support and opposition to the request.

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# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2022-055: Amendment to PD-87**

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Ryan Lewis and Scott Sutton of Crosspoint Community Church for the approval of a Zoning Change amending Planned Development District 87 (PD-87) [Ordinance No. 18-46] being a 16.26-acre tract of land identified as a Lot 1, Block 1, Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 87 (PD-87) for Single-Family 10 (SF-10) District, General Retail (GR) District and Light Industrial (LI) District land uses, located on the southside of E. Washington Street east of the intersection of Park Place Boulevard and E. Washington Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 13, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 19, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 19, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2022-055: Amendment to PD-87**

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

SPR PACKAGING IS OK WITH NEW DEVELOPMENT SUBJECT TO CONSTRUCTION OF ROAD ACCESS AS SHOWN IN OPTION 10 AND NEW EASEMENT AGREEMENT UNDER SAME CONDITIONS OF PREVIOUS ONE.

Name: SANTIAGO DIAZ

Address: 1480 JUSTIN RD, ROCKWALL TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-055

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

We are building a new home in Park Place and fully  
Support the addition of the Crosspoint church development.

## Respondent Information

Please provide your information.

## First Name \*

Tommy

Last Name \*

White

Address \*

743 Park Place Blvd

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: Bill Bricker notified us.

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-55

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Not in favor of any multi-story or huge parking garage or architecture design that does not fit the Park Place neighborhood.

## Respondent Information

Please provide your information.

## First Name \*

Barry

Last Name \*

Buchanan

Address \*

908 ivy Ln

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-055

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

This was voted down previously 7-0 due to safety concerns and traffic management. Nothing has changed, this should not be approved. The increased traffic will only decrease safety.

## Respondent Information

Please provide your information.

## First Name \*

Dennis

Last Name \*

Fox

Address \*

1012 Saint Thomas Ct.

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.

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# Zoning & Specific Use Permit Input Form

**Case Number \***

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-55

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

This request was previously denied by the P & Z and there have been no changes or modifications to their previous request. There is already high traffic on Washington and a dangerous blind corner where cars will enter and exit Washington onto the property where the church would be built. There will be a high increase in traffic and parking is already a problem at Harry Myers Park on weekends.

**Respondent Information**

Please provide your information.

**First Name \***

Dianna

Last Name \*

Munro-Johnson

Address \*

1035 St Thomas Ct

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
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Z2022-55

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

prefer to maintain residential

## Respondent Information

Please provide your information.

## First Name \*

don

Last Name \*

miller

Address \*

423 park place

City \*

rockwall

State \*

texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
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- My neighbors told me about the request.
- Other: .....

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Google Forms

**Lee, Henry**

---

**From:** Gary Houle <garyhoule@gmail.com>  
**Sent:** Wednesday, November 23, 2022 10:06 AM  
**To:** Planning  
**Subject:** Re-Zoning Case # Z2022-055

Regarding the re-zoning request in case number Z2022-055, we are opposed to the request. There is insufficient parking in the plan, Washington is too narrow to support the additional traffic and the light pollution and noise from the church will have a negative impact on the Park Place neighborhood and its residents. There is an over abundance of churches in the area and the infrastructure is not prepared to support yet another so close to so many others.

Thank you for your consideration,  
Gary Houle  
1040 Saint Charles Ct  
Rockwall, TX 75087

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

# Zoning & Specific Use Permit Input Form

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Z2022-055

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I feel that adding a church at the proposed location without increasing traffic capacity as a prerequisite will exacerbate an already unsafe section of Washington. The usage nature of a church will have high traffic in bursts that will also detract from the area. Noise from playgrounds and light from the parking lot will further negatively impact the neighborhood.

## Respondent Information

Please provide your information.

## First Name \*

Gary

Last Name \*

Houle

Address \*

1040 Saint Charles Ct

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

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- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-55

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I am Concerned about traffic congestion and noise that building a large church would bring to our neighborhood. Many people already use Park Place Blvd as a "cut-through" to get to the park. That practice would likely increase. Homes would be a better option on that property.

## Respondent Information

Please provide your information.

## First Name \*

Gayla

Last Name \*

Plunkett

Address \*

1000 Bow St

City \*

Rockwall

State \*

Tx

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.

Other: \_\_\_\_\_

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- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Adding a church with congregation & their weekly activities will increase traffic on Washington & Park Place Streets. Duncity has no immediate plans for Washington development. It is already traffic heavy making it unsafe to walk or cross the street to the park. Churches always grow their congregation.

Name: Gloria Troper

Address: 1007 W 1015 St. Charles Ct Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# Zoning & Specific Use Permit Input Form

**Case Number \***

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-55

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I believe traffic congestion will be a problem on the weekends. The main access is only a small, two way road. Events that are held from time to time tell us exactly what we will be facing every weekend. I have no objections to a small church going in with a limited congregation size. However, it does not appear to be the case in this instance.

**Respondent Information**

Please provide your information.

**First Name \***

Marilyn

Last Name \*

Joned

Address \*

1015 Michael Gardens

City \*

Rockwall

State \*

Texas

Zip Code \*

76087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
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- Other: .....

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-055

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

The feeder road, Washington, is not nearly adequate to handle all the excess traffic that will be generated by this project. It is a narrow, two way, two lane road that will be totally clogged as the hundreds of cars come and go on Sunday Services. There will be continuing activities during the week that will also strangle Washington. Also, Harry Meyers Park has several events through out the year that is open to the general public. These events usually involve Sunday festivities. How will the city handle parking for these activities while the church is having services at the same time? Much thought and research about this invitation to massive traffic congestion needs to take place before a final decision is made.

## Respondent Information

Please provide your information.

First Name \*

Mark

Last Name \*

Trosper

Address \*

1007 & 1015 Saint Charles Ct.

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
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- Other: .....

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Case No. Z2022-055: Amendment to PD-87

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.  
 I am opposed to the request for the reasons listed below.

TRAFFIC IS THE MAJOR CONCERN WITH THIS PROPOSAL. WASHINGTON IS A TWO WAY, TWO LANE ROAD THAT IS NOT CAPABLE OF HANDLING AN EXPONENTIAL INCREASE IN TRAFFIC THAT THIS WOULD NO DOUBT CREATE. THE CITY MUST UPGRADE THE INFRASTRUCTURE BEFORE THIS CAN HAPPEN!

Name: MARK TROSPER

Address: 1007 & 1015 St Charles Ct Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

### Z2022-055: Amendment to PD-87

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Ryan Lewis and Scott Sutton of Crosspoint Community Church for the approval of a Zoning Change amending Planned Development District 87 (PD-87) [Ordinance No. 18-46] being a 16.26-acre tract of land identified as a Lot 1, Block 1, Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 87 (PD-87) for Single-Family 10 (SF-10) District, General Retail (GR) District and Light Industrial (LI) District land uses, located on the southside of E. Washington Street east of the intersection of Park Place Boulevard and E. Washington Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 13, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 19, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 19, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

### Case No. Z2022-055: Amendment to PD-87

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.  
 I am opposed to the request for the reasons listed below.

For the record:

**Please answer the following in your decision process.**

**WHY was it originally zoned with a no church restriction. What has changed in our own PZ master plan to say it is OK now but was intentionally restricted?**

**Can the church build a school, day care center on site adding to more peak traffic flows?**

The Church says they intend to build or sell the PLOT 1 for townhomes on the WEST side. What quality? and what use? what guarantees they will hold to their "promise" to add to PP HOA incorporation and meet their standards?

Name: Michael Rasmussen

Address: 507 Park Place Blvd, Rockwall TX

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

7022-055

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I have concerns over the amount of traffic it may bring into our neighborhood at Park Place with people using Park Place as a through way. We have a 2-lane road on Washington which will not accommodate a lot of traffic. I also am concerned on the amount of "lighting" a church parking lot can generate. Its offensive in my opinion.

## Respondent Information

Please provide your information.

## First Name \*

Richard

Last Name \*

HURST

Address \*

1017 Bow Street

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

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## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-55

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

## Respondent Information

Please provide your information.

## First Name \*

Ron

Last Name \*

Jones

Address \*

1015 Michael Gardens

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
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Z2022-055

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

We do not feel that Washington is wide enough to accommodate church and townhome traffic while still allowing those of us who live in Park Place to come and go from our homes. We are members of Lakepointe Church and will be the first to say that traffic congestion is very bad on days and nights when there are Church functions. That is with many more ways to get to the church and wider streets. The only access here would be a two lane winding road or directly through our neighborhood. We feel that the original zoning is more appropriate for the area.

## Respondent Information

Please provide your information.

First Name \*

Ronald

Last Name \*

Jones

Address \*

1015 Michael Gardens

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
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# PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

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As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 19, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

### Case No. Z2022-055: Amendment to PD-87

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

1) We have serious traffic and safety concerns for Washington Ave. TXDOT has no future plans to widen Washington Ave, and we feel this street cannot handle the Church Volume. 2) PD already excluded church on this land. 3) non tax for church vs Commercial use. 4) P+2 denied in July 5) Not part of Rockwall Comprehensive Plan or open space initiative  
Name: Tim Taylor + Judy Dubreuil  
Address: 1023 Saint Thomas Ct Rockwall TX, 75082

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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July 26, 2022

Rockwall Planning and Zoning Department  
385 S Goliad St.  
Rockwall, TX 75087

To the Planning and Zoning Department,

The Park Place West HOA and it's members are in receipt of the notice of Zoning Change at 1200 E Washington St. Rockwall, Texas 75087. The membership was notified by the HOA and has had an open meeting with Bill Bricker, Applicant, Dub Douphrate, the Project Engineer and principal leaders of Crosspoint Church, the ultimate end user.

All questions were answered professionally and satisfactorily. The Board of Park Place West HOA has voted, based upon member input, to express support of the application.

The HOA feels this is a good fit for themselves, the church and the City of Rockwall.

Respectfully submitted,

David David  
VP Park Place West HOA

IT'S A DREAM COME TRUE.

[www.parkplacerockwall.com](http://www.parkplacerockwall.com) • [info@parkplacerockwall.com](mailto:info@parkplacerockwall.com)

1/6/2022

Memorandum

To: Ryan Miller, AICP  
Director of Planning  
City of Rockwall

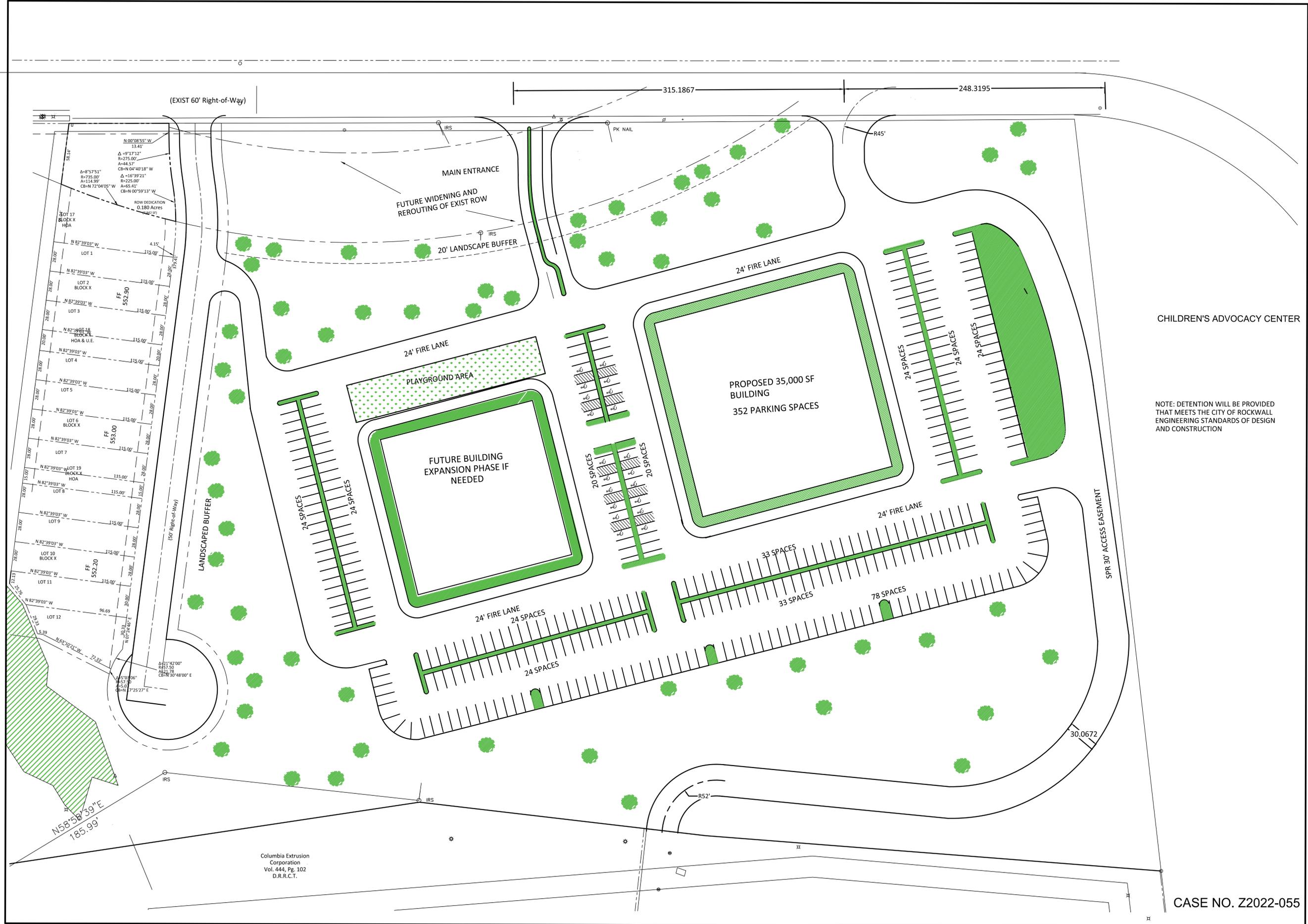
From: Dub Douphrate

Re: 14.93 Acres on Washington Blvd Amendment to the PD 87 Zoning

On behalf of the new owner, Crosspoint Community Church, the 14.93-acre tract of land identified as Lot 1, Block 1, being a replat of a part of the Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, Crosspoint Community Church is seeking the approval of a Zoning Change, amending Planned Development 87 (PD-87) [Ordinance No. 18-46] to include allowing Church Use on the property.

Thanks  
Dub Douphrate

Cc: Ryan Lewis  
Scott Sutton



(EXIST 60' Right-of-Way)

MAIN ENTRANCE  
FUTURE WIDENING AND  
REROUTING OF EXIST ROW

20' LANDSCAPE BUFFER

24' FIRE LANE

PLAYGROUND AREA

FUTURE BUILDING  
EXPANSION PHASE IF  
NEEDED

PROPOSED 35,000 SF  
BUILDING  
352 PARKING SPACES

24 SPACES

24 SPACES

20 SPACES

20 SPACES

24' FIRE LANE

24 SPACES

24 SPACES

33 SPACES

33 SPACES

78 SPACES

24' FIRE LANE

24 SPACES

24 SPACES

24 SPACES

SPR 30' ACCESS EASEMENT

CHILDREN'S ADVOCACY CENTER

NOTE: DETENTION WILL BE PROVIDED  
THAT MEETS THE CITY OF ROCKWALL  
ENGINEERING STANDARDS OF DESIGN  
AND CONSTRUCTION

(50' Right-of-Way)

Columbia Extrusion  
Corporation  
Vol. 444, Pg. 102  
D.R.R.C.T.

CASE NO. Z2022-055



THE SEAL APPEARING ON THIS  
DOCUMENT WAS AUTHORIZED BY  
W.L. DOUPHRATE, P.E. TEXAS P.E.  
LICENSE NO. 80102, ISSUED ON  
DATE: JULY 9, 2022

DOUPHRATE  
& ASSOCIATES, INC.  
ENGINEERING PROJECT MANAGEMENT SURVEYING  
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087  
PHONE: (972)771-9004 FAX: (972)771-9005

CONCEPT PLAN  
CROSSPOINT COMMUNITY CHURCH  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

REVISION	W.L.D.
CHECKED	G.C.W.
DRAWN	
SCALE	1" = 40' H 1" = 40' V
DATE	JUNE 20, 2022
PROJECT	22023 SITE FL
	20



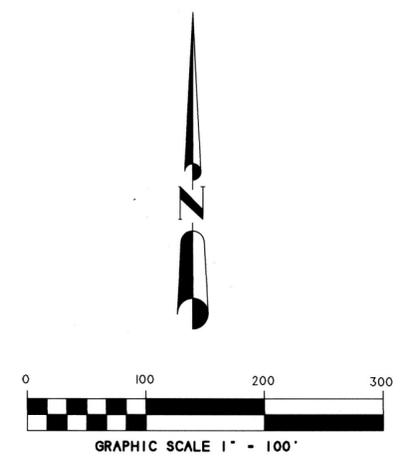
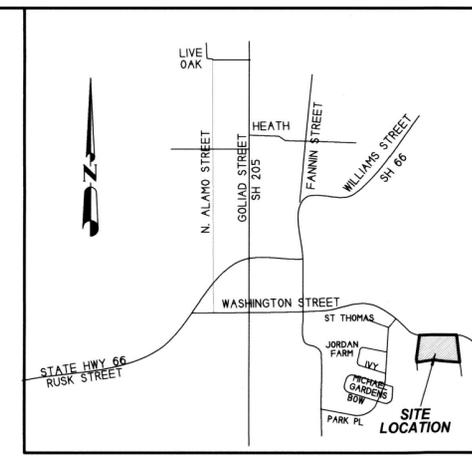
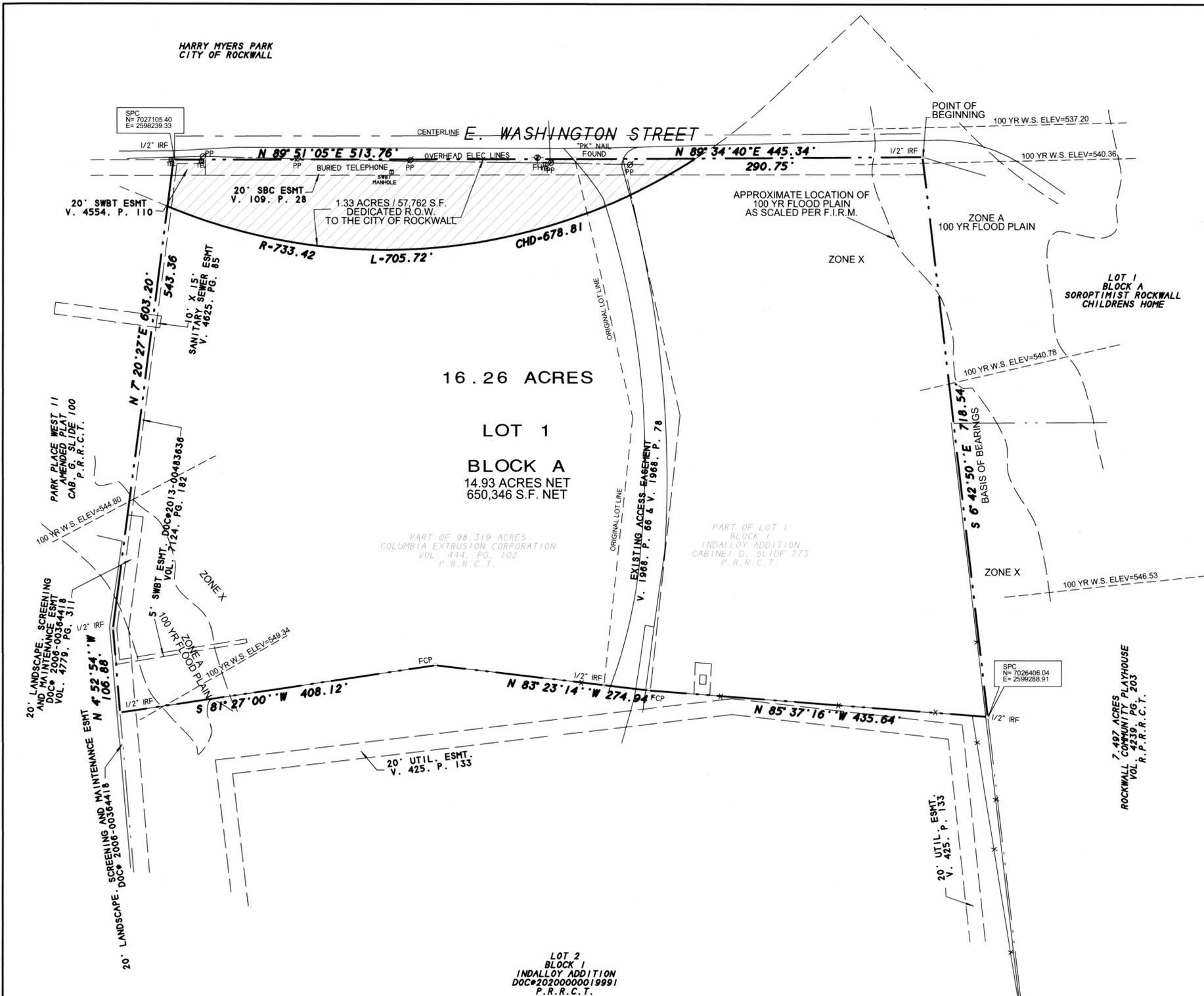
  
**CROSSPOINT**  
- COMMUNITY CHURCH -



  
**CROSSPOINT**  
- COMMUNITY CHURCH -



  
**CROSSPOINT**  
- COMMUNITY CHURCH -



CONVEYANCE PLAT  
**PARK STATION**  
**LOT 1, BLOCK A**

16.26 ACRES 708,108 S.F.  
 1 LOT

BEING A REPLAT OF  
 PART OF INDALLOY ADDITION AND  
 TRACT 31 OF 98.319 ACRES TRACT  
 R. BALLARD SURVEY, ABSTRACT NO. 29  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

SYMBOL LEGEND	
(C)	CONCRETE
(O)	WOOD
(S)	STEEL
(F)	FOUNDATION
(P)	PIPE
(E)	ELECTRICAL
(T)	TELEPHONE
(W)	WATER
(G)	SEWER
(R)	RAILROAD
(B)	BARRIER
(L)	LANDSCAPE
(M)	MANHOLE
(V)	VALVE
(D)	DRAINAGE
(I)	IRREGULAR
(A)	ADJUSTMENT
(N)	NONE

OWNER:  
 COLUMBIA EXTRUSION CORPORATION  
 BILL BRICKER  
 305 PARK PLACE BOULEVARD  
 ROCKWALL, TEXAS 75087

**H.D. Fetty Land Surveyor, LLC**  
 Firm Registration no. 101509-00  
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE: JUNE 2022  
 SCALE: 1" = 100' FILE # 20140274-RP  
 CLIENT: CDC, LLC GF# NONE

CURVE DATA TABLE

CURVE	CENTRAL ANGLE	RADIUS	TANGENT	ARC LENGTH	CHORD	CHORD BEARING
C-1	55°07'56"	733.42'	382.87'	705.72'	678.81'	S 84°14'49"W

- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zones A & X. Part of this property does appear to lie within a 100-year flood plain.
  - 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
  - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
  - 4) Property owners are responsible for maintenance, repair and replacement of all retaining walls, the HOA and the owner are responsible for drainage and detention systems in easements.



CITY OF ROCKWALL

ORDINANCE NO. 18-46

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A LIGHT INDUSTRIAL (LI) DISTRICT TO PLANNED DEVELOPMENT DISTRICT 87 (PD-87) FOR TOWNHOMES, COMMERCIAL/RETAIL, AND LIGHT INDUSTRIAL LAND USES ON THE SUBJECT PROPERTY, BEING A 16.26-ACRE TRACT OF LAND IDENTIFIED AS LOT 1, BLOCK 1, INDALLOY ADDITION AND TRACT 31 OF THE R. BALLARD SURVEY, ABSTRACT NO. 29, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by the applicant Bill Bricker on behalf of the owner, Columbia Development Company, LLC, for the approval of a zoning change from a Light Industrial (LI) District to a Planned Development District for the purpose of establishing commercial/retail, light industrial, and townhome land uses on a 16.26-acre tract of land identified as Lot 1, Block 1, Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1100 & 1300 E. Washington Street and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future;

**SECTION 2.** That development of the *Subject Property* shall be in accordance with the *Planned Development Concept Plan*, contained in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall be in accordance with the *Development Standards*, described in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That a preliminary plat for the entire *Subject Property* -- as depicted in *Exhibits 'C' & 'D'* of this ordinance -- shall be submitted prior to any other submittal for any portion of the *Subject Property*.

**SECTION 5.** That development of *Tract 1* of the *Subject Property* -- as depicted in Exhibits 'C' & 'D' of this ordinance -- shall be in conformance with the schedule listed below (except as set forth below with regard to simultaneous processing and approvals).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [including Subsections 5(b) through 5(d) below], shall be the exclusive procedures applicable to the subdivision and platting of *Tract 1* as depicted in Exhibits 'C' & 'D' of this ordinance.
- (b) The following plans and plats shall be required in the order listed below (except as set forth below with regard to simultaneous processing and approvals). If required, the City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in Section 212.009 of the *Texas Local Government Code*.
  - (1) PD Site Plan
  - (2) Final Plat
- (c) *PD Site Plan.* A *PD Site Plan* covering all of *Tract 1* as depicted in Exhibit 'B' of this ordinance shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat Application* after engineering approval.
- (d) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, for all of *Tract 1* as depicted in Exhibits 'C' & 'D' of this ordinance shall be submitted for approval.

**SECTION 6.** That development of *Tracts 2, 3, 4 & 5* of the *Subject Property* -- as depicted in Exhibits 'C' & 'D' of this ordinance -- shall be in conformance with the procedures set forth in the Unified Development Code [Ordinance No. 04-38];

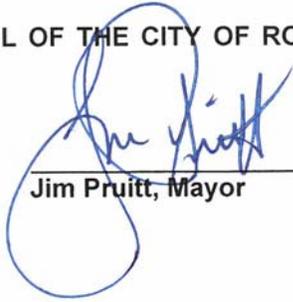
**SECTION 7.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 8.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

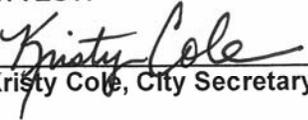
**SECTION 9.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 10. That this ordinance shall take effect immediately from and after its passage;

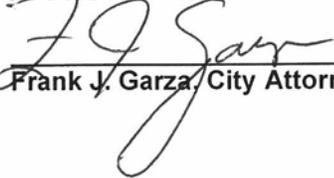
PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS  
THE 19<sup>TH</sup> DAY OF NOVEMBER, 2018.

  
\_\_\_\_\_  
Jim Pruitt, Mayor

ATTEST:

  
\_\_\_\_\_  
Kristy Cole, City Secretary

APPROVED AS TO FORM:

  
\_\_\_\_\_  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: November 5, 2018

2<sup>nd</sup> Reading: November 19, 2018

**Exhibit 'A':**  
*Legal Description*

All that certain lot, tract or parcel of land situated in the *R. BALLARD SURVEY, ABSTRACT NO. 29*, City of Rockwall, Rockwall County, Texas, and being a part of Lot 1, Block 1, *INDALLOY ADDITION*, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet D, Slide 273 of the Plat Records of Rockwall County, Texas, and also being a part of a 98.319 acres tract of land as described in a Warranty deed from Alumax Aluminum Corporation to Columbia Extrusion Corporation, dated December 22, 1988 and being recorded in Volume 444, Page 102 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2" iron rod found for corner at the northeast corner of said Lot 1, Block 1, said point being in the south right-of-way line of E. Washington Street;

*THENCE* S. 06 deg. 42 min. 50 sec. E. along the east boundary line of Lot 1, a distance of 718.54 feet to a 1/2" iron rod found for corner;

*THENCE* N. 85 deg. 37 min. 16 sec. W. a distance of 435 .64 feet to a 1/2" iron rod found for corner on the West boundary line of said Lot 1, Block 1;

*THENCE* N. 83 deg. 23 min. 14 sec. W. a distance of 274.94 feet to a 1/2" iron rod found for corner;

*THENCE* S. 81 deg. 27 min. 00 sec. W. a distance of 408.12 feet to a Y," iron rod found for corner in the east boundary line of *PARK PLACE WEST II*, according to the Amended plat thereof recorded in Cabinet G, Slide 100, of the Plat Records of Rockwall County, Texas;

*THENCE* N. 04 deg. 52 min. 54 sec. W. along said addition, a distance of 106.88 feet to a W' iron rod found for corner;

*THENCE* N. 07 deg. 20 min. 27 sec. E. along said addition, a distance of 603.20 feet to a W' iron rod found for corner in the south line of E. Washington Street;

*THENCE* N. 89 deg. 51 min. 05 sec. E. along the south line of said street, a distance of 513.76 feet to a P-K nail found for corner at the northwest corner of said Lot 1, Block 1;

*THENCE* N. 89 deg. 34 min. 40 sec. E. along the south line of said street and north line of said Lot 1, a distance of 445.34 feet to the *POINT OF BEGINNING* and containing 16.26 acres of land.

**Exhibit 'B':  
Survey**

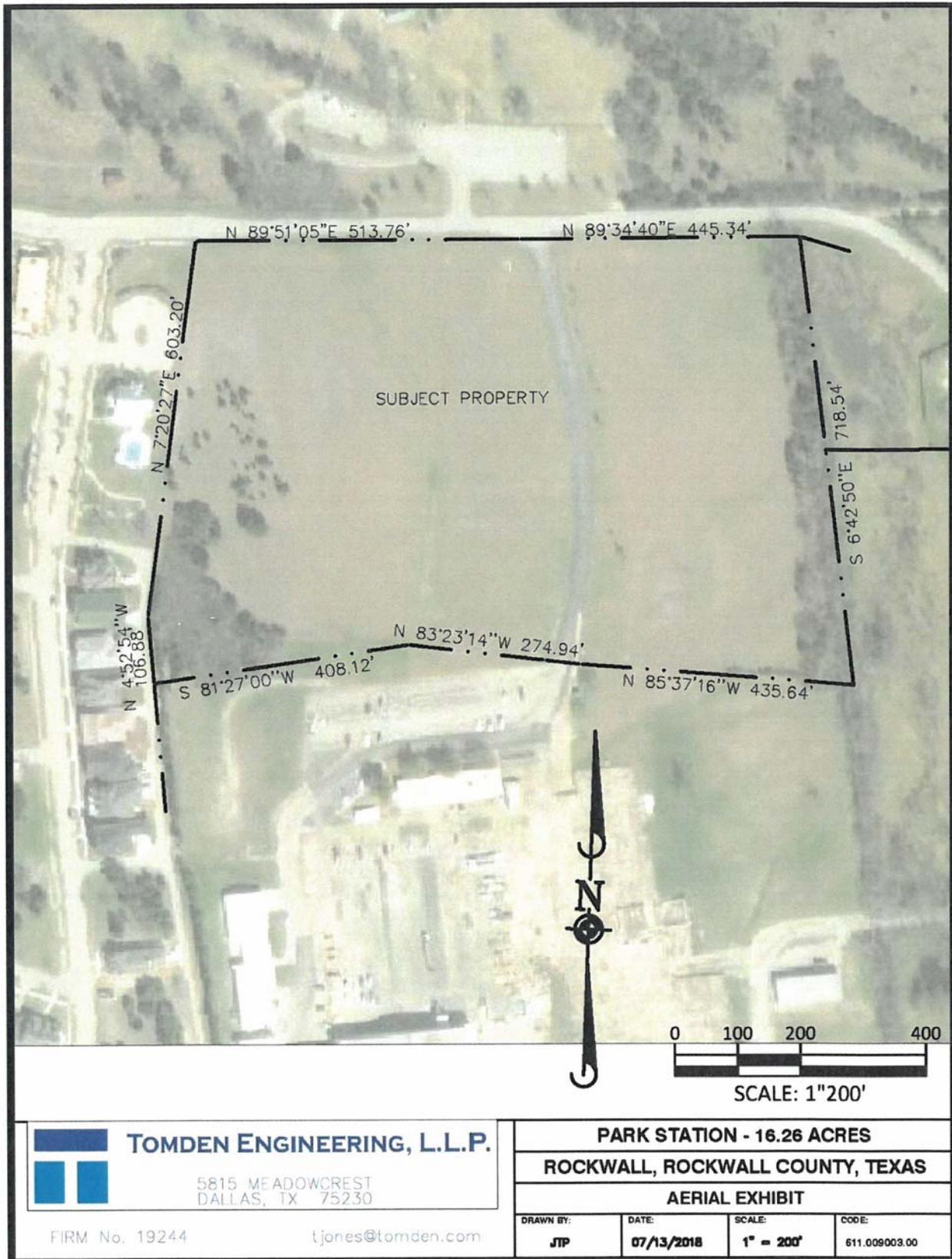
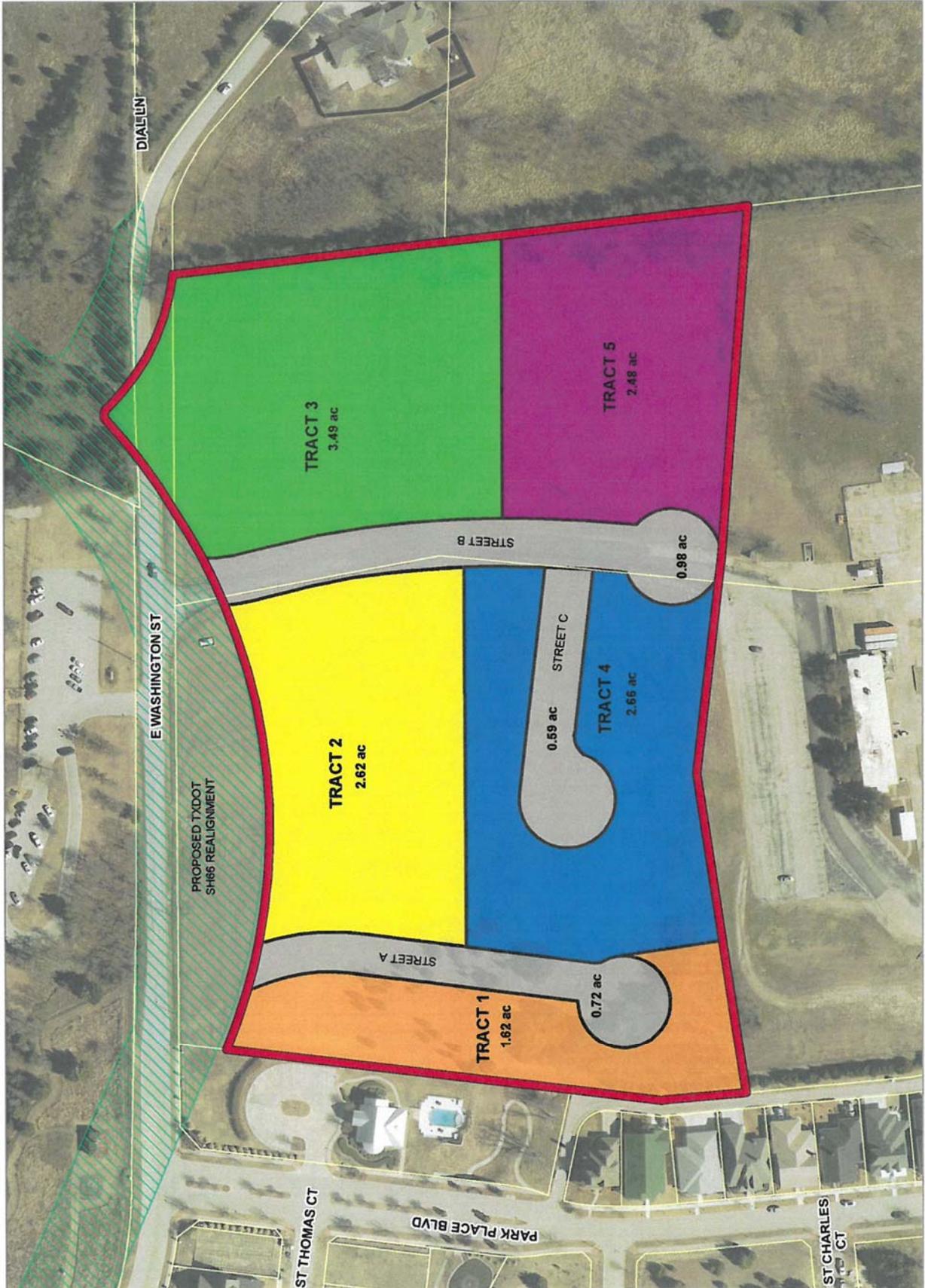


Exhibit 'C':  
Area Map





**Exhibit 'E':**  
*PD Development Standards*

Tracts 1-5 (16.26-Acres): Development Standards for all Tracts

- (1) *Landscaping Standards.*
  - (i) *Landscape Requirements.* Landscaping shall be reviewed and approved with a *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of three (3) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height.
  - (ii) *Landscape Buffers (Streets A, B, & C and Other Streets).* A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of *Streets A, B & C* as depicted in *Exhibit 'D'* of this ordinance, and shall incorporate a minimum of one (1) canopy tree per 50-feet of linear frontage unless otherwise specified in this ordinance. Any streets added to the subject property that are not depicted on the Concept Plan in *Exhibit 'D'* of this ordinance or referenced in *Exhibit 'E'* of this ordinance shall also be subject to this requirement.
  - (iii) *Landscape Buffer and Sidewalks (SH-66/SH-66 Right-of-Way).* A minimum of a 20-foot landscape buffer shall be provided along the future right-of-way for SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees shall be planted per 100-feet of linear frontage.
  - (iv) *Landscape Buffer (Adjacent to Residential).* A minimum of a 20-foot landscape buffer shall be provided along the western boundary of *Tracts 2 & 4 (i.e. areas adjacent to residential land uses)*. The landscape buffer shall incorporate a combination of shrubbery and ground cover along the entire length of the adjacency for the purpose of screening the commercial areas from the residential areas without using a physical barrier. In addition, the landscape buffer shall incorporate canopy trees planted on 20-foot centers along the entire length of the adjacency. *Tract 4* shall also incorporate a minimum of a six (6) foot wrought iron fence in the required landscape buffer.
  - (v) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect.
- (2) *Washington Street.* The applicant shall not be responsible for upgrading E. Washington Street to a M4U (*major collector, four [4] lane, undivided roadway*) as shown on the Master Thoroughfare Plan in the Comprehensive Plan.
- (3) *Buried Utilities.* New transmission and distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. The *Developer* shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property* as long as these lines remain in their current pre-developed state. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

**Exhibit 'E':**  
*PD Development Standards*

- (4) *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code [*Ordinance No. 04-38*] shall apply to any application for variances to any provisions of this ordinance.

*Tract 1: Townhomes (2.38-Acres)*

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, *Tract 1* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the land uses permitted for the Single Family 10 (SF-10) District as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following conditions shall apply:

The following land uses shall be permitted on the *Tract 1* in addition to the land uses permitted in the Single Family 10 (SF-10) District:

- Townhomes

However, the following land uses shall be expressly prohibited on *Tract 1*:

- Accessory Building
- Guest Quarters/Secondary Living Unit
- Portable Buildings
- Church/House of Worship
- Day Care
- Private or Public School
- Railroad Yard or Shop

- (2) *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development ordinance, *Tract 1* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the development standards for the Single Family 10 (SF-10) District as stipulated by Article V, *District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future. The maximum permissible density for the *Subject Property* shall not exceed 5.10 dwelling units per gross acre of land; however, in no case should the proposed development exceed 12 dwelling units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

*Table 2: Lot Dimensional Requirements*

<i>Minimum Lot Width</i> <sup>(1)</sup>	28'
<i>Minimum Lot Depth</i>	115'
<i>Minimum Lot Area</i>	3,000 SF
<i>Minimum Front Yard Setback</i> <sup>(2) &amp; (4)</sup>	20'
<i>Minimum Side Yard Setback</i>	0'
<i>Minimum Distance Between Buildings</i>	10'
<i>Minimum Length of Driveway Pavement</i>	20'
<i>Maximum Height</i> <sup>(3)</sup>	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	10'
<i>Minimum Area/Dwelling Unit (SF) [Air Conditioned Space]</i>	1,400 SF
<i>Garage Orientation</i>	<i>Rear Entry</i>
<i>Maximum Number of Attached Units Per Buildings</i>	5 Units
<i>Maximum Lot Coverage</i>	75%

*General Notes:*

<sup>1</sup>: The minimum lot width shall be measured at the *Front Yard Building Setback*.

<sup>2</sup>: The location of the *Front Yard Building Setback* as measured from the front property line.

**Exhibit 'E':**  
*PD Development Standards*

- <sup>3</sup>: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>4</sup>: Porches, stoops, bay windows, balconies, eaves and similar architectural features may encroach beyond the *Front and Rear Yard Building Setbacks* by up to five (5) feet for any property; however, the encroachment shall not exceed three (3) feet on *Side Yard Setbacks* where appropriate for such use and shall not encroach into public right-of-way.

- (3) *Garage Orientation.* All garages are required to be rear entry (*i.e. access from Road 'A'*) and shall generally conform to the Concept Plan depicted in *Exhibit 'D'* of this ordinance (*i.e. the Townhomes will front towards the Park Place Subdivision*).
- (4) *Building Standards.* The building elevations shall generally conform to the *Conceptual Building Elevations* depicted in *Exhibit 'F'* of this ordinance; however, all development shall adhere to the following building standards:
- (i) *Masonry Requirements.* The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (*e.g. HardiBoard or Hardy Plank*) and/or similar cementaceous products may be used for up to 100% of the exterior of the building pending conformance with the anti-monotony restrictions outlined in this ordinance. Stucco (*i.e. three [3] part stucco or similar*) shall be prohibited.
  - (ii) *Roof Design Requirements.* All buildings shall be designed such that no roof mounted mechanical equipment (*i.e. HVAC, satellite, vents, etc.*) shall be visible from any direction. *Note: Screening of mechanical equipment is necessary for all equipment regardless of location (i.e. roof mounted, ground mounted, or otherwise attached to the building and/or located on the site).*
  - (iii) *Architectural Requirements.* All units shall be architecturally finished on all sides of the building that are visible from a public right-of-way or open space with the same materials, detailing and features.
- (5) *Anti-Monotony Restrictions.* The development shall generally conform to development scheme portrayed in the *Conceptual Building Elevations* depicted in *Exhibit 'F'* of this ordinance; however, all development shall adhere to the following anti-monotony restrictions:
- (i) Identical brick blends and paint colors may not occur on adjacent (*i.e. side-by-side*) properties within the development without at least two (2) intervening townhomes of differing materials on the same side of the adjacent townhome beginning with the adjacent property.
  - (ii) Front building elevations shall not repeat along any block face without at least two (2) intervening homes of differing appearance on the same block face within the development.
  - (iii) The rear elevation of the homes, backing to the public right-of-way (*i.e. Street A*), shall not repeat without at least two (2) (*i.e. side-by-side*) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
    - a) Front Encroachment (*i.e. Porch and/or Sunroom*) Type and Layout
    - b) Roof Type and Layout
    - c) Articulation of the Front Façade
    - d) Differing Primary Exterior Materials
- (6) *Sidewalks.* The sidewalk adjacent to *Road 'A'* as depicted in *Exhibit 'D'* of this ordinance shall be constructed adjacent to the roadway with the exception of the area directly adjacent to the

**Exhibit 'E':**  
*PD Development Standards*

townhomes. In this area the sidewalk may be deviated to run in between the western property line of the *Subject Property* and the front facades of the townhomes. Where the sidewalk is on private property it shall be in a *pedestrian access easement*.

- (7) *Fence Standards.* All fences shall be required to be wrought iron or a tubular steel fence. Wrought iron/tubular steel fences shall be a minimum of four (4) feet in height; however, may not exceed a maximum of eight (8) feet in height.
- (8) *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the *Municipal Code of Ordinances* of the City of Rockwall. As an alternative -- *and pending the approval of an adjacent HOA* --, this property can be incorporated into an existing HOA. The HOA shall also maintain all neighborhood parks, open space and common areas, irrigation, landscaping, screening fences and the private roadway, drive aisles and drive approaches for the subject property associated with this development.

*Tracts 2 & 3: Commercial/Retail (6.33-Acres)*

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, *Tracts 2 & 3* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the land uses permitted for the General (GR) District as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following conditions shall apply:

The following land uses shall be expressly prohibited on *Tracts 2 & 3*:

- Convent or Monastery
- Hotel or Motel
- Residence Hotel
- Cemetery/Mausoleum
- Church/House of Worship
- Convalescent Care Facility/Nursing Home
- Emergency Ambulance Services (*Ground*)
- Hospital
- Mortuary or Funeral Chapel
- Social Service Provider
- Billiard Parlor or Pool Hall
- Carnival, Circus, or Amusement Ride
- Commercial Amusement/Recreation (*Outside*)
- Golf Driving Range
- Astrologer, Hypnotist, or Psychic Art and Science
- Night Club, Discotheque, or Dance Hall
- Secondhand Dealer
- Auto Repair Garage (*Minor*)
- Car Wash/Auto Detail
- Car Wash (*Self Service*)
- Retail Store with Gasoline Product Sales (*Any Amount of Dispensers*)
- Service Station
- Mining and Extraction (*Sand, Gravel, Oil & Other*)
- Helipad
- Railroad Yard or Shop
- Transit Passenger Facility

- (2) *Density and Dimensional Requirements.* Any development on *Tracts 2 & 3* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the development standards required for

**Exhibit 'E':**  
*PD Development Standards*

properties in a General Retail (GR) District as stipulated by Article V, *District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future.

Tracts 4 & 5: Light Industrial (6.22-Acres)

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, *Tracts 4 & 5* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the land uses permitted for the Light Industrial (LI) District as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following conditions shall apply:

The following land uses shall be expressly prohibited on the *Tracts 4 & 5*:

- Animal Shelter
- Hotel or Motel
- Residence Hotel
- Cemetery/Mausoleum
- Church/House of Worship
- Crematorium (*Stand Alone*)
- Emergency Ambulance Services (*Ground*)
- Mortuary or Funeral Chapel
- Prison/Custodial Institution
- Rescue Mission or Shelter for the Homeless
- Social Service Provider
- Billiard Parlor or Pool Hall
- Carnival, Circus, or Amusement Ride
- Commercial Amusement/Recreation (*Outside*)
- Golf Driving Range
- Private Sports Arena, Stadium or Track
- Night Club, Discotheque, or Dance Hall
- Secondhand Dealer
- Car Wash (*Self Service*)
- Building & Landscape Material with Outside Storage
- Building & Landscape Material with Limited Outside Storage
- Building Maintenance, Service & Sales with Outside Storage
- Commercial Cleaners
- Food Processing
- Heavy Machinery & Equipment (Rental, Sales & Service)
- Motor Vehicle Dealership (*New or Used*)
- Recreation Vehicle Sales
- Service Station
- Towing & Impound Yard
- Truck Rental
- Truck Stop with Fuel and Accessory Services
- Asphalt or Concrete Batch Plant
- Environmentally Hazardous Materials
- Food Processing (*No Slaughtering*)
- Heavy Manufacturing
- Metal Plating/Electro Plating
- Mining and Extraction (*Sand, Gravel, Oil & Other*)
- Salvage or Reclamation of Products (*Indoors or Outdoors*)
- Heavy Construction Trade Yard
- Outside Storage and/or Outside Display
- Bus Charter Service & Service Facility

**Exhibit 'E':**  
*PD Development Standards*

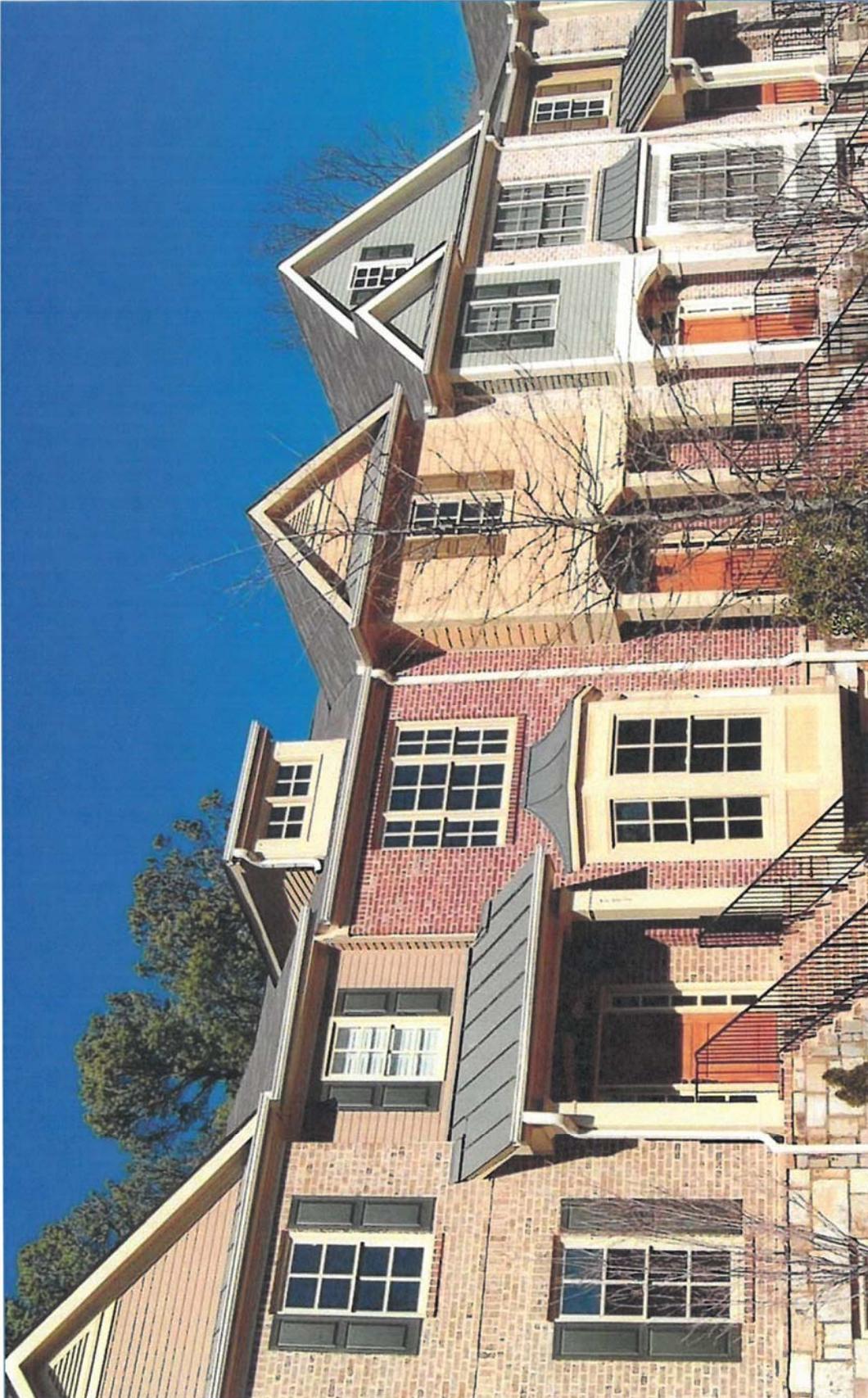
- Airport, Heliport or Landing Field
- Railroad Yard or Shop
- Transit Passenger Facility

The following land uses shall be permitted by Specific Use Permit (SUP) on the *Tracts 4 & 5*:

- Auto Repair Garage (*Minor*)
- Auto Repair Garage (*Major*)
- Mini-Warehouse

- (2) *Density and Dimensional Requirements.* Any development on *Tracts 4 & 5* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the development standards required for properties in a Light Industrial (LI) District as stipulated by Article V, *District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future.

**Exhibit 'F':**  
*Conceptual Townhome Elevations*

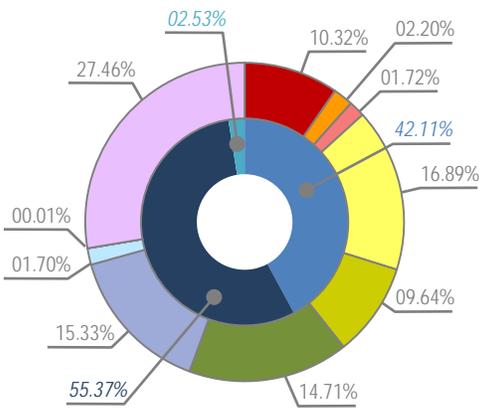


# 01 CENTRAL DISTRICT DISTRICT STRATEGIES

## DISTRICT DESCRIPTION

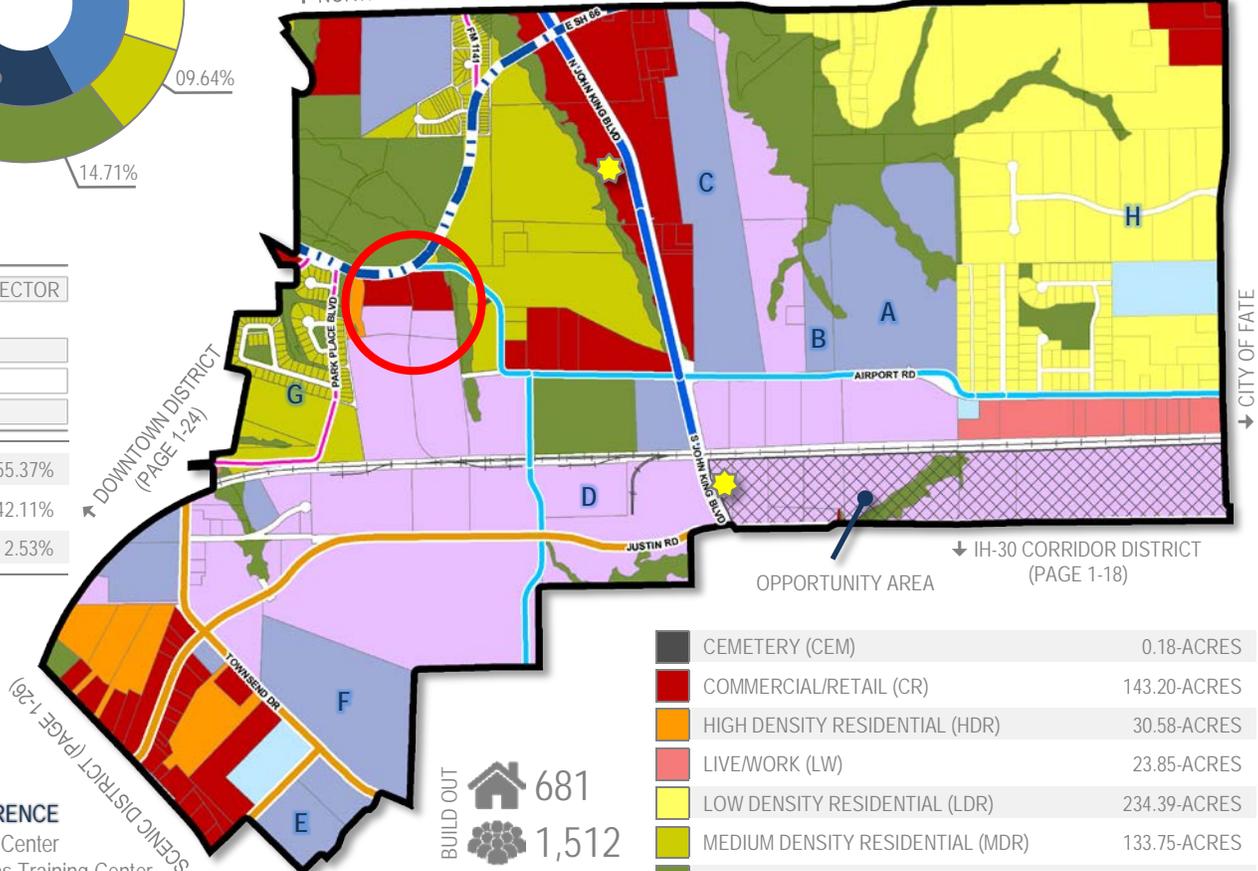
The *Central District* is composed of a wide range of land uses that vary from single-family to industrial. The district's residential areas consist of suburban residential (e.g. *Park Place*), estate and rural residential (e.g. *Rolling Meadows Subdivision*), and higher density residential developments (e.g. *Evergreen Senior Living*). The *Central District* also incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Rail Road* line that bisects the district -- and *City* -- in an east/west direction. The *Ralph Hall Municipal Airport* and several other large public/school facilities are also located within the boundaries of this district.

 John King Boulevard Trail Plan  
Rest Stop/Trailblazer Pylon



Line Style	Category	Percentage
Thin solid line	MINOR COLLECTOR	
Thick solid line	M4U	
Thick dashed line	M4D	
Thick solid line	P6D	
Thick solid line	TXDOT 4D	
Dark blue box	COMMERCIAL	55.37%
Light blue box	RESIDENTIAL	42.11%
Light green box	MIXED USE	2.53%

↑ NORTHWEST RESIDENTIAL DISTRICT (PAGE 1-25)    ↑ NORTHEAST RESIDENTIAL DISTRICT (PAGE 1-23)



Color	Category	Acres
Dark grey	CEMETERY (CEM)	0.18-ACRES
Red	COMMERCIAL/RETAIL (CR)	143.20-ACRES
Orange	HIGH DENSITY RESIDENTIAL (HDR)	30.58-ACRES
Light red	LIVE/WORK (LW)	23.85-ACRES
Yellow	LOW DENSITY RESIDENTIAL (LDR)	234.39-ACRES
Light green	MEDIUM DENSITY RESIDENTIAL (MDR)	133.75-ACRES
Dark green	PARKS AND OPEN SPACE (OS)	204.05-ACRES
Light blue	PUBLIC (P)	212.77-ACRES
Light purple	QUASI-PUBLIC (QP)	23.65-ACRES
Dark purple	SPECIAL COMMERCIAL CORRIDOR (SC)	0.08-ACRES
Light pink	TECHNOLOGY/EMPLOYMENT CENTER (TEC)	381.07-ACRES

## POINTS OF REFERENCE

- A. Animal Adoption Center
- B. Regional Firearms Training Center
- C. Ralph Hall Municipal Airport
- D. Leon Tuttle Athletic Complex
- E. Rockwall County Courthouse
- F. Utley Middle School
- G. Park Place Subdivision
- H. Rolling Meadows Subdivision

**BUILD OUT**

-  681
-  1,512

**% OF ROCKWALL**

-  1.10%
-  3.91%
-  0.82%

**CURRENT**

-  220
-  71
-  488

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 87 (PD-87) [ORDINANCE NO. 18-46] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO AMEND THE PLANNED DEVELOPMENT CONCEPT PLAN AND DEVELOPMENT STANDARDS APPROVED WITH ORDINANCE NO. 18-46, BEING A 16.26-ACRE TRACT OF LAND IDENTIFIED AS LOT 1, BLOCK 1, INDALLOY ADDITION AND TRACT 31 OF THE R. BALLARD SURVEY, ABSTRACT NO. 29, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Dub Douphrate of Douphrate and Associates on behalf of Bill Bricker of Columbia Development Company, LLC, for of an amendment to Planned Development District 87 (PD-87) [Ordinance No. 18-46] being a 16.26-acre tract of land identified as Lot 1, Block 1, Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 87 (PD-87) for Single-Family 10 (SF-10) District, General Retail (GR) District and Light Industrial (LI) District land uses, located on the southside of E. Washington Street east of the intersection of Park Place Boulevard and E. Washington Street and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 87 (PD-87) [Ordinance No. 18-46] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated by *Ordinance No. 18-46*;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future;

**SECTION 3.** That development of the *Subject Property* shall be in accordance with the *Planned Development Concept Plan*, contained in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of the *Subject Property* shall be in accordance with the *Development Standards*, described in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 5.** That a preliminary plat for the entire *Subject Property* -- as depicted in *Exhibits 'B' & 'C'* of this ordinance -- shall be submitted prior to any other submittal for any portion of the *Subject Property*.

**SECTION 6.** That development of *Tract 1* of the *Subject Property* -- as depicted in *Exhibits 'B' & 'C'* of this ordinance -- shall be in conformance with the schedule listed below (except as set forth below with regard to simultaneous processing and approvals).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [including Subsections 6(b) through 6(d) below], shall be the exclusive procedures applicable to the subdivision and platting of *Tract 1* as depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (b) The following plans and plats shall be required in the order listed below (except as set forth below with regard to simultaneous processing and approvals). If required, the City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) PD Site Plan/Open Space Master Plan
  - (2) Final Plat
- (c) *PD Site Plan/Open Space Master Plan.* A *PD Site Plan/Open Space Master Plan* covering all of *Tract 1* as depicted in *Exhibit 'C'* of this ordinance shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat Application* after engineering approval.
- (d) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, for all of *Tract 1* as depicted in *Exhibits 'B' & 'C'* of this ordinance shall be submitted for approval.

**SECTION 7.** That development of *Tract 2* on the *Subject Property* -- as depicted in *Exhibits 'B' & 'C'* of this ordinance -- shall be in conformance with the procedures set forth in the Unified Development Code [*Ordinance No. 20-02*];

**SECTION 8.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 9.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other

person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 10.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 11.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 2<sup>TH</sup> DAY OF JANUARY, 2023.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: December 19, 2022

2<sup>nd</sup> Reading: January 2, 2023

**Exhibit 'A':**  
*Legal Description*

All that certain lot, tract or parcel of land situated in the *R. BALLARD SURVEY, ABSTRACT NO. 29*, City of Rockwall, Rockwall County, Texas, and being a part of Lot 1, Block 1, *INDALLOY ADDITION*, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet D, Slide 273 of the Plat Records of Rockwall County, Texas, and also being a part of a 98.319 acres tract of land as described in a Warranty deed from Alumax Aluminum Corporation to Columbia Extrusion Corporation, dated December 22, 1988 and being recorded in Volume 444, Page 102 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2" iron rod found for corner at the northeast corner of said Lot 1, Block 1, said point being in the south right-of-way line of E. Washington Street;

*THENCE* S. 06 deg. 42 min. 50 sec. E. along the east boundary line of Lot 1, a distance of 718.54 feet to a 1/2" iron rod found for corner;

*THENCE* N. 85 deg. 37 min. 16 sec. W. a distance of 435 .64 feet to a 1/2" iron rod found for corner on the West boundary line of said Lot 1, Block 1;

*THENCE* N. 83 deg. 23 min. 14 sec. W. a distance of 274.94 feet to a 1/2" iron rod found for corner;

*THENCE* S. 81 deg. 27 min. 00 sec. W. a distance of 408.12 feet to a Y," iron rod found for corner in the east boundary line of *PARK PLACE WEST II*, according to the Amended plat thereof recorded in Cabinet G, Slide 100, of the Plat Records of Rockwall County, Texas;

*THENCE* N. 04 deg. 52 min. 54 sec. W. along said addition, a distance of 106.88 feet to a W' iron rod found for corner;

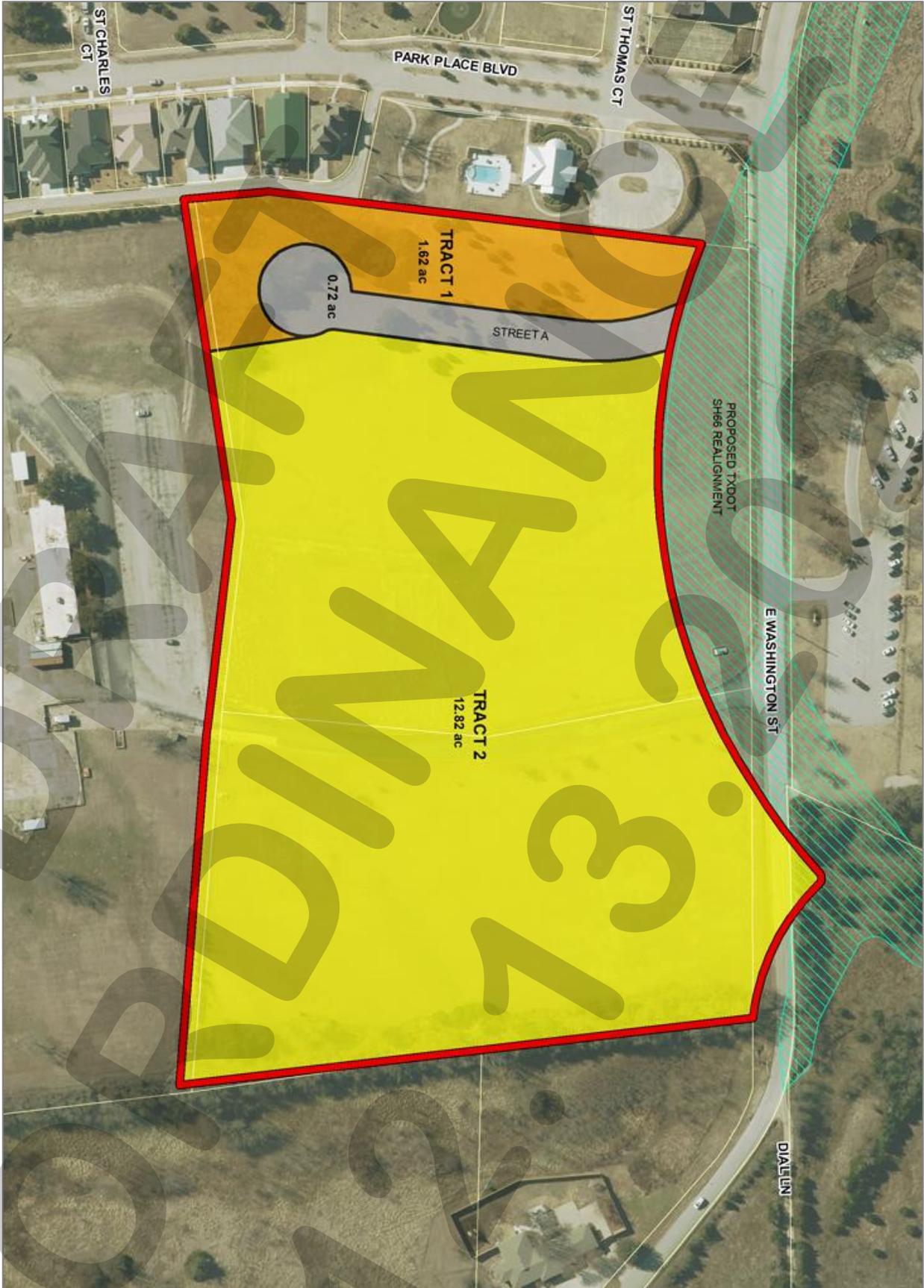
*THENCE* N. 07 deg. 20 min. 27 sec. E. along said addition, a distance of 603.20 feet to a W' iron rod found for corner in the south line of E. Washington Street;

*THENCE* N. 89 deg. 51 min. 05 sec. E. along the south line of said street, a distance of 513.76 feet to a P-K nail found for corner at the northwest corner of said Lot 1, Block 1;

*THENCE* N. 89 deg. 34 min. 40 sec. E. along the south line of said street and north line of said Lot 1, a distance of 445.34 feet to the *POINT OF BEGINNING* and containing 16.26 acres of land.



Exhibit 'C':  
Concept Plan



**Exhibit 'D':**  
*Conceptual Townhome Elevations*

Tracts 1 & 2 (16.26-Acres): Development Standards for all Tracts

(1) *Landscaping Standards.*

- (a) *Landscape Requirements.* Landscaping shall be reviewed and approved with a *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height.
- (b) *Landscape Buffers (Street A).* A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of *Street A* as depicted in *Exhibit 'C'* of this ordinance, and shall incorporate a minimum of one (1) canopy tree and one (1) accent tree per 50-feet of linear frontage unless otherwise specified in this ordinance. Any streets added to the subject property that are not depicted on the Concept Plan in *Exhibit 'C'* of this ordinance or referenced in *Exhibit 'E'* of this ordinance shall also be subject to this requirement.
- (c) *Landscape Buffer and Sidewalks (SH-66/SH-66 Right-of-Way).* A minimum of a 30-foot landscape buffer shall be provided along the future right-of-way for SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up berm* and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.
- (d) *Landscape Buffer (Adjacent to Residential).* A minimum of a 20-foot landscape buffer shall be provided along the western boundary of *Tract 2 (i.e. areas adjacent to residential land uses)*. The landscape buffer shall incorporate a combination of shrubbery and ground cover along the entire length of the adjacency for the purpose of screening the commercial areas from the residential areas without using a physical barrier. In addition, the landscape buffer shall incorporate canopy trees planted on 20-foot centers along the entire length of the adjacency.
- (e) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect.

(2) *Washington Street.* The applicant shall not be responsible for upgrading E. Washington Street to a M4U (*major collector, four [4] lane, undivided roadway*) as shown on the Master Thoroughfare Plan in the Comprehensive Plan.

(3) *Buried Utilities.* All transmission and distribution power-lines located internally or along the perimeter of the *Subject Property*, shall be underground. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between a home and the property line.

(4) *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code [*Ordinance No. 20-02*] shall apply to any application for variances to any provisions of this ordinance.

Tract 1: Townhomes (2.38-Acres)

**Exhibit 'D':**  
*Conceptual Townhome Elevations*

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, *Tract 1* as depicted in *Exhibits 'B' & 'C'* of this ordinance shall be subject to the land uses permitted for the Single Family 10 (SF-10) District as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following conditions shall apply:

The following land uses shall be permitted on the *Tract 1* in addition to the land uses permitted in the Single Family 10 (SF-10) District:

- Townhomes

However, the following land uses shall be expressly prohibited on *Tract 1*:

- Accessory Building
- Guest Quarters/Secondary Living Unit
- Portable Buildings
- Church/House of Worship
- Day Care
- Private or Public School
- Railroad Yard or Shop

- (2) *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development ordinance, *Tract 1* as depicted in *Exhibits 'B' & 'C'* of this ordinance shall be subject to the development standards for the Single Family 10 (SF-10) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future. The maximum permissible density for the *Subject Property* shall not exceed 5.10 dwelling units per gross acre of land; however, in no case should the proposed development exceed 12 dwelling units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

**TABLE 2: LOT DIMENSIONAL REQUIREMENTS**

<i>Minimum Lot Width</i> <sup>(1)</sup>	28'
<i>Minimum Lot Depth</i>	115'
<i>Minimum Lot Area</i>	3,000 SF
<i>Minimum Front Yard Setback</i> <sup>(2) &amp; (4)</sup>	20'
<i>Minimum Side Yard Setback</i>	0'
<i>Minimum Distance Between Buildings</i>	10'
<i>Minimum Length of Driveway Pavement</i>	20'
<i>Maximum Height</i> <sup>(3)</sup>	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	10'
<i>Minimum Area/Dwelling Unit (SF) [Air Conditioned Space]</i>	1,400 SF
<i>Garage Orientation</i>	<i>Rear Entry</i>
<i>Maximum Number of Attached Units Per Buildings</i>	5 Units
<i>Maximum Lot Coverage</i>	75%

*General Notes:*

<sup>1</sup>: The minimum lot width shall be measured at the *Front Yard Building Setback*.

<sup>2</sup>: The location of the *Front Yard Building Setback* as measured from the front property line.

**Exhibit 'D':**  
*Conceptual Townhome Elevations*

- <sup>3</sup>: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>4</sup>: Porches, stoops, bay windows, balconies, eaves and similar architectural features may encroach beyond the *Front and Rear Yard Building Setbacks* by up to five (5) feet for any property; however, the encroachment shall not exceed three (3) feet on *Side Yard Setbacks* where appropriate for such use and shall not encroach into public right-of-way.
- (3) *Garage Orientation*. All garages are required to be rear entry (*i.e. access from Road 'A'*) and shall generally conform to the Concept Plan depicted in *Exhibit 'C'* of this ordinance (*i.e. the Townhomes will front towards the Park Place Subdivision*).
- (4) *Building Standards*. The building elevations shall generally conform to the *Conceptual Building Elevations* depicted in *Exhibit 'D'* of this ordinance; however, all development shall adhere to the following building standards:
- (a) *Masonry Requirements*. The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (*e.g. HardiBoard or Hardy Plank*) and/or similar cementaceous products may be used for up to 100% of the exterior of the building pending conformance with the anti-monotony restrictions outlined in this ordinance. Stucco (*i.e. three [3] part stucco or similar*) shall be prohibited.
- (b) *Roof Design Requirements*. All buildings shall be designed such that no roof mounted mechanical equipment (*i.e. HVAC, satellite, vents, etc.*) shall be visible from any direction. *Note: Screening of mechanical equipment is necessary for all equipment regardless of location (i.e. roof mounted, ground mounted, or otherwise attached to the building and/or located on the site).*
- (c) *Architectural Requirements*. All units shall be architecturally finished on all sides of the building that are visible from a public right-of-way or open space with the same materials, detailing and features.
- (5) *Anti-Monotony Restrictions*. The development shall generally conform to development scheme portrayed in the *Conceptual Building Elevations* depicted in *Exhibit 'D'* of this ordinance; however, all development shall adhere to the following anti-monotony restrictions:
- (a) Identical brick blends and paint colors may not occur on adjacent (*i.e. side-by-side*) properties within the development without at least two (2) intervening townhomes of differing materials on the same side of the adjacent townhome beginning with the adjacent property.
- (b) Front building elevations shall not repeat along any block face without at least two (2) intervening homes of differing appearance on the same block face within the development.
- (c) The rear elevation of the homes, backing to the public right-of-way (*i.e. Street A*), shall not repeat without at least two (2) (*i.e. side-by-side*) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

**Exhibit 'D':**  
*Conceptual Townhome Elevations*

- (1) Front Encroachment (*i.e. Porch and/or Sunroom*) Type and Layout
  - (2) Roof Type and Layout
  - (3) Articulation of the Front Façade
  - (4) Differing Primary Exterior Materials
- (6) *Sidewalks.* The sidewalk adjacent to *Road 'A'* as depicted in *Exhibit 'C'* of this ordinance shall be constructed adjacent to the roadway with the exception of the area directly adjacent to the townhomes. In this area the sidewalk may be deviated to run in between the western property line of the *Subject Property* and the front facades of the townhomes. Where the sidewalk is on private property it shall be in a *pedestrian access easement*.
- (7) *Fence Standards.* All fences shall be required to be wrought iron or a tubular steel fence. Wrought iron/tubular steel fences shall be a minimum of four (4) feet in height; however, may not exceed a maximum of eight (8) feet in height.
- (8) *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the *Municipal Code of Ordinances* of the City of Rockwall. As an alternative -- *and pending the approval of an adjacent HOA* --, this property can be incorporated into an existing HOA. The HOA shall also maintain all neighborhood parks, open space and common areas, irrigation, landscaping, screening fences and the private roadway, drive aisles and drive approaches for the subject property associated with this development.

*Tract 2: Commercial/Retail (12.82-Acres)*

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, *Tract 2* as depicted in *Exhibits 'B' & 'C'* of this ordinance shall be subject to the land uses permitted for the General (GR) District as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following conditions shall apply:

The following land uses shall be expressly prohibited on *Tract 2*:

- Convent or Monastery
- Hotel or Motel
- Residence Hotel
- Cemetery/Mausoleum
- Convalescent Care Facility/Nursing Home
- Emergency Ambulance Services (*Ground*)
- Hospital
- Mortuary or Funeral Chapel
- Social Service Provider
- Billiard Parlor or Pool Hall
- Carnival, Circus, or Amusement Ride
- Commercial Amusement/Recreation (*Outside*)
- Golf Driving Range
- Astrologer, Hypnotist, or Psychic Art and Science
- Night Club, Discotheque, or Dance Hall

**Exhibit 'D':**  
*Conceptual Townhome Elevations*

- Secondhand Dealer
  - Auto Repair Garage (*Minor*)
  - Car Wash/Auto Detail
  - Car Wash (*Self Service*)
  - Retail Store with Gasoline Product Sales (*Any Amount of Dispensers*)
  - Service Station
  - Mining and Extraction (*Sand, Gravel, Oil & Other*)
  - Helipad
  - Railroad Yard or Shop
  - Transit Passenger Facility
- (2) *Density and Dimensional Requirements.* Any development on *Tract 2* as depicted in *Exhibits 'B' & 'C'* of this ordinance shall be subject to the development standards required for properties in a General Retail (GR) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future.
- (3) *Building Standards.* The building elevations shall generally conform to the *Overlay District Standards*; however, all development shall adhere to the following building standards:
- (a) *Masonry Requirements.* The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural or quarried stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Stucco*) and/or similar cementaceous products may be used for up to 50% of the exterior of the building.
  - (b) *Roof Design Requirements.* All buildings shall be designed such that no roof mounted mechanical equipment (i.e. *HVAC, satellite, vents, etc.*) shall be visible from any direction. Parapets must be finished on both sides in the same material as the exterior facing elevation. *Note: Screening of mechanical equipment is necessary for all equipment regardless of location (i.e. roof mounted, ground mounted, or otherwise attached to the building and/or located on the site).*

**Exhibit 'D':**  
*Conceptual Townhome Elevations*





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** December 13, 2022  
**APPLICANT:** Robert Howman; *Glenn Engineering*  
**CASE NUMBER:** SP2022-061; *Site Plan for Rochell Elementary School*

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### **SUMMARY**

Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of William Salee of Rockwall Independent School District (RISD) for the approval of a Site Plan for an Elementary School on a 11.605-acre tract of land identified as Tract 17- 01 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 899 Tubbs Road, and take any action necessary.

### **BACKGROUND**

A portion of the subject property was annexed on April 23, 1979 by *Ordinance No. 79-05 [Case No. A1979-001]*. At the time of annexation the subject property was zoned Agricultural (AG) District. The existing elementary school was constructed in 1979-1980 making it the second elementary school within the Rockwall Independent School District (RISD). The remaining portion of the subject property was annexed on May 19, 1986 by *Ordinance No. 86-37 [Case No. A1986-005]*. Additions to the existing elementary school were completed in 1984, 1999, and 2005.

### **PURPOSE**

On November 14, 2022, the applicant -- *Robert Howman of Glenn Engineering* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing a new elementary school on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is addressed as 899 Tubbs Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Rochell Court, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) parcels of land that are developed with *Restaurant/Retail Businesses (i.e. Kohl's, Cracker Barrel, Chuck-E-Cheese, ad Bahama Bucks)*. These properties are zoned Commercial (C) District. North of this is the Frontage Road for IH-30.

South: Directly south of the subject property is E. Ralph Hall Parkway, which is identified as a M4D (*i.e. major collector, four [4] land, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 2 of the Highland Meadows Subdivision, which was established on February 1, 2000 and consists of 97 residential lots. This subdivision is zoned Single-Family 7 (SF-7) District. Also, south of the subject property is Phase 1A of the Lynden Park Estates Subdivisions, which was established on June 10, 1997 and consists of 70 residential lots. This subdivision is zoned Planned Development District 17 (PD-17) for single-family land uses.

East: Directly east of the subject property is the intersection of Mims Road and E. Ralph Hall Parkway. Mims Road -- *adjacent to the subject property* -- is identified as a *Minor Collector* and E. Ralph Hall Parkway is identified as a M4D (*i.e. major collector, four [4] land, divided roadway*) on the Master Thoroughfare Plan contained in the

OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land developed with a mix of *Medical Office* and *Institutional* land uses (i.e. *Courtin Dental*, *Goddard School*, and *Rock Ridge Assisted Living*). These properties are zoned Planned Development District 54 (PD-54) for limited Commercial (C) District land uses.

West: Directly west of the subject property are three (3) parcels of land with [1] *Commercial/Retail Business* (i.e. *Kohls*), [2] an *Assisted Living Facility* (i.e. *Autumn Leave*), and [3] a *Minor Automotive Facility* (i.e. *Christian Brothers Automotive*). All of these properties are zoned Commercial (C) District. Beyond this is Market Center Drive, which is identified as *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Public or Private Primary School* is typically permitted through a Specific Use Permit (SUP) in an Agricultural (AG) District; however, since an *Elementary School* already exists on the subject property (i.e. *Rochell Elementary School*) and the applicant is not proposing to change the land use or increase the intensity of the land use, this request is viewed as conforming with respect to the current zoning. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within an Agricultural (AG) District and within the IH-30 Overlay (IH-30 OV) District with the exception of the items listed in the *VariANCES and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	43,560 SF	X=10.6252-acres; <i>In Conformance</i>
<i>Minimum Lot Frontage</i>	40-Feet	X= 1,002.73-feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	200-Feet	X=460.18-feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	40-Feet	X>40-feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	6-Feet	X>6-feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	36-Feet	X=35.33-feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	N/A	X=12.00%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/25 SF (26 Required)	X=119; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	N/A	X=46.41%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	N/A	X=46.89%; <i>In Conformance</i>

**TREESCAPE PLAN**

The *Treescape Plan* provided by the applicant indicates that a total of 291 caliper inches of trees will be removed from the property as a result of the development. As part of the proposed development the applicant’s landscape plan shows that 65 caliper inches of Oak Trees are being protected and 41, four (4) inch caliper canopy trees are being planted. This brings the mitigation balance down to 65 caliper inches. According to Section 05(F), *Mitigation Balance*, of Article 09, *Tree Preservation*, of the Unified Development Code (UDC), tree preservation credits may be purchased at \$100.00 per inch for up to 20.00% of the mitigation total. In this case, the applicant has 65 caliper inches remaining, which is greater than 20.00% of the mitigation total. Given this, the applicant is requesting an *Alternative Tree Mitigation Settlement Agreement*. This must be acted upon by the City Council following a recommendation from the Planning and Zoning Commission.

**CONFORMANCE WITH THE CITY’S CODES**

The applicant is requesting to construct a new elementary school, or *Public or Private Primary School*, on the subject property. According to Subsection 02.02(C)(21), *Public or Private Primary School*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Public or Private Primary School* is defined as “(a) school that is either owned and operated by the independent school district or a private commercial organization for children from five (5) to 11-years of age to receive their primary or elementary education.” The proposed site plan also generally conforms to the requirements of the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code

(UDC), with the exception of the variances and exceptions being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

## **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant's request generally conforms to the majority of the City's codes; however, staff has identified the following variances and exceptions:

### (1) Architectural Standards.

- (a) Stone. According to Subsection 06.01(C)(A), *Primary Materials*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades." In this case, the east building elevation only incorporates 15.82% natural stone, and will require a variance from the Planning and Zoning Commission.

Staff Response: Staff should note that this is a requirement of the IH-30 Overlay (IH-30 OV) District and that the proposed *Elementary School*: [1] does not have frontage along IH-30, and [2] will incorporate a minimum of 20.00% stone on the building façades that face towards IH-30. In addition, this variance was recommended for approval by the Architectural Review Board (ARB).

- (b) Secondary Materials. According to Subsection 06.0(C)(A), *Primary Materials*, Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(e)ach exterior wall of a building's façade shall consist of a minimum of 90% *Primary Materials* and/or a maximum of 10% *Secondary Materials* -- excluding doors and windows." In this case, the proposed building incorporates a metal and phenolic panel as an accent material, which is a *Secondary Material* according to the *General Overlay District Standards*. In addition, the use of this panel on the north (i.e. 22.73%) and south (i.e. 24.14%) building elevations exceeds ten (10) percent permitted for secondary materials. This will require a variance from the Planning and Zoning Commission.

Staff Response: Variances to the material requirements for larger institutional and industrial buildings are not atypical when the mix of materials appears to meet the general intent of the ordinance. In addition, this variance was recommended for approval by the Architectural Review Board (ARB).

### (2) Building Articulation.

- (a) Primary and Secondary Building Facades. According to Subsection 04.01(C), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), for primary and secondary building facades a "...wall length shall not exceed three (3) times the wall height." In this case, the proposed building does not meet the wall length requirement on all façades. This will require an exception from the Planning and Zoning Commission.

Staff Response: This variance is not atypical for larger institutional and industrial buildings. Overall, the proposed *Elementary School* appears to be well articulated. This variance was recommended for approval by the Architectural Review Board (ARB).

### (3) Landscaping Standards.

- (a) Tree Mitigation. According to Section 05, *Tree Mitigation Requirements*, of Article 09, *Tree Preservation*, of the Unified Development Code (UDC), all "(p)rimarily protected trees measuring four (4) inches through 25-inches DBH shall be replaced on an inch-for-inch basis." In this case, there are six (6) Bradford Pear trees that the applicant is requesting to have the mitigation waived. The applicant has indicated that the trees do not meet their safety requirements and would like to remove them without mitigation. This will require an exception from the Planning and Zoning Commission.

Staff Response: The City's Arborist reviewed the trees on the subject property and does not object to the applicant's request. In addition, staff should also note that a Bradford Pear tree would not be considered an acceptable tree

species under the City's current landscaping requirements contain in Appendix F, *Landscape Guidelines and Requirements*, of the Unified Development Code (UDC).

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. As compensatory measures for this case, the applicant is proposing [1] material variety, [2] enhanced entry plazas with stone seating and raised planters, [3] increased architectural elements, and [4] a student courtyard with native planting and stone features. While some of the proposed compensatory measures listed by the applicant are actually tied to the variances being requested, staff should point out that Rochell Elementary School is one (1) of the oldest campuses in the City and that the proposed improvements will create a more attractive campus; however, requests for exceptions and variances to the *General Standards* and *Engineering Standards of Design and Construction* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the *IH-30 Corridor District* and is designated for *Public* land uses. The primary land uses within the *Public* land use designation are "... (s)chools, libraries, fire stations, pump stations, water towers, police stations, city administrative offices, and county, state, or federal facilities". In this case, the applicant is proposing a *Public Elementary School*. Based on this, the applicant's request conforms to the goals and policies of the OURHometown Vision 2040 Comprehensive Plan.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On November 29, 2022 the Architecture Review Board approved a motion to recommend approval of the building elevations and variances/exceptions by a vote of 5-0, with Board Members Miller and Lefere absent.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's *Site Plan* for the construction of an elementary school on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this *Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 899 Rochell Ct, Rockwall, TX 75032

SUBDIVISION A0064 E P G CHISUM, TRACT 17-01

LOT

BLOCK

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG

CURRENT USE public school

PROPOSED ZONING AG

PROPOSED USE public school

ACREAGE 11.605

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall ISD

APPLICANT Glenn Engineering

CONTACT PERSON Will Salee

CONTACT PERSON Robert Howman

ADDRESS 1050 Williams St.,

ADDRESS 4500 Fuller Dr. #220

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Irving, Tx 75038

PHONE Phone 972-771-0605

PHONE 972.989.2174

E-MAIL Will.Salee@rockwalliso.org

E-MAIL rahowman@glennengineering.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Will Salee [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

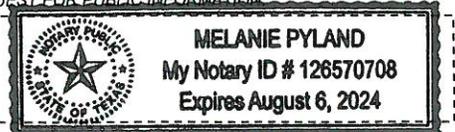
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ TBD, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE TBD DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF November, 20 22

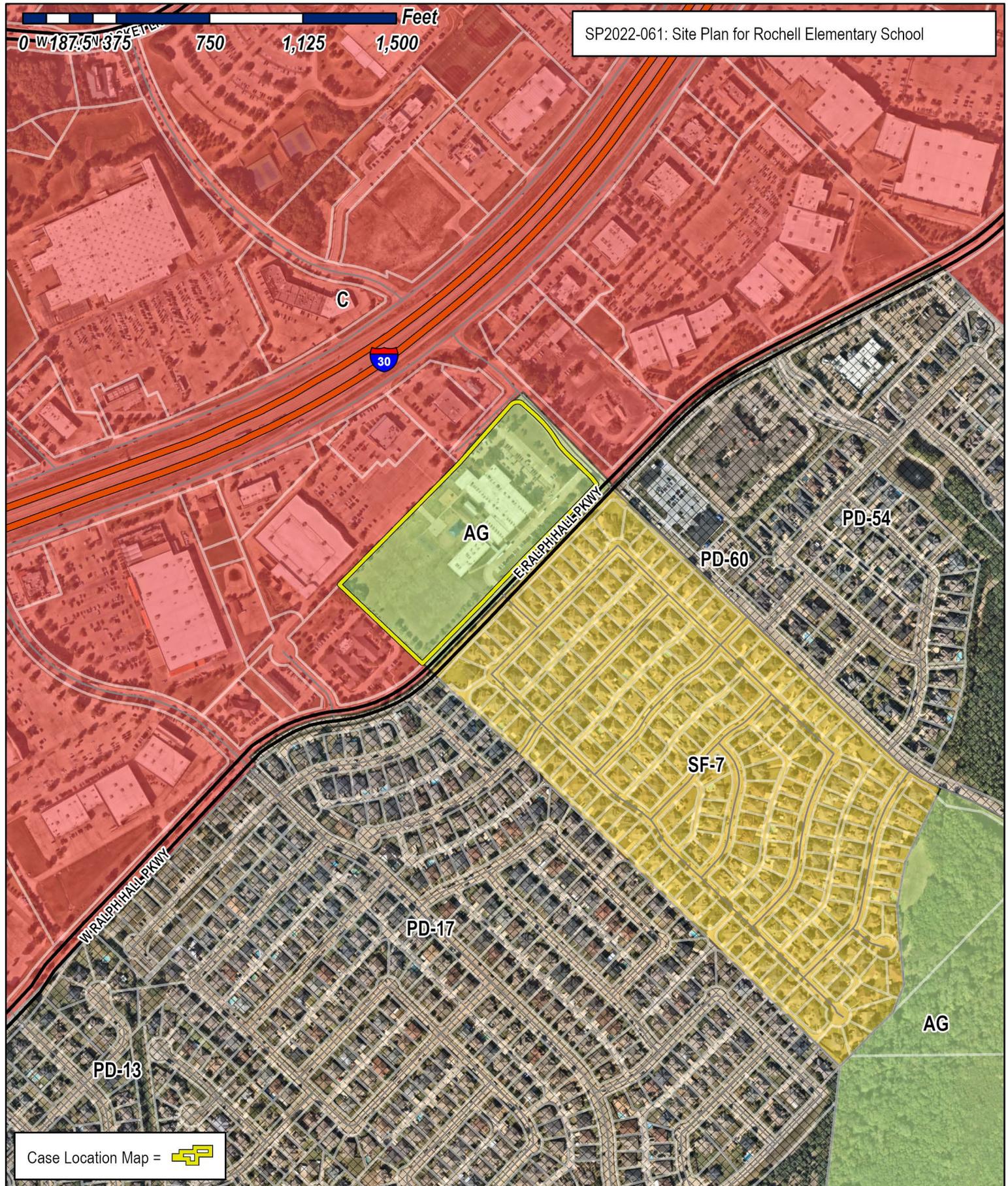
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Melanie Pyland



MY COMMISSION EXPIRES August 6, 2024



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



November 14, 2022

Bethany Ross  
City of Rockwall  
385 S. Goliad Street  
Rockwall, Texas 75087

Rockwall ISD – Rochell Elementary School Replacement  
Project Number: TBD  
Request for: Masonry Percentage & Landscape Variances

Dear Ms. Ross:

### **Masonry Percentage Variance**

We are requesting a variance from the masonry percentage requirements per the IH-30 Overlay District for the Rockwall ISD Rochell Elementary School Replacement. Per the overlay district requirements, we are to have 90% masonry materials on exterior elevations and 20% of that masonry is to be stone. Currently, 3 of our 4 overall elevations meet the stone requirement and 2 of our 4 overall elevations meet the 90% masonry requirement.

The North facing elevation, adjacent to retail lot north of the site, exceeds the required percentage of stone at 32% but only has a total masonry percentage of 77%. The South facing elevation, adjacent to Ralph Hall Parkway, exceeds the required percentage of stone at 22% but only has a total masonry percentage of 76%. This is due to the use of wood-look phenolic panel and increase in glazing, and the use of metal panel on these facades. Both facades are the entrances into the school, with the North being the secondary (bus drop off entrance) and the South being the main entrance into the school. As the entrances into these school, these are being treated to have lighter materials (i.e., glass and wood look phenolic panels) to give an open and welcoming feeling to those entering. The use of strategic security systems will mitigate the vulnerability of traditionally glazed systems. Special attention has been paid to the north façade glazing in order to mitigate visibility into the cafeteria from the retail parking lot to the North. The metal panel used is located on walls that are set far back from the face of the building and located up on the roof. The location and set back of these walls make it so the majority of the metal wall panel isn't visible from ground level.

The East facing elevation, adjacent to Mims road, meets the masonry percentage at 91%, but only has a total stone percentage of 16%. This is due to the large amount of glazing used on this façade. This glazing continues the feel of openness that the District desires in the student exterior courtyard space. This transparent glazing that otherwise would be largely masonry, reduces the overall percentage of masonry on this elevation, but allows for meeting the districts goals while maintaining security and increasing visual oversight of the exterior student occupied space.

Please reference the provided samples of these materials on the exterior material boards provided to the city for review.

In addition to this natural look phenolic panel, we believe that our design meets the following compensatory measures as described in the City of Rockwall Unified Development Code, Subsection 09.01 of Article 11.

- a large outdoor student courtyard with native plantings and natural stone features.
- Increased architectural elements, such as canopies, outdoor patio/plaza space and varied roof heights.
- Two entry plazas with natural stone seating and raised planter features.

**Landscape Variance**

We are also requesting a variance from the below Landscape City Code requirements for Rockwall ISD Rochell Elementary School Replacement.

Article 08 Landscape and Fence Standards - 5.01 Landscape Buffers

This code section requires that all required trees shall be located in the landscape buffer.

We are requesting to utilize existing and proposed trees for required landscape buffer trees that are located between the street and parking but that are not located in the landscape buffer. This provides a more park like setting for the school. This also allows for more sunlight to reach the ground and reduce shade out of grass which causes erosion.

Appendix C Landscape Guidelines - Section 04 Recommended tree Varieties

We are requesting that the existing Crape Myrtle trees, not in recommended tree list by the City, be allowed to be used towards the required ornamental trees for the developed site.

Article 09 Tree Preservation - Subsection 01.03 Exemptions

(B) Damaged/Diseased Trees

(D) Public Safety

We are requesting that an exception be provided for the tree mitigation of all the Pear trees on site due to falling branches and public safety. Trees have already lost several limbs and will continue to do so. Trees are at the limits of their life span, and many have rot where branches meet the trunk. The limbs on these trees could pose a risk of falling in the future.

We thank you for your consideration of this exception. We would be happy to answer any further questions regarding this material and our design for the Rockwall ISD Rochell Elementary School Replacement.

Sincerely,



**BEVERLY FORNOF, AIA**  
Project Manager — Senior Associate  
Corgan

December 06, 2022

Henry Lee  
City of Rockwall  
385 S. Goliad Street  
Rockwall, Texas 75087

Rockwall ISD – Rochell Elementary School Replacement  
Project Number: SP2022-061  
Request for: Masonry Percentage & Landscape Variances – REVISED

Dear Mr. Lee:

**Masonry Percentage Variance**

We are requesting a variance from the masonry percentage requirements per the IH-30 Overlay District for the Rockwall ISD Rochell Elementary School Replacement. Per the overlay district requirements, we are to have 90% masonry materials on exterior elevations and 20% of that masonry is to be stone. Currently, 3 of our 4 overall elevations meet the stone requirement and 2 of our 4 overall elevations meet the 90% masonry requirement.

The North facing elevation, adjacent to retail lot north of the site, exceeds the required percentage of stone at 32% but only has a total masonry percentage of 77%. The South facing elevation, adjacent to Ralph Hall Parkway, exceeds the required percentage of stone at 22% but only has a total masonry percentage of 76%. This is due to the use of wood-look phenolic panel and increase in glazing, and the use of metal panel on these facades. Both facades are the entrances into the school, with the North being the secondary (bus drop off entrance) and the South being the main entrance into the school. As the entrances into these school, these are being treated to have lighter materials (i.e., glass and wood look phenolic panels) to give an open and welcoming feeling to those entering. The use of strategic security systems will mitigate the vulnerability of traditionally glazed systems. Special attention has been paid to the north façade glazing to mitigate visibility into the cafeteria from the retail parking lot to the North. The metal panel used is located on walls that are set far back from the face of the building and located up on the roof. The location and set back of these walls make it so most of the metal wall panel isn't visible from ground level.

The East facing elevation, adjacent to Mims road, meets the masonry percentage at 91%, but only has a total stone percentage of 16%. This is due to the large amount of glazing used on this façade. This glazing continues the feel of openness that the District desires in the student exterior courtyard space. This transparent glazing that otherwise would be largely masonry, reduces the overall percentage of masonry on this elevation, but allows for meeting the districts goals while maintaining security and increasing visual oversight of the exterior student occupied space.

**Revised Request per City Comment:** The primary façade articulation requirements are required on each side of the building because the subject property is located in the IH-30 Overlay District. In this case, it appears that each side of the building does not meet the wall length requirements (i.e. Wall Length = Height x 3). Also, the wall projection requirement is not met on the north side of the building (i.e. Wall Projection = Height x 25%). These will require variance request. (Subsection 04.01. C, of Article 05)

This occurrence is only at the classroom wings. We are requesting this requirement to be waived as the design of these walls includes differences in contrasting stone and brick materials, and vertical breaks using accent patterned bricks and smooth honed stone aligned with windows. Please reference attached renders for your use.

Please reference the provided samples of these materials on the exterior material boards provided to the city for review.

We believe that our design meets the following compensatory measures as described in the City of Rockwall Unified Development Code, Subsection 09.01 of Article 11.

- Use of natural wood-look phenolic panel to emphasis and highlight key entrances.
- Two entry plazas with natural stone seating and raised planter features.
- Articulation by using patterning and accent colors of brick and stone.
- A large outdoor student courtyard with native plantings and natural stone features.
- Increased architectural elements, such as canopies, outdoor patio/plaza space and varied roof heights.
- Park like setting with play field.

**Landscape Variance**

We are also requesting a variance from the below Landscape City Code requirements for Rockwall ISD Rochell Elementary School Replacement.

Article 08 Landscape and Fence Standards - 5.01 Landscape Buffers

This code section requires that all required trees shall be in the landscape buffer.

We are requesting to utilize existing and proposed trees for required landscape buffer trees that are located between the street and parking but that are not located in the landscape buffer. This provides a more park like setting for the school. This also allows for more sunlight to reach the ground and reduce shade out of grass which causes erosion.

**Revised Request:**

Appendix C Landscape Guidelines and Article 09 Tree Preservation

**SECTION 04 | RECOMMENDED TREE VARIETIES (CANOPY AND ACCENT TREES)**

Provide exemption from tree mitigation for all Crape Myrtle trees due to the fact they do not receive credit and they are not in the city approved plant list. This will allow the planting of city approved accent tree varieties along all streets and throughout the site. Existing Crape Myrtle trees may be transplanted on site or to other school district sites.

Article 09 Tree Preservation - Subsection 01.03 Exemptions

(B) Damaged/Diseased Trees

(D) Public Safety

We are requesting that an exception be provided for the tree mitigation of all the Pear trees on site due to falling branches and public safety. Trees have already lost several limbs and will continue to do so. Trees are at the limits of their life span, and many have rot where branches meet the trunk. The limbs on these trees could pose a risk of falling in the future.

**Revised Request per City Comment:** A canopy tree row must be provided at the rear of the property (i.e. the north side) per the four-sided architecture requirements of the general overlay district standards. (Subsection 06.02.C, 5, of Article 08)

Due to site constraints, we are requesting to distribute the required number of trees into the parking lot islands directly adjacent to the property line.

We thank you for your consideration of this exception. We would be happy to answer any further questions regarding this material and our design for the Rockwall ISD Rochell Elementary School Replacement.

Sincerely,



**BEVERLY FORNOF, AIA**  
Project Manager — Senior Associate  
Corgan



City of Rockwall  
385 South Goliad  
Rockwall, Texas 75087

**Tree Mitigation Settlement Agreement SP2022-061**

Per the City of Rockwall's requirements, Rockwall Independent School District intends to enter into a Tree Mitigation Settlement Agreement for the School District's Rochell Elementary School Re-Build project. We will be exceeding the 20% maximum allowable payoff for existing tree mitigation. The fee created by this impact shall be determined at a later date as this project continues through the City's required developmental process.

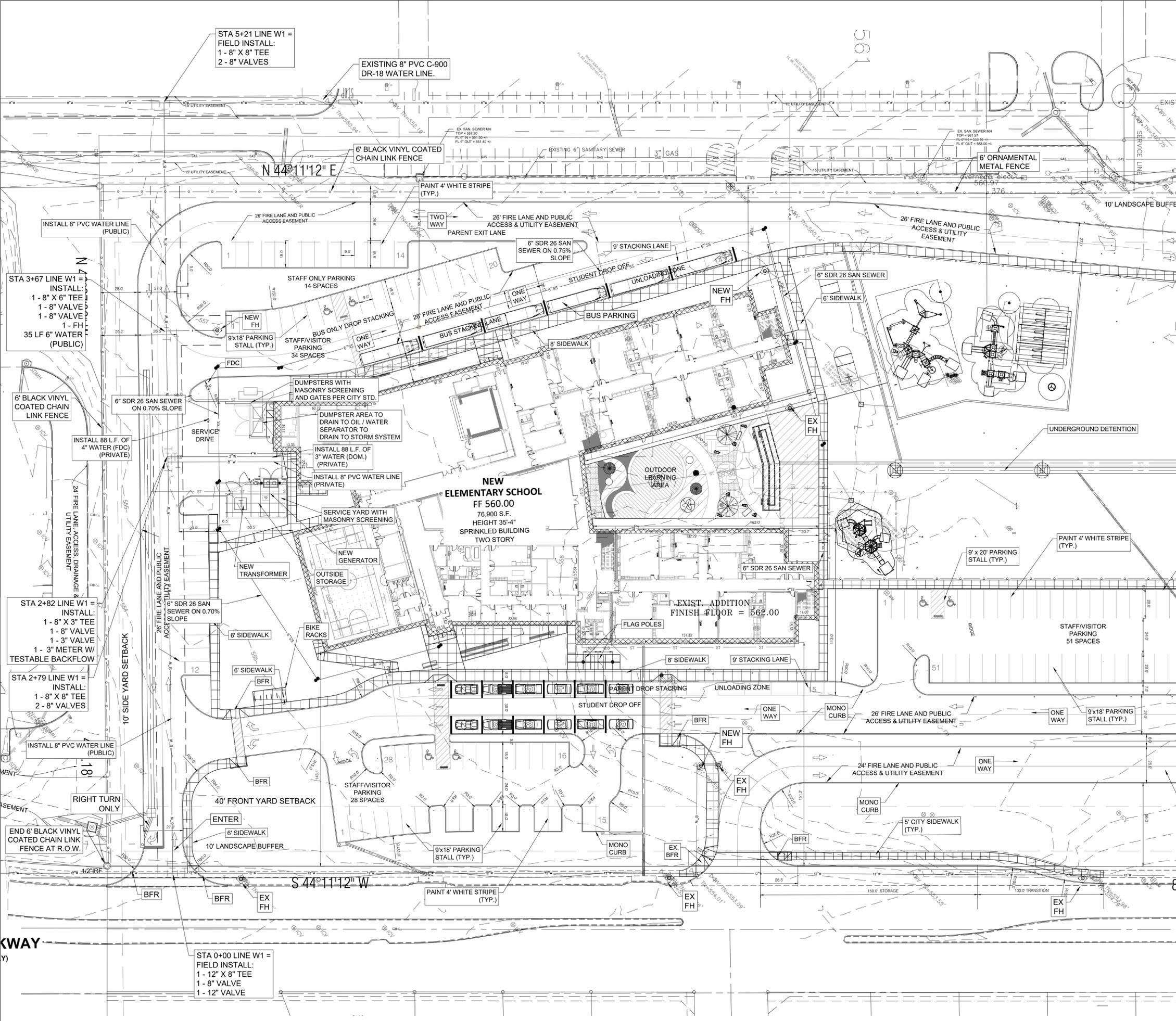
As part of the School District's variance request (under separate cover from our architect), we will be requesting that crape myrtles be unprotected trees as they are not on the City's approved plant list.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Will Salee', is written over a light blue horizontal line.

Will Salee  
Executive Director of Operations  
Rockwall Independent School District





**SITE LEGEND (PROPOSED)**

- CONCRETE CURB
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- FIRE LANE
- ORNAMENTAL FENCE
- PROPERTY LINE
- STORM SEWER
- WASTEWATER
- WATER
- PAINTED TRAFFIC DIRECTIONAL ARROW
- (PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5% SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY, COLOR A PER GEOTECHNICAL REPORT
- (PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5% SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY, COLOR B PER GEOTECHNICAL REPORT
- (CITY) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5% SACK MIX W/ #3 REBARS ON 24" CENTERS EACH WAY PER GEOTECHNICAL REPORT
- (TODD) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5% SACK MIX W/ #3 REBARS ON 16" CENTERS EACH WAY PER GEOTECHNICAL REPORT
- TURF, COLOR A
- TURF, COLOR B
- PLANTING AREA RE: LANDSCAPE

**SITE LEGEND (EXISTING)**

- CONCRETE CURB
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- FENCE
- PROPERTY LINE
- WASTEWATER
- STORM SEWER
- WATER

**CORGAN**  
 CORGAN  
 Dallas, TX 75202  
 T: 214.748.2000

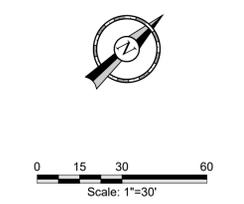
**ISSUES**  
 11/11/22 30% CHECK SET

**REVISIONS**

**GLENN ENGINEERING**  
 TEXAS REGISTRATION # F-303 HUB # 1732575193300  
 PHONE (972) 717-5151 FAX (972) 717-2176  
 4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF MIKE GLENN, P.E. 35059, ON December 5, 2022. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

MATCH LINE RE: C05.02 - DETAILED SITE PLAN - EAST



**BENCHMARKS**

CITY OF ROCKWALL BENCHMARK COR-4 ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON NORTH SIDE OF DALTON ROAD, +- 210 WEST OF INTERSECTION OF SH 205 AND DALTON ROAD, +- 10' NORTH OF NORTH CURB LINE N: 7040336.992 E: 2592422.633 ELEVATION 541.67
CITY OF ROCKWALL BENCHMARK COR-12 BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHERLY SIDE OF RIDGE RD, WEST AT THE NORTHWEST CORNER OF A CURB INLET +- 250' NORTHEAST OF THE INTERSECTION OF RIDGE ROAD WEST AND TWIN CREEK LANE N: 7037197.891 E: 2592384.786 ELEVATION 497.13
ONSITE BENCHMARK CAPPED IRON ROD LABELED "BOWMAN CONTROL" N: 7036823.314 E: 2600421.475 ELEVATION 537.535
ONSITE BENCHMARK CAPPED IRON ROD LABELED "BOWMAN CONTROL" N: 7037384.481 E: 2600384.414 ELEVATION 543.145

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning and Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2022. WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Planning and Zoning Commission, Chairman \_\_\_\_\_ Director of Planning and Zoning \_\_\_\_\_

**AMANDA ROCHELL ELEMENTARY SCHOOL**  
 LOT 1, BLOCK A  
 OUT OF THE  
 JOHN M. GASS SURVEY, ABSTRACT NO. 88  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD  
 801 E. WASHINGTON ST.  
 ROCKWALL, TEXAS 75087  
 CONTACT: WILL SALEE

SURVEYOR: BOWMAN  
 1200 W. MAGNOLIA BLVD.  
 SUITE 300  
 FORT WORTH, TEXAS 76104  
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.  
 4500 FULLER DR.  
 IRVING, TEXAS 75038  
 (972) 717-5151  
 CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-061

**Rochell Elementary School Replacement**

899 Rochell Ct.  
 Rockwall, TX 75032

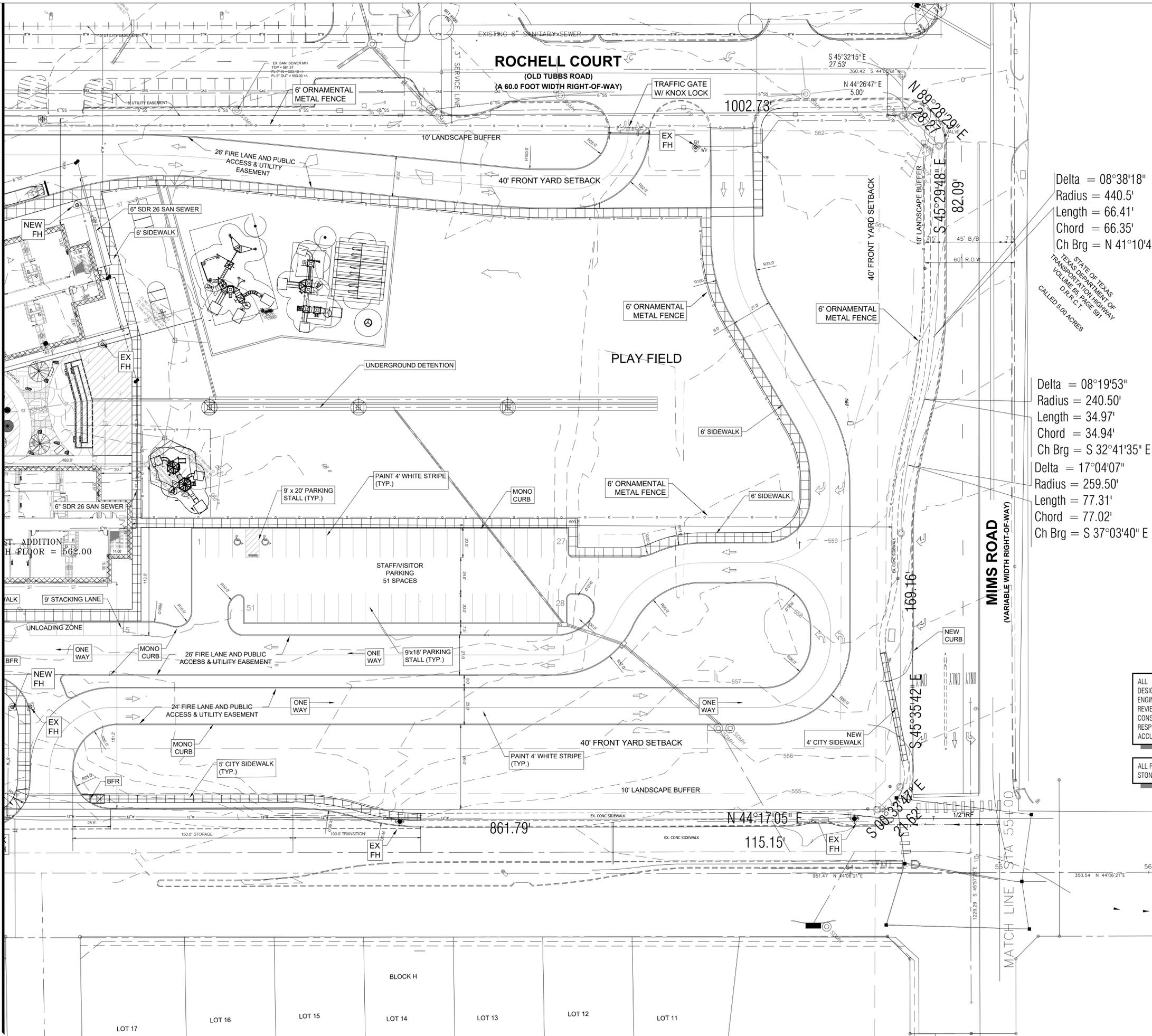
**DETAILED SITE PLAN - WEST**

**JOB** 22285.0000  
**DATE** 11/11/2022  
**SHEET**

**C05.01**

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT

MATCH LINE RE: C05.01 - DETAILED SITE PLAN - WEST



**SITE LEGEND (PROPOSED)**

[Symbol]	CONCRETE CURB
[Symbol]	EDGE OF ASPHALT
[Symbol]	EDGE OF CONCRETE
[Symbol]	FIRE LANE
[Symbol]	ORNAMENTAL FENCE
[Symbol]	PROPERTY LINE
[Symbol]	STORM SEWER
[Symbol]	WASTEWATER
[Symbol]	WATER
[Symbol]	PAINTED TRAFFIC DIRECTIONAL ARROW (PRIVATE)
[Symbol]	4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5% SACK MAX W/ #3 REBARS ON 18" CENTERS EACH WAY, COLOR A PER GEOTECHNICAL REPORT
[Symbol]	(PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5% SACK MAX W/ #3 REBARS ON 18" CENTERS EACH WAY, COLOR B PER GEOTECHNICAL REPORT
[Symbol]	(CITY) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5% SACK MAX W/ #3 REBARS ON 24" CENTERS EACH WAY PER GEOTECHNICAL REPORT
[Symbol]	(TODOT) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5% SACK MAX W/ #3 REBARS ON 18" CENTERS EACH WAY PER GEOTECHNICAL REPORT
[Symbol]	TURF, COLOR A
[Symbol]	TURF, COLOR B
[Symbol]	PLANTING AREA RE: LANDSCAPE

**SITE LEGEND (EXISTING)**

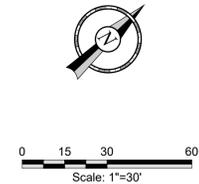
[Symbol]	CONCRETE CURB
[Symbol]	EDGE OF ASPHALT
[Symbol]	EDGE OF CONCRETE
[Symbol]	FENCE
[Symbol]	PROPERTY LINE
[Symbol]	WASTEWATER
[Symbol]	STORM SEWER
[Symbol]	WATER

Delta = 08°38'18"  
 Radius = 440.5'  
 Length = 66.41'  
 Chord = 66.35'  
 Ch Brg = N 41°10'40" W

STATE OF TEXAS  
 TEXAS DEPARTMENT OF  
 TRANSPORTATION HIGHWAY  
 DISTRICT C-1  
 CALLED 5.00 ACRES

Delta = 08°19'53"  
 Radius = 240.50'  
 Length = 34.97'  
 Chord = 34.94'  
 Ch Brg = S 32°41'35" E

Delta = 17°04'07"  
 Radius = 259.50'  
 Length = 77.31'  
 Chord = 77.02'  
 Ch Brg = S 37°03'40" E



**BENCHMARKS**

CITY OF ROCKWALL BENCHMARK COR-4 ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON NORTH SIDE OF DALTON ROAD, +- 210' WEST OF INTERSECTION OF SH 205 AND DALTON ROAD, +- 10' NORTH OF NORTH CURB LINE	N:7040536.992	E:2592422.633	ELEVATION 541.67
CITY OF ROCKWALL BENCHMARK COR-12 BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHERLY SIDE OF RIDGE RD. WEST AT THE NORTHWEST CORNER OF A CURB INLET +- 250' NORTHEAST OF THE INTERSECTION OF RIDGE ROAD WEST AND TWIN CREEK LANE.	N:7037197.891	E:2620384.196	ELEVATION 497.13
ONSITE BENCHMARK CAPPED IRON ROD LABELED "BOWMAN CONTROL"	N: 7038823.314	E: 2600421.475	ELEVATION 537.556
ONSITE BENCHMARK CAPPED IRON ROD LABELED "BOWMAN CONTROL"	N: 7037384.481	E: 2600384.414	ELEVATION 543.145

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

ALL RETAINING WALL FACES TO BE CLAD IN STONE.

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2022.  
 WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2022.

Planning & Zoning Commission, Chairman  
 Director of Planning and Zoning  
**AMANDA ROCHELL ELEMENTARY SCHOOL**  
 LOT 1, BLOCK A  
 OUT OF THE  
 JOHN M. GASS SURVEY, ABSTRACT NO. 88  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:  
 ROCKWALL ISD  
 801 E. WASHINGTON ST.  
 ROCKWALL, TEXAS 75087  
 CONTACT: WILL SALEE

SURVEYOR:  
 BOWMAN  
 1200 W. MAGNOLIA BLVD.  
 SUITE 300  
 FORT WORTH, TEXAS 76104  
 (214) 484-8586  
 CONTACT: ROBERT HANSEN

ENGINEER:  
 GLENN ENGINEERING CORP.  
 4500 FULLER DR.  
 IRVING, TEXAS 75038  
 (972) 717-5151  
 CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-061

**CORGAN**  
 CORGAN  
 Dallas, TX 75202  
 T: 214.748.2000

ISSUES  
 11/11/22 30% CHECK SET

REVISIONS

**GLENN ENGINEERING**  
 TEXAS REGISTRATION # F-303 HUB # 175257/93300  
 PHONE (972) 717-5151 FAX (972) 717-5176  
 4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF MIKE GLENN, P.E. 35059, ON December 5, 2022. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

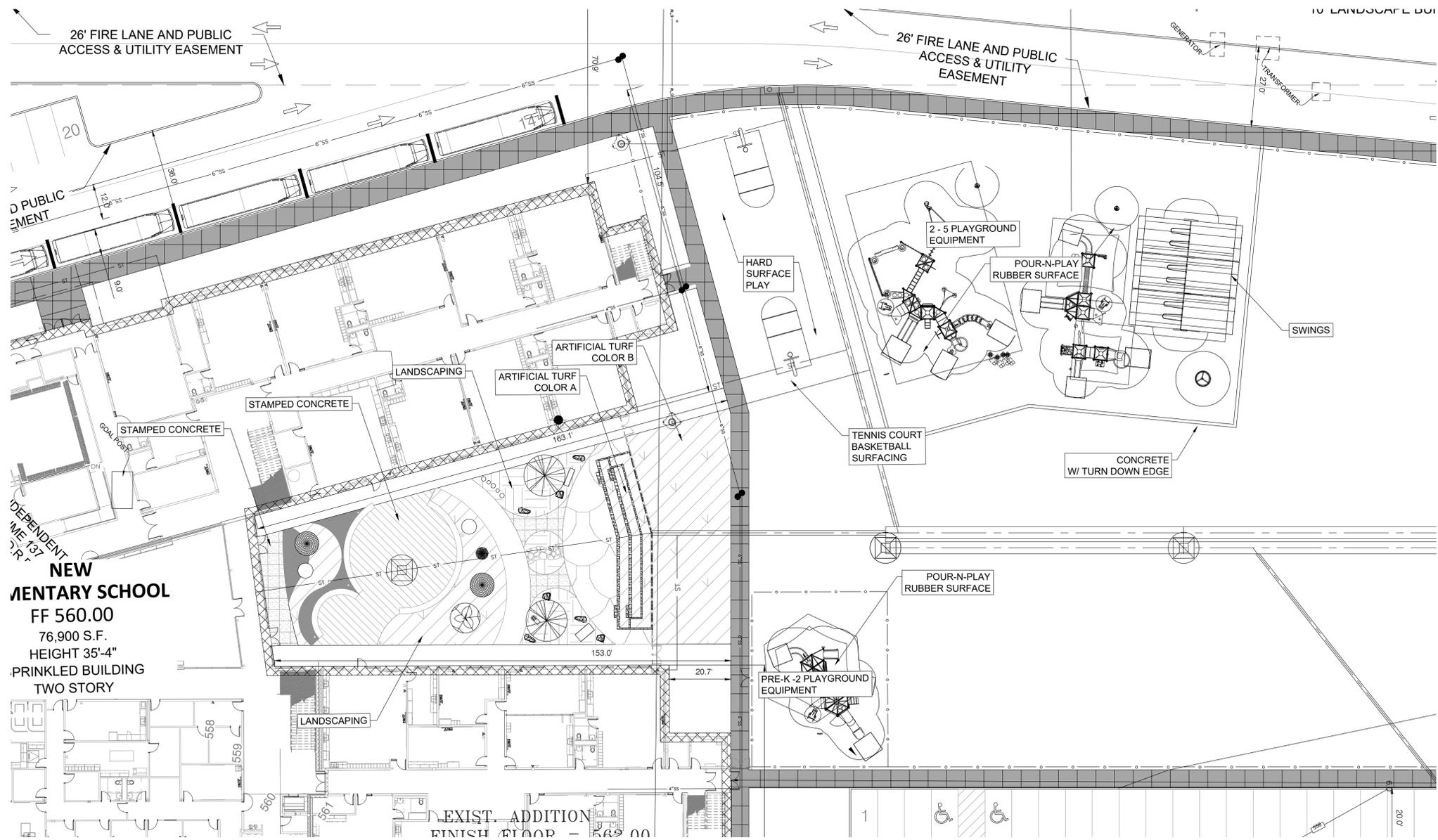
**Rochell Elementary School Replacement**  
 899 Rochell Ct.  
 Rockwall, TX 75032

DETAILED SITE PLAN - EAST

JOB 22285.0000  
 DATE 11/11/2022  
 SHEET

**C05.02**

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT



**NEW**  
**ELEMENTARY SCHOOL**  
 FF 560.00  
 76,900 S.F.  
 HEIGHT 35'-4"  
 PRINKLED BUILDING  
 TWO STORY

EXIST. ADDITION  
 FINISH FLOOR - 562.00

SITE LEGEND (PROPOSED)	
	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FIRE LANE
	ORNAMENTAL FENCE
	PROPERTY LINE
	STORM SEWER
	WASTEWATER
	WATER
	PAINTED TRAFFIC DIRECTIONAL ARROW (PRIVATE)
	(PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5% SACK MIX W/ #3 REBARS ON 18" CENTERS EACH WAY, COLOR A PER GEOTECHNICAL REPORT
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	TURF, COLOR A
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	PLANTING AREA RE: LANDSCAPE

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	EDGE OF CONCRETE
	FENCE
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	WATER

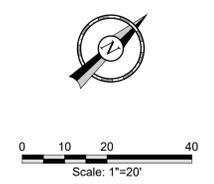
**CORGAN**  
 CORGAN  
 Dallas, TX 75202  
 T: 214.748.2000

ISSUES  
 11/11/22 30% CHECK SET

REVISIONS

**GLENN ENGINEERING**  
 TEXAS REGISTRATION #: F-303 HUB #: 1752575193300  
 PHONE (972) 717-5151 FAX (972) 717-2176  
 4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

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BENCHMARKS	
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ALL RETAINING WALL FACES TO BE CLAD IN STONE.

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2022.  
 WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2022.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

AMANDA ROCHELL ELEMENTARY SCHOOL  
 LOT 1, BLOCK A  
 OUT OF THE  
 JOHN M. GASS SURVEY, ABSTRACT NO. 88  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD 801 E. WASHINGTON ST. ROCKWALL, TEXAS 75087 (972) 771-0805 CONTACT: WILL SALEE	SURVEYOR: BOWMAN 1200 W. MAGNOLIA BLVD. SUITE 300 FORT WORTH, TEXAS 76104 (214) 484-8586 CONTACT: ROBERT HANSEN	ENGINEER: GLENN ENGINEERING CORP. 4500 FULLER DR. IRVING, TEXAS 75038 (972) 717-5151 CONTACT: CHERALYN M. ARMUJO
---	---	---

CITY OF ROCKWALL CASE NO. SP2022-061

**Rochell Elementary School Replacement**

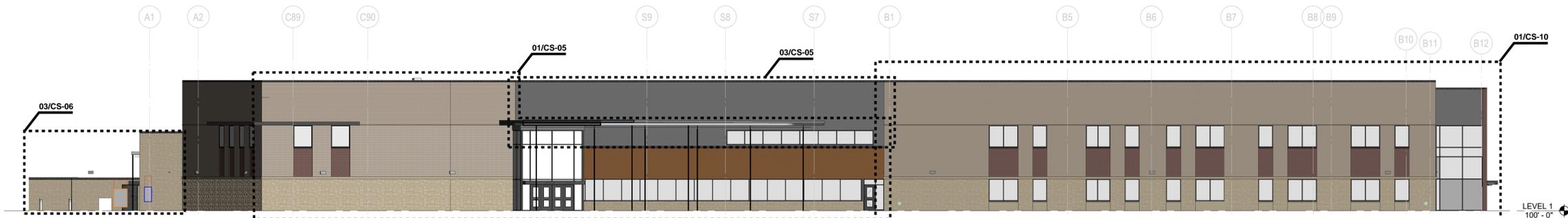
899 Rochell Ct.  
 Rockwall, TX 75032

DETAILED SITE PLAN - COURTYARD / PLAYGROUND

JOB 22285.0000  
 DATE 11/11/2022  
 SHEET

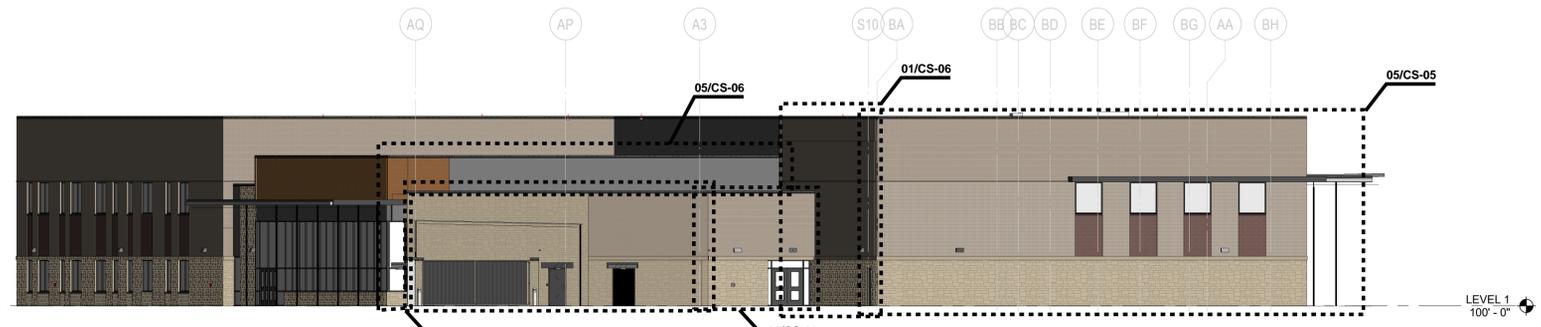
**C05.03**

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT



**02** EXTERIOR ELEVATION - OVERALL - SOUTH  
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE:	12,121 SF	
TOTAL FACADE SF: (MINUS GLAZING/DOORS: 1,927 SF)	10,194 SF	
BRICK:	5,459 SF	(53.55%)
STONE:	2,274 SF	(22.31%)
METAL PANEL:	1,717 SF	(16.84%)
PHENOLIC PANEL:	744 SF	(7.30%)
<b>MASONRY PERCENTAGE:</b>		<b>(75.86%)</b>



**01** EXTERIOR ELEVATION - OVERALL - WEST  
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE:	6,289 SF	
TOTAL FACADE SF: (MINUS GLAZING: 297 SF)	5,992 SF	
BRICK:	3,487 SF	(58.19%)
STONE:	1,991 SF	(33.23%)
METAL PANEL:	429 SF	(7.14%)
PHENOLIC PANEL:	86 SF	(1.40%)
<b>MASONRY PERCENTAGE:</b>		<b>(91.42%)</b>

EXT. MATERIALS LEGEND		
	BR-1A	
	ST-1	
	BR-1B	
	ST-2	
	BR-2	

APPROVED:  
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WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



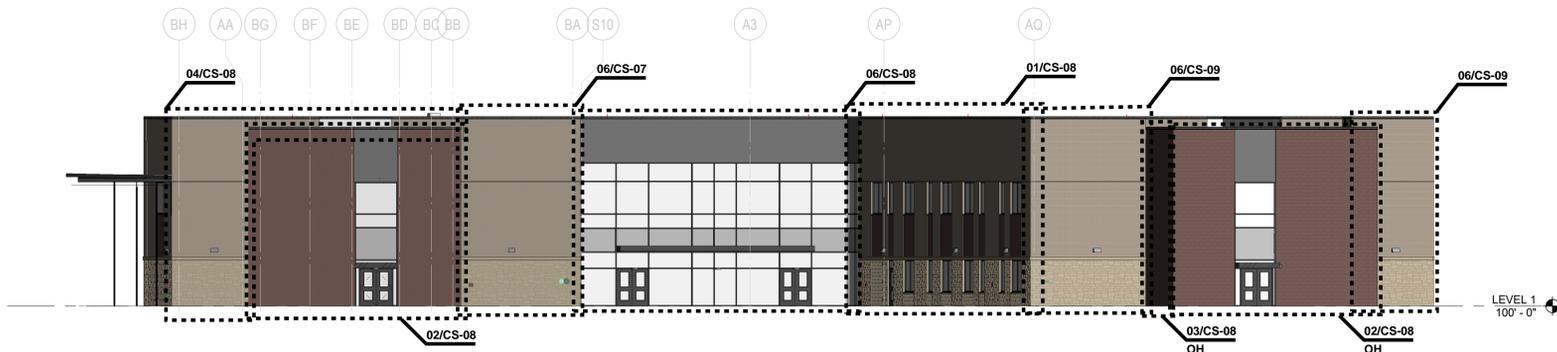
# OVERALL BUILDING ELEVATIONS

As indicated

**SHEET  
CS-03**

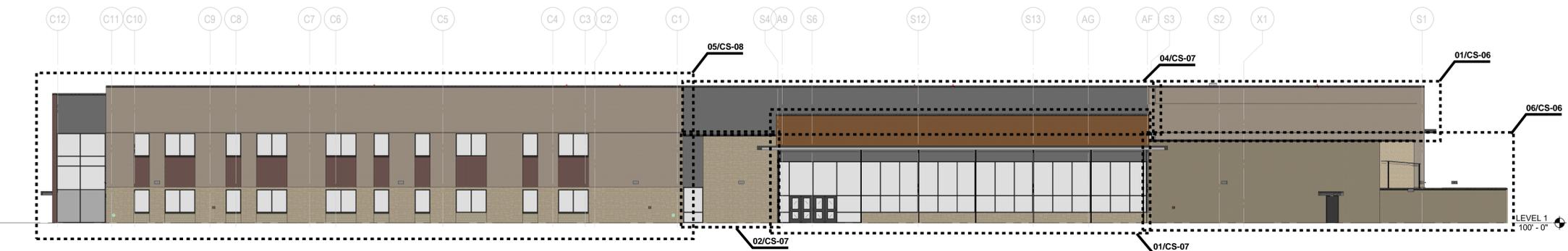
**CORGAN**





**02** EXTERIOR ELEVATION - OVERALL - EAST  
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE:	8,620 SF	
TOTAL FACADE SF:	6,790 SF	
(MINUS GLAZING/DOORS: 1,830 SF)		
BRICK:	5,088 SF	(74.93%)
STONE:	1,074 SF	(15.82%)
METAL PANEL:	628 SF	(9.25%)
PHENOLIC PANEL:	0 SF	(0.00%)
<b>MASONRY PERCENTAGE:</b>		<b>(90.12%)</b>



**01** EXTERIOR ELEVATION - OVERALL - NORTH  
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE:	12,979 SF	
TOTAL FACADE SF:	10,511 SF	
(MINUS GLAZING/DOORS: 2,468 SF)		
BRICK:	4,714 SF	(44.85%)
STONE:	3,407 SF	(32.42%)
METAL PANEL:	1,553 SF	(14.77%)
PHENOLIC PANEL:	837 SF	(7.96%)
<b>MASONRY PERCENTAGE:</b>		<b>(77.27%)</b>

**EXT. MATERIALS LEGEND**


APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2022.  
WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

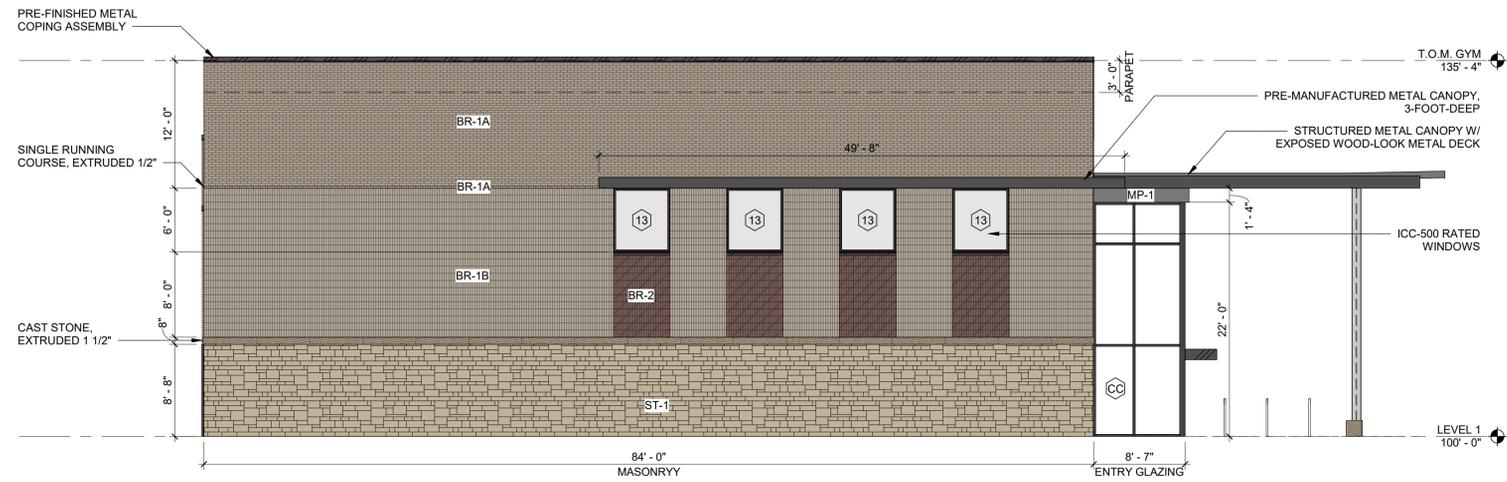


# OVERALL BUILDING ELEVATIONS

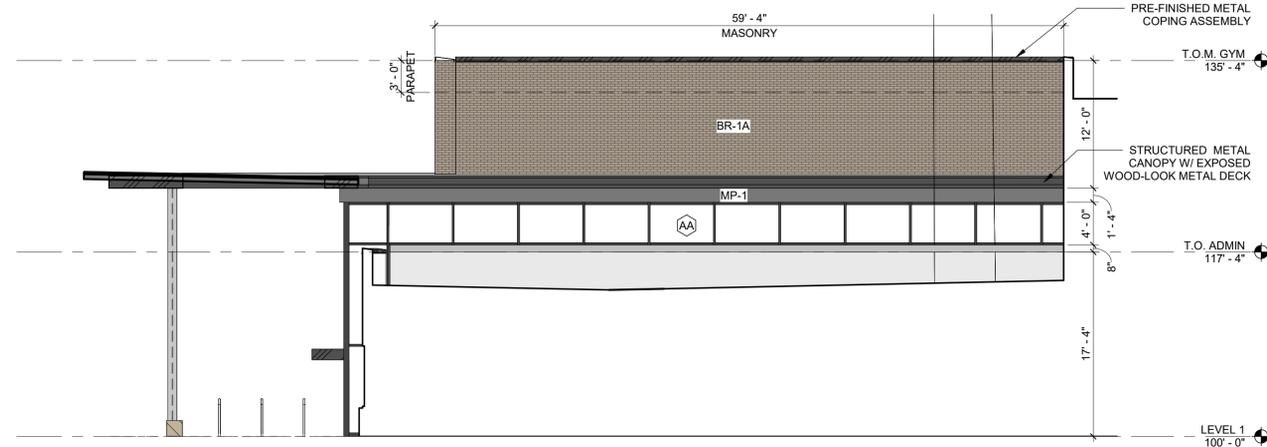
As indicated

**SHEET CS-04**

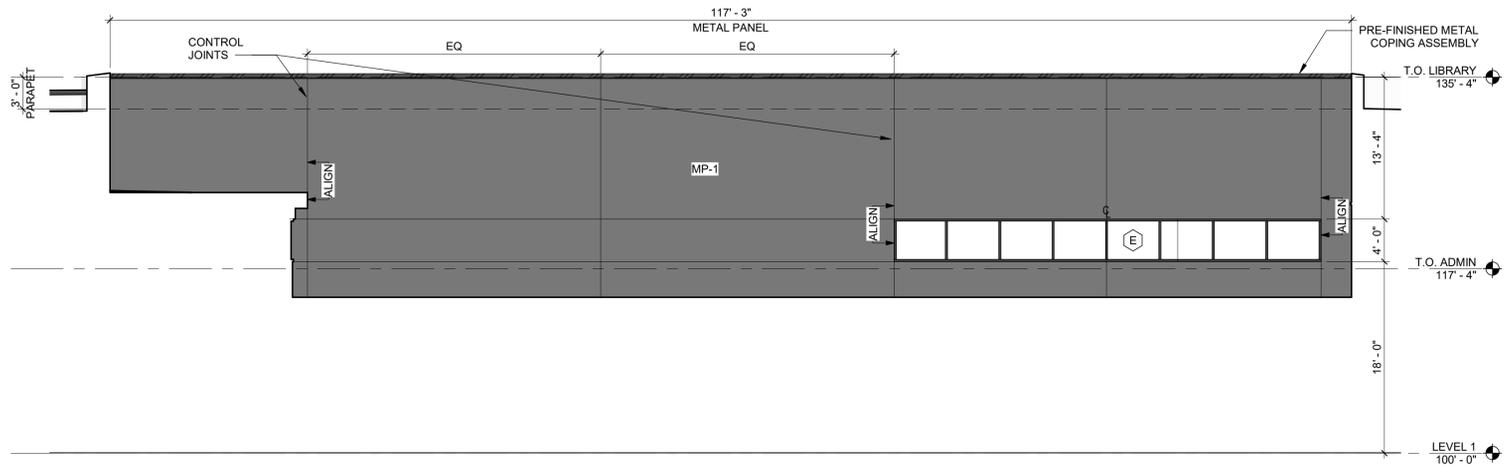
**CORGAN**



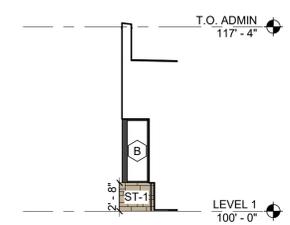
05 EXTERIOR ELEVATION - AREA A - SOUTHWEST  
1/8" = 1'-0"



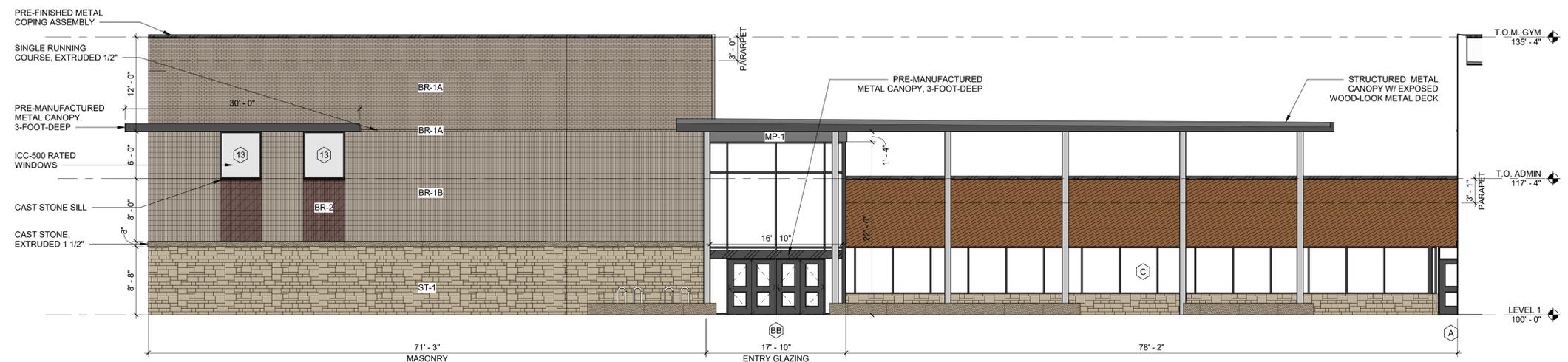
04 EXTERIOR ELEVATION - AREA A - NORTHEAST Copy 1  
1/8" = 1'-0"



03 EXTERIOR ELEVATION - AREA A - SOUTH  
1/8" = 1'-0"



02 EXTERIOR ELEVATION - AREA A - WEST  
1/8" = 1'-0"



01 EXTERIOR ELEVATION - AREA A - SOUTHEAST  
1/8" = 1'-0"

EXT. MATERIALS LEGEND		
	BR-1A	
	BR-1B	
	BR-2	
	MP-1	

APPROVED:  
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WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

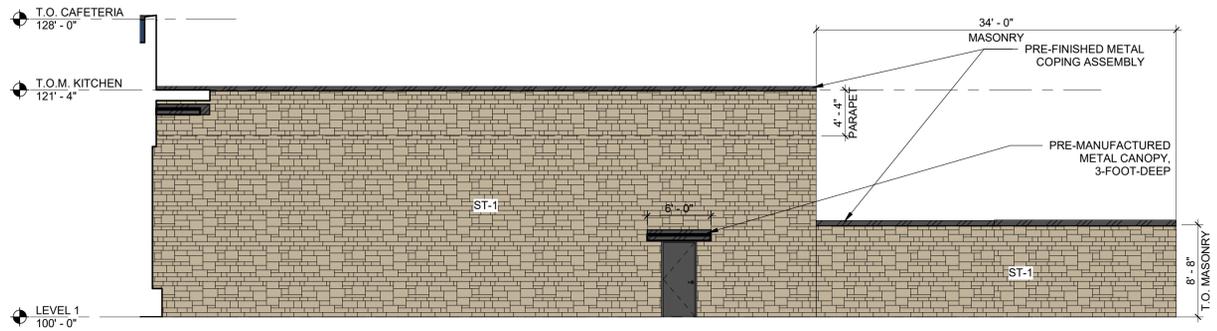


# BUILDING ELEVATIONS

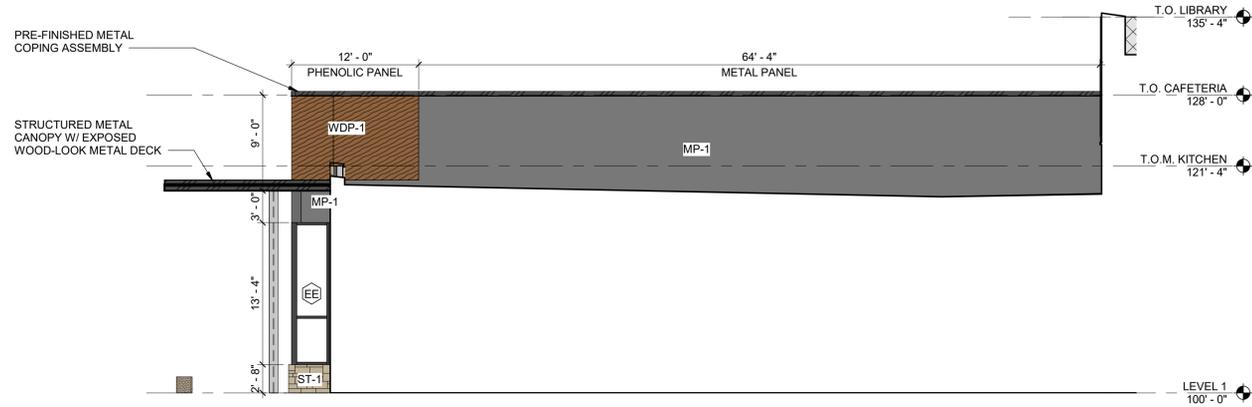
As indicated

**SHEET CS-05**

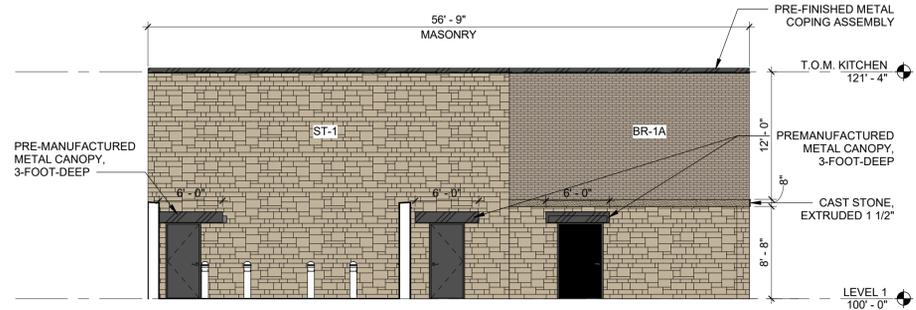
**CORGAN**



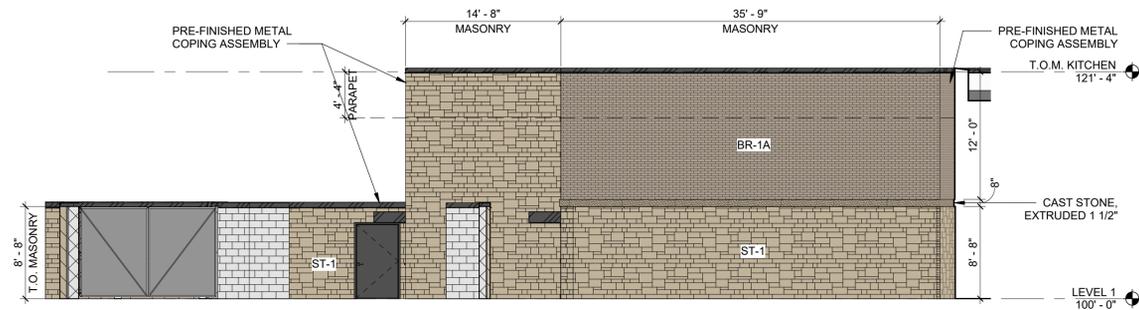
06 EXTERIOR ELEVATION - AREA A - NORTH  
1/8" = 1'-0"



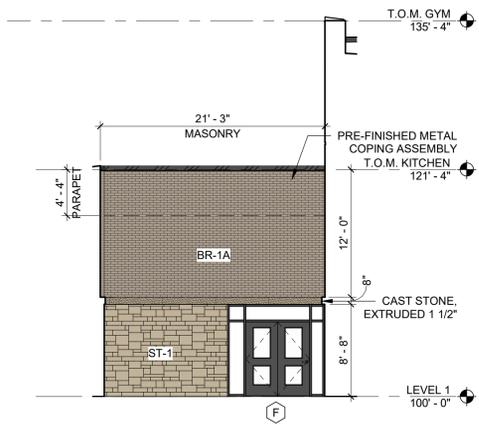
05 EXTERIOR ELEVATION - AREA A - WEST  
1/8" = 1'-0"



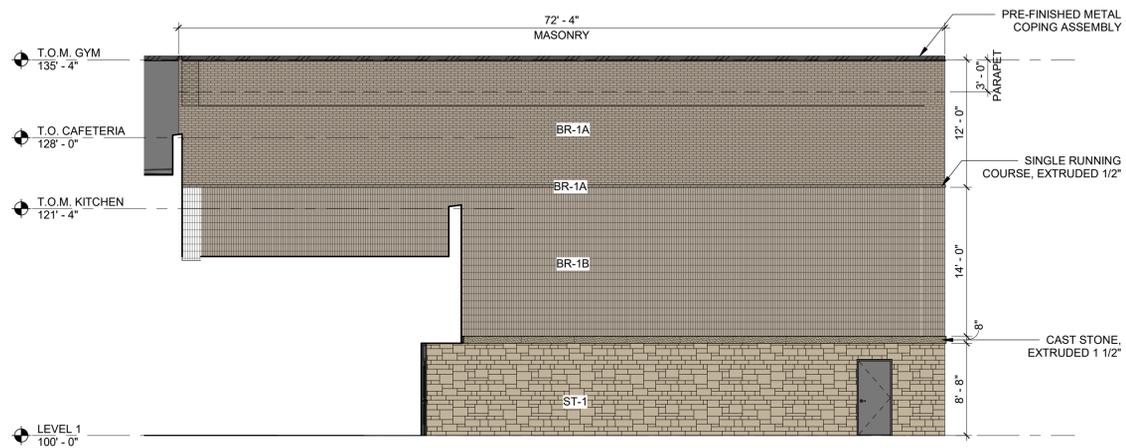
04 EXTERIOR ELEVATION - AREA A - WEST  
1/8" = 1'-0"



03 EXTERIOR ELEVATION - AREA A - SOUTH  
1/8" = 1'-0"



02 EXTERIOR ELEVATION - AREA A - SOUTHWEST  
1/8" = 1'-0"



01 EXTERIOR ELEVATION - AREA A - NORTHWEST  
1/8" = 1'-0"

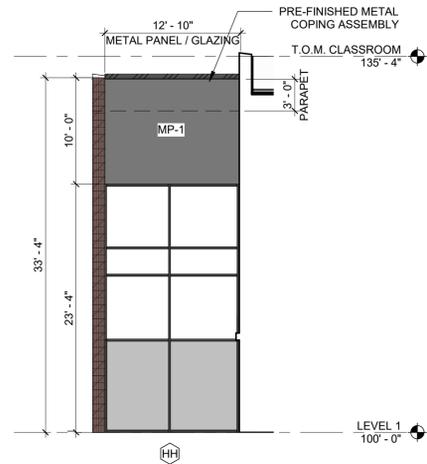
EXT. MATERIALS LEGEND		
	BR-1A	
	BR-1B	
	BR-2	

APPROVED:  
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WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

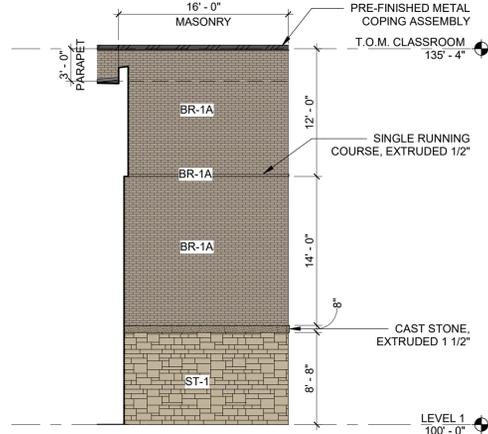
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

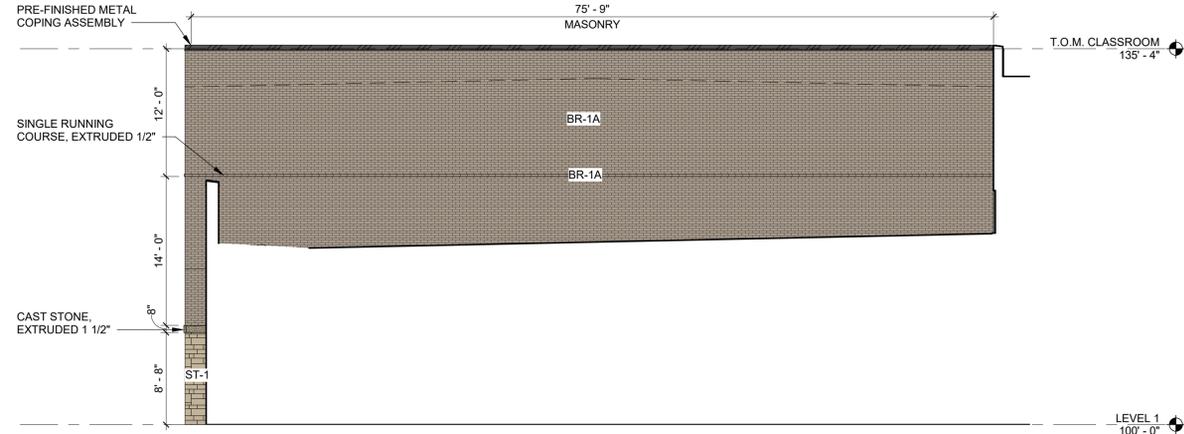




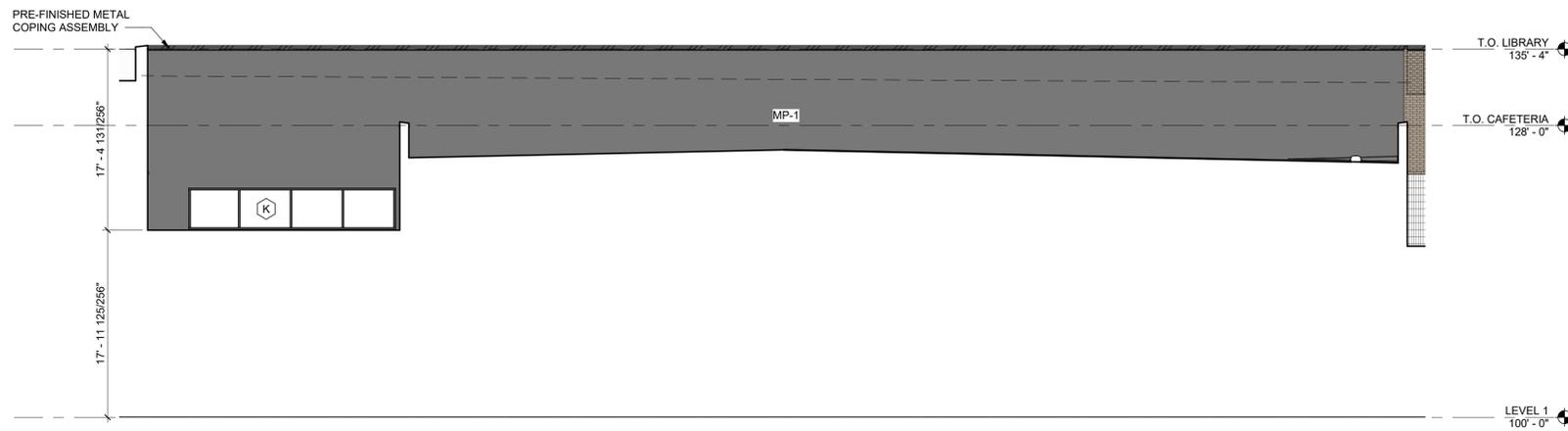
07 EXTERIOR ELEVATION - AREA B - NORTHWEST  
1/8" = 1'-0"



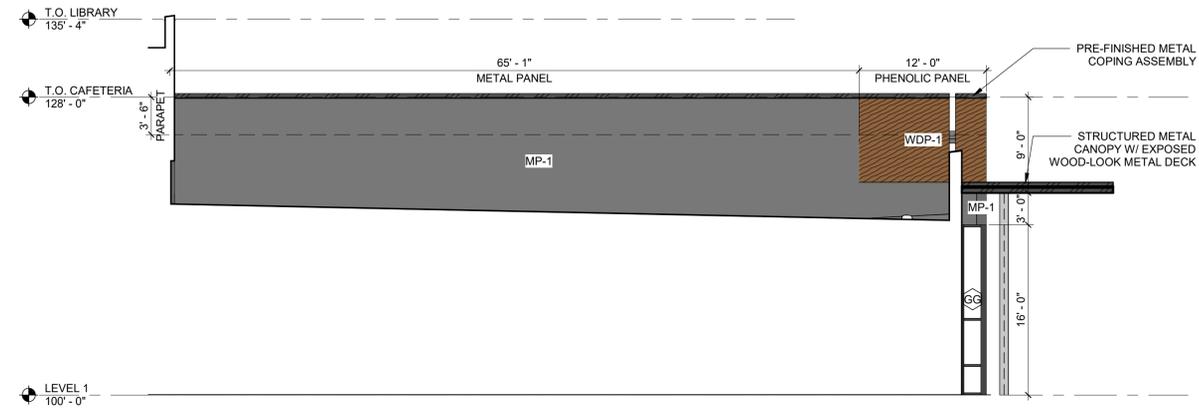
06 EXTERIOR ELEVATION - AREA B - NORTHEAST  
1/8" = 1'-0"



05 EXTERIOR ELEVATION - AREA A - SOUTHWEST  
1/8" = 1'-0"



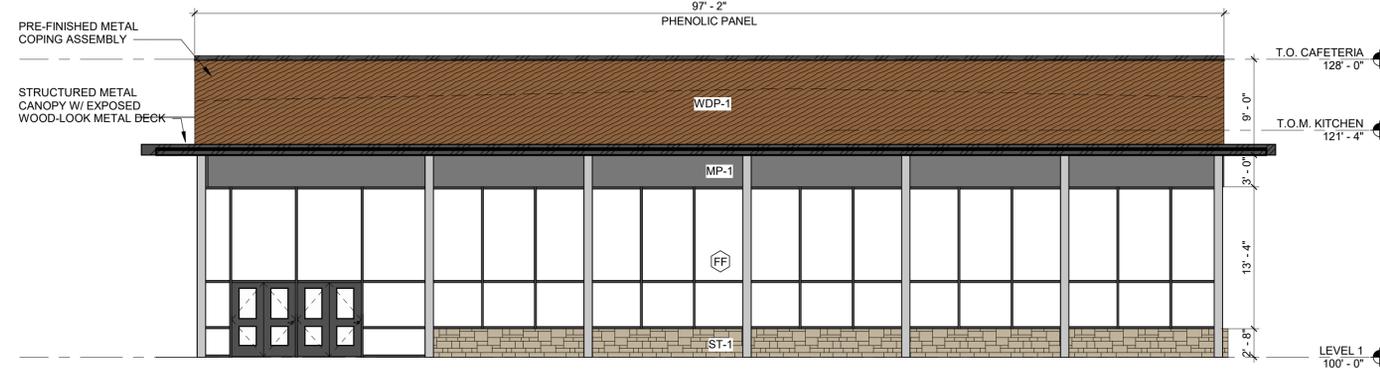
04 EXTERIOR ELEVATION - AREA A - NORTHWEST  
1/8" = 1'-0"



03 EXTERIOR ELEVATION - AREA A - NORTHEAST  
1/8" = 1'-0"



02 EXTERIOR ELEVATION - AREA A - NORTHWEST  
1/8" = 1'-0"



01 EXTERIOR ELEVATION - AREA A - NORTHWEST  
1/8" = 1'-0"

EXT. MATERIALS LEGEND		
	BR-1A	
	BR-1B	
	BR-2	
	MP-1	

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\_\_\_\_\_  
Director of Planning and Zoning

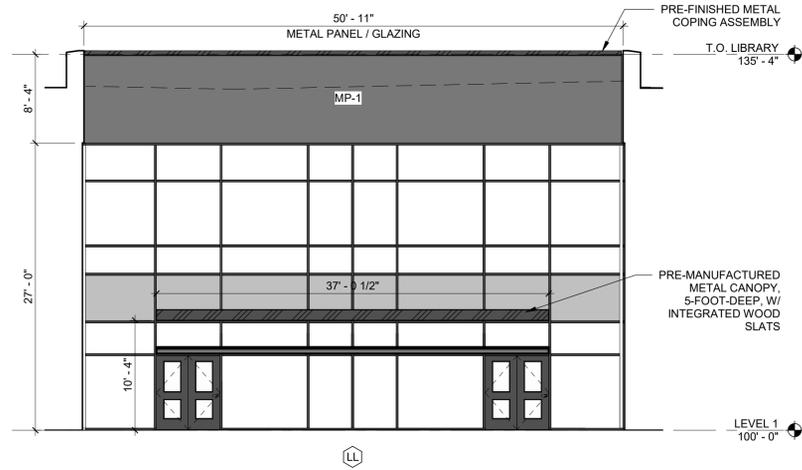


# BUILDING ELEVATIONS

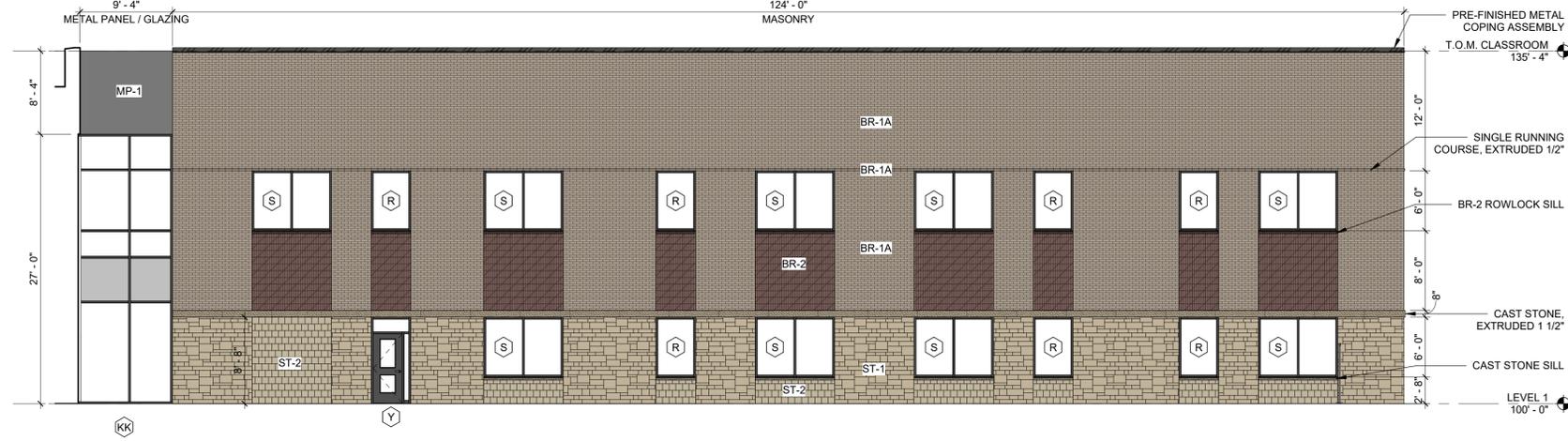
As indicated

This Document was produced by or under the authority of Susan Smith.

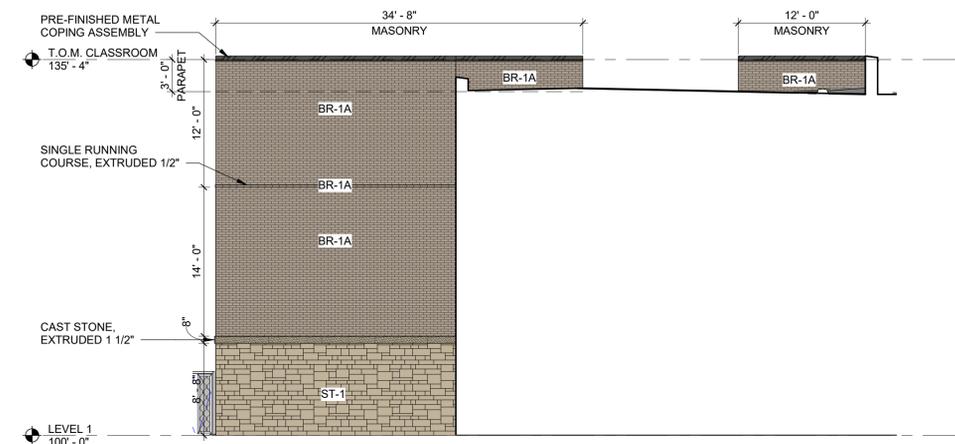
This document is incomplete and may not be used for regulatory approval, permit or construction.



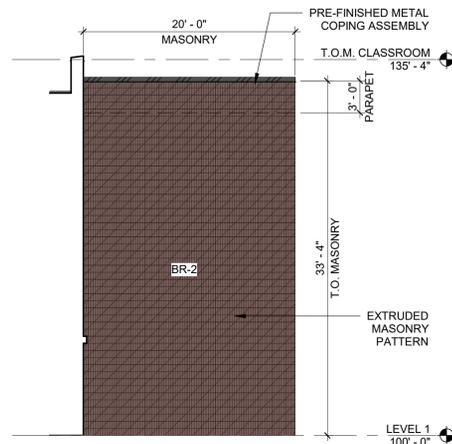
**06** EXTERIOR ELEVATION - AREA A - NORTHEAST  
1/8" = 1'-0"



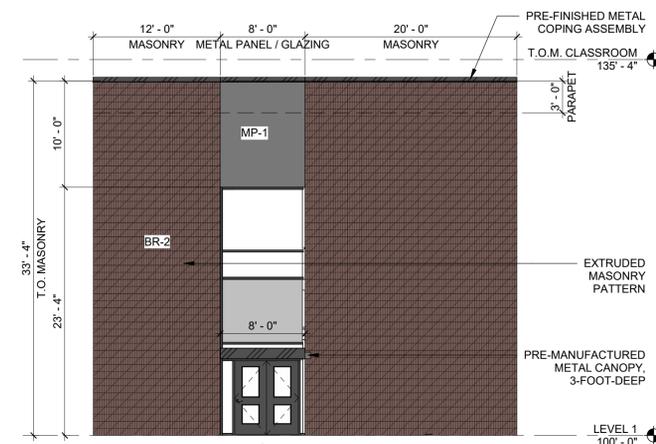
**05** EXTERIOR ELEVATION - AREA B - SOUTHEAST  
1/8" = 1'-0"



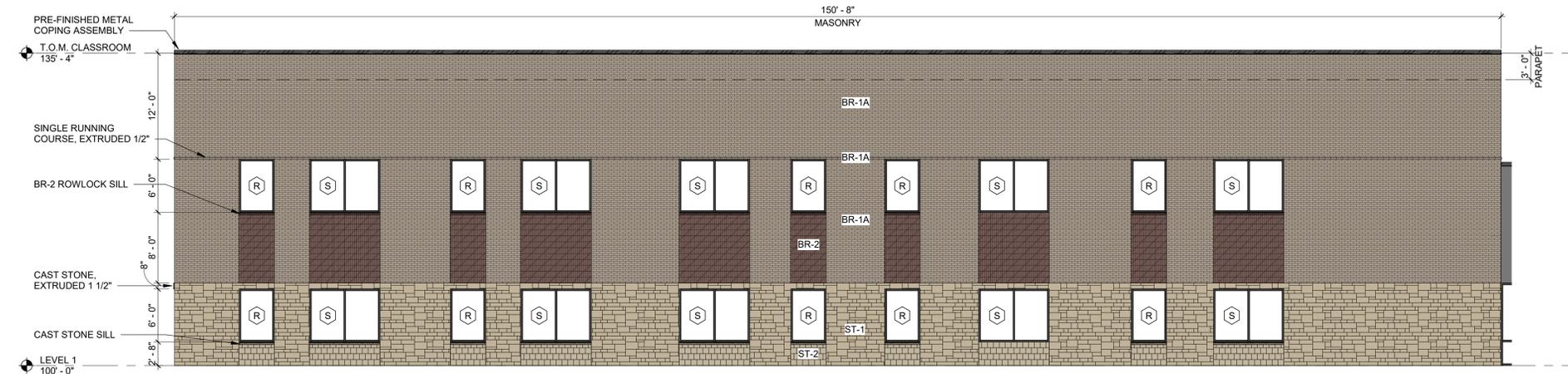
**04** EXTERIOR ELEVATION - AREA B - NORTHEAST  
1/8" = 1'-0"



**03** EXTERIOR ELEVATION - AREA B - SOUTHEAST  
1/8" = 1'-0"



**02** EXTERIOR ELEVATION - AREA B - NORTHEAST  
1/8" = 1'-0"



**01** EXTERIOR ELEVATION - AREA B - NORTHWEST  
1/8" = 1'-0"

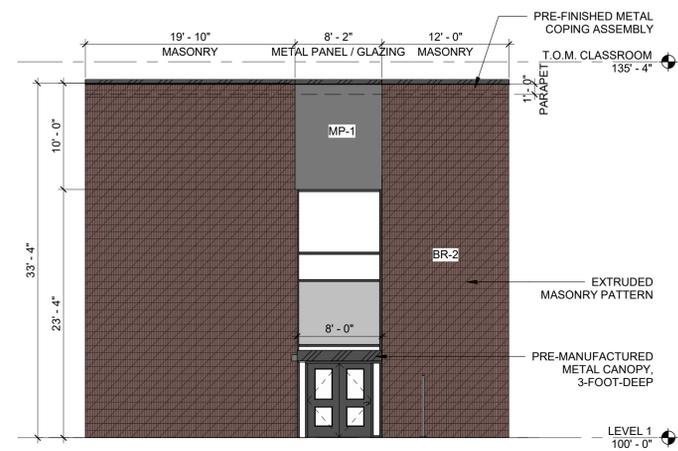
EXT. MATERIALS LEGEND		
	BR-1A	
	BR-1B	
	BR-2	

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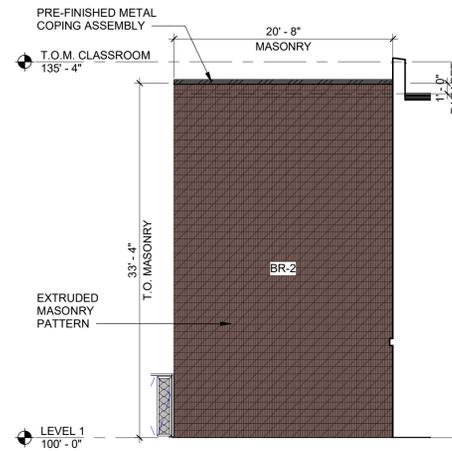
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

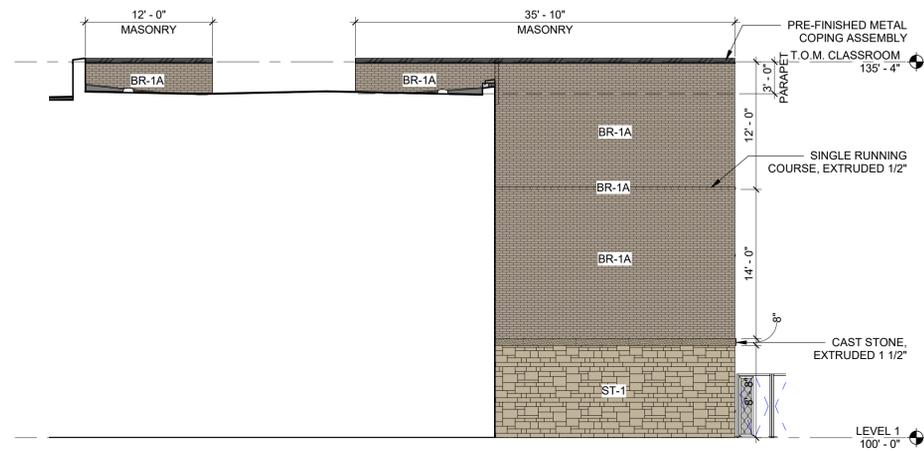




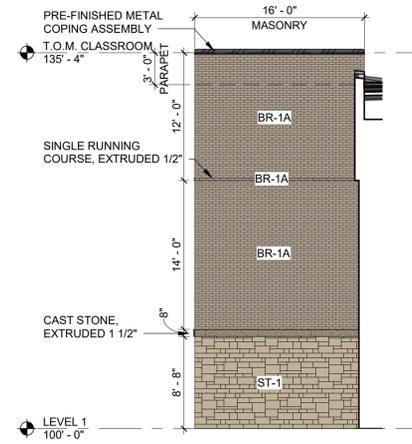
04 EXTERIOR ELEVATION - AREA C - NORTH  
1/8" = 1'-0"



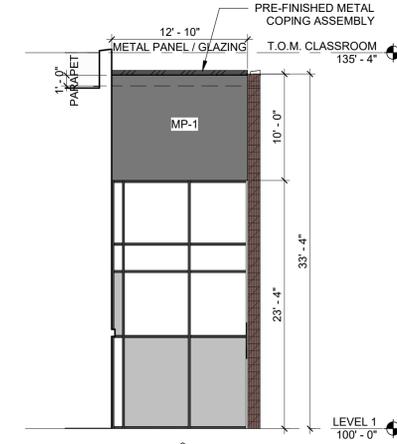
03 EXTERIOR ELEVATION - AREA C - NORTH  
1/8" = 1'-0"



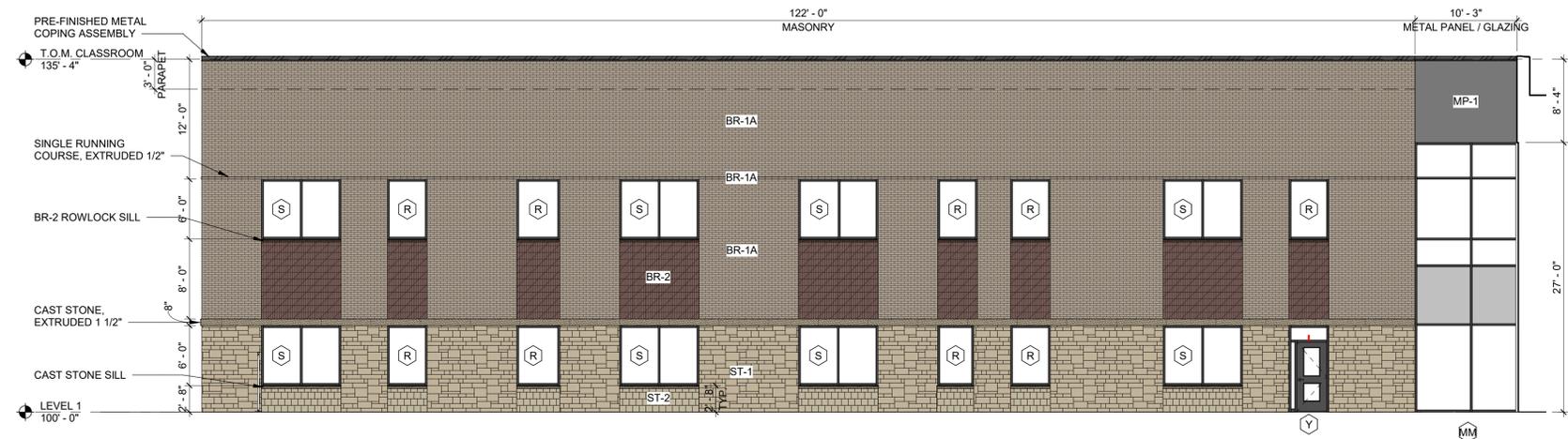
02 EXTERIOR ELEVATION - AREA C - EAST  
1/8" = 1'-0"



06 EXTERIOR ELEVATION - AREA C - EAST  
1/8" = 1'-0"



05 EXTERIOR ELEVATION - AREA C - SOUTH  
1/8" = 1'-0"



01 EXTERIOR ELEVATION - AREA C - NORTH  
1/8" = 1'-0"

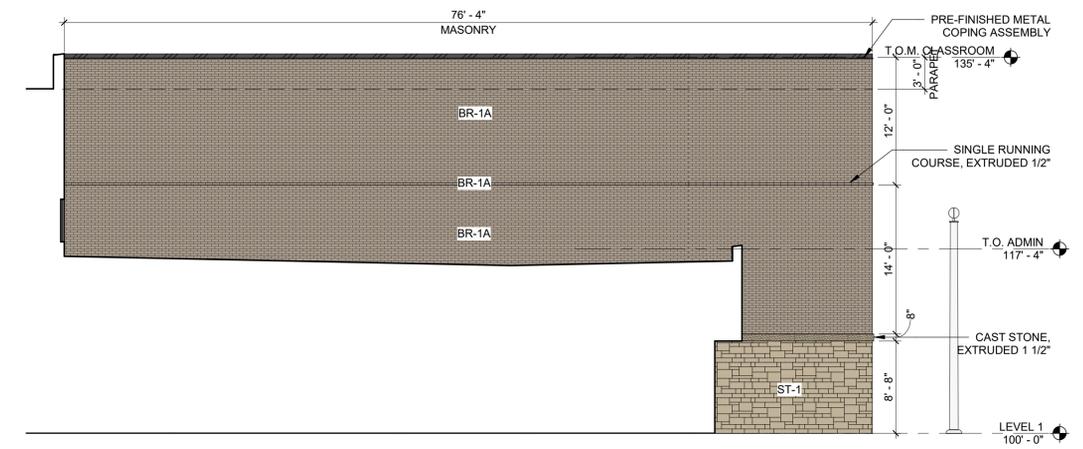
EXT. MATERIALS LEGEND		
	BR-1A	
	BR-1B	
	BR-2	
	MP-1	

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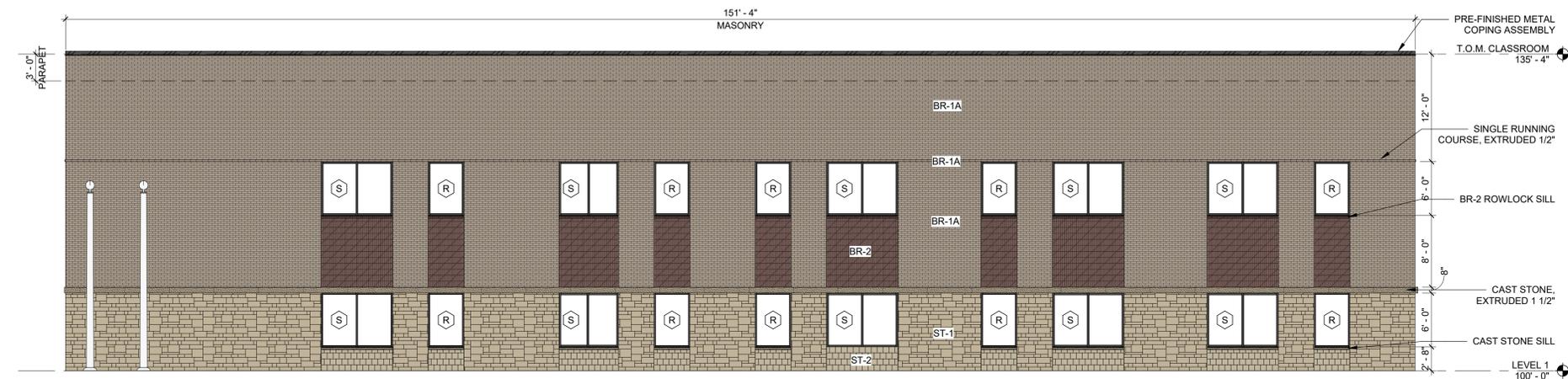
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning





02 EXTERIOR ELEVATION - AREA C - WEST  
1/8" = 1'-0"



01 EXTERIOR ELEVATION - AREA C - SOUTH  
1/8" = 1'-0"

EXT. MATERIALS LEGEND		

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Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



# BUILDING ELEVATIONS

As indicated

**SHEET**  
**CS-10**

**CORGAN**



Main Entry/South Elevation



**North Entry/Elevation**



05 VIEW 04



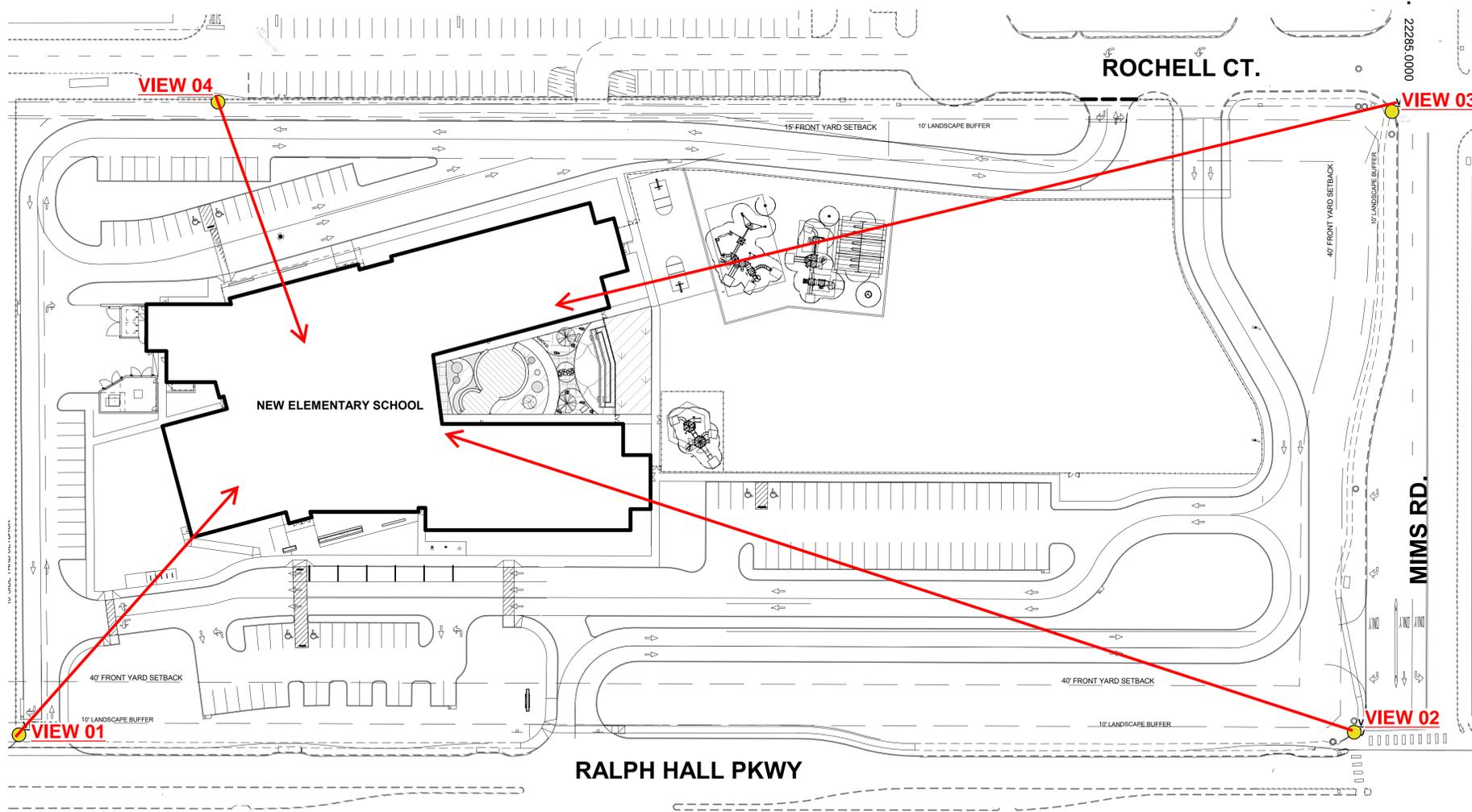
04 VIEW 03



03 VIEW 02



02 VIEW 01



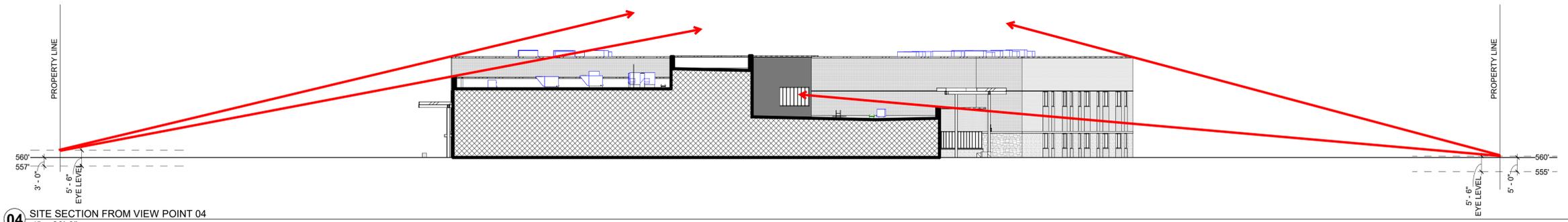
01 SITE PLAN - RTU VISIBILITY KEY PLAN  
1" = 50'-0"

APPROVED:  
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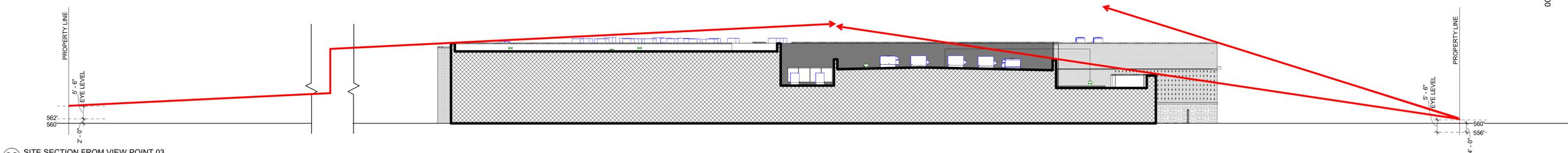
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

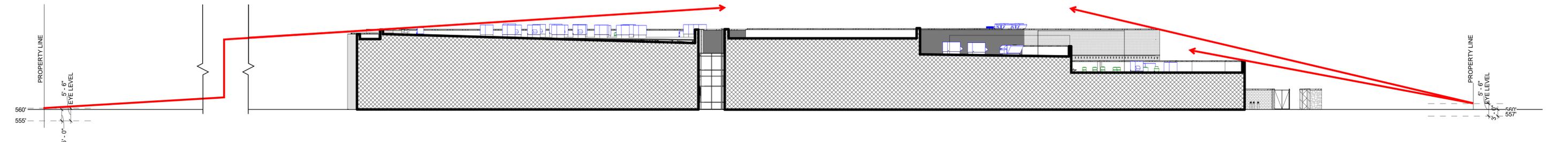




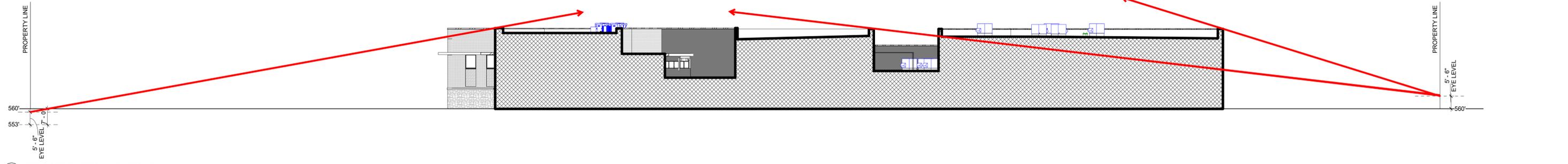
04 SITE SECTION FROM VIEW POINT 04  
1" = 20'-0"



03 SITE SECTION FROM VIEW POINT 03  
1" = 20'-0"



02 SITE SECTION FROM VIEW POINT 02  
1" = 20'-0"



01 SITE SECTION FROM VIEW POINT 01  
1" = 20'-0"

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\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



# RTU VISIBILITY STUDY

1" = 20'-0"

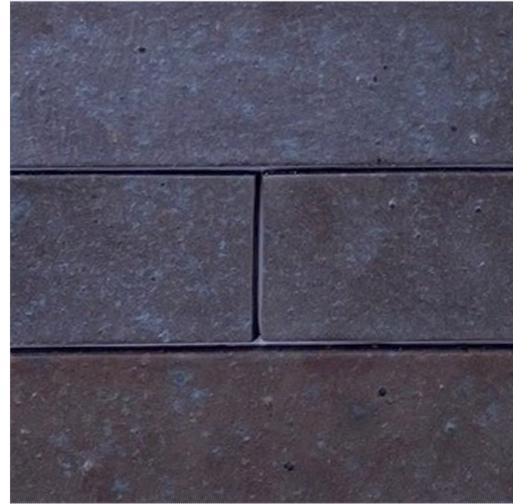
**SHEET CS-12**

**CORGAN**

# ROCKWALL ISD - AMANDA ROCHELL ELEMENTARY SCHOOL



**BR-1** FIELD BRICK



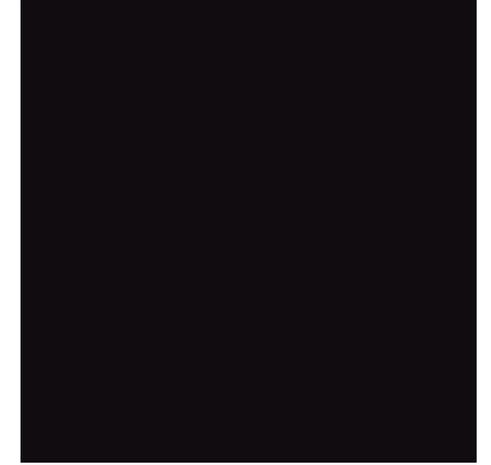
**BR-2** ACCENT BRICK



**WDP-1** PHENOLIC WOOD-LOOK PANEL



**MP-1** METAL PANEL



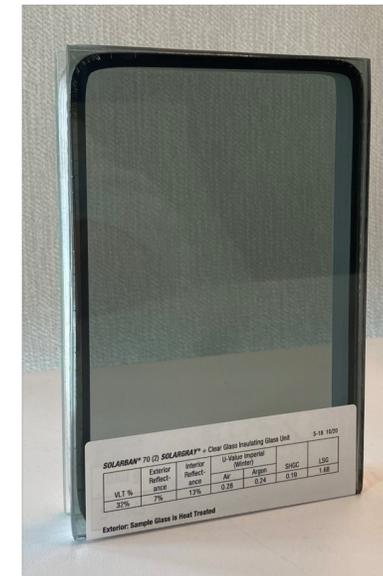
**AL-1** STOREFRONT ALUMINUM



**ST-1** ROUGH FACE STONE



**ST-2** SMOOTH FACE STONE



**GL-1** FIELD GLAZING



**GL-2** SPECIALTY GLAZING

# ROCKWALL ISD - AMANDA ROCHELL ELEMENTARY SCHOOL

FINISH CODE	DESCRIPTION	MANUFACTURER	COLOR
<b>BR-1</b>	FIELD BRICK	HEBRON BRICK CO.	SEA GRAY 12
<b>BR-2</b>	ACCENT BRICK	ENDICOTT CLAY PRODUCTS	DARK IRONSPOT SMOOTH
<b>ST-1</b>	ROUGH FACE STONE	BLACKSON BRICK	BLANCO ANTIQUE
<b>ST-2</b>	SMOOTH FACE STONE	BLACKSON BRICK	CREAM HONED
<b>WDP-1</b>	PHENOLIC WOOD-LOOK PANEL	FUNDERMAX	CREEK - NT
<b>MP-1</b>	METAL PANEL	PAC-CLAD	MUSKEY GRAY
<b>AL-1</b>	STOREFRONT ANODIZED ALUMINUM	KAWNEER	BLACK </td
<b>GL-1</b>	INSULATED GLAZING UNIT	VITRO	GRAY TINT + CLEAR
<b>GL-2</b>	INSULATED GLAZING UNIT	VITRO	GRAY TINT + R77 REFLECTIVE



**ISSUES**

1	12.06.22	PERMIT SET
2		
3		
4		
5		
6		

**REVISIONS**


THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

**RAMSEY LANDSCAPE ARCHITECTS, LLC**

11914 WISHING WELL CT.  
FRISCO, TEXAS 75035  
PHONE (972) 335-0889  
FAX (469) 302-5433  
EMAIL: MIKE.RLA@ATT.NET

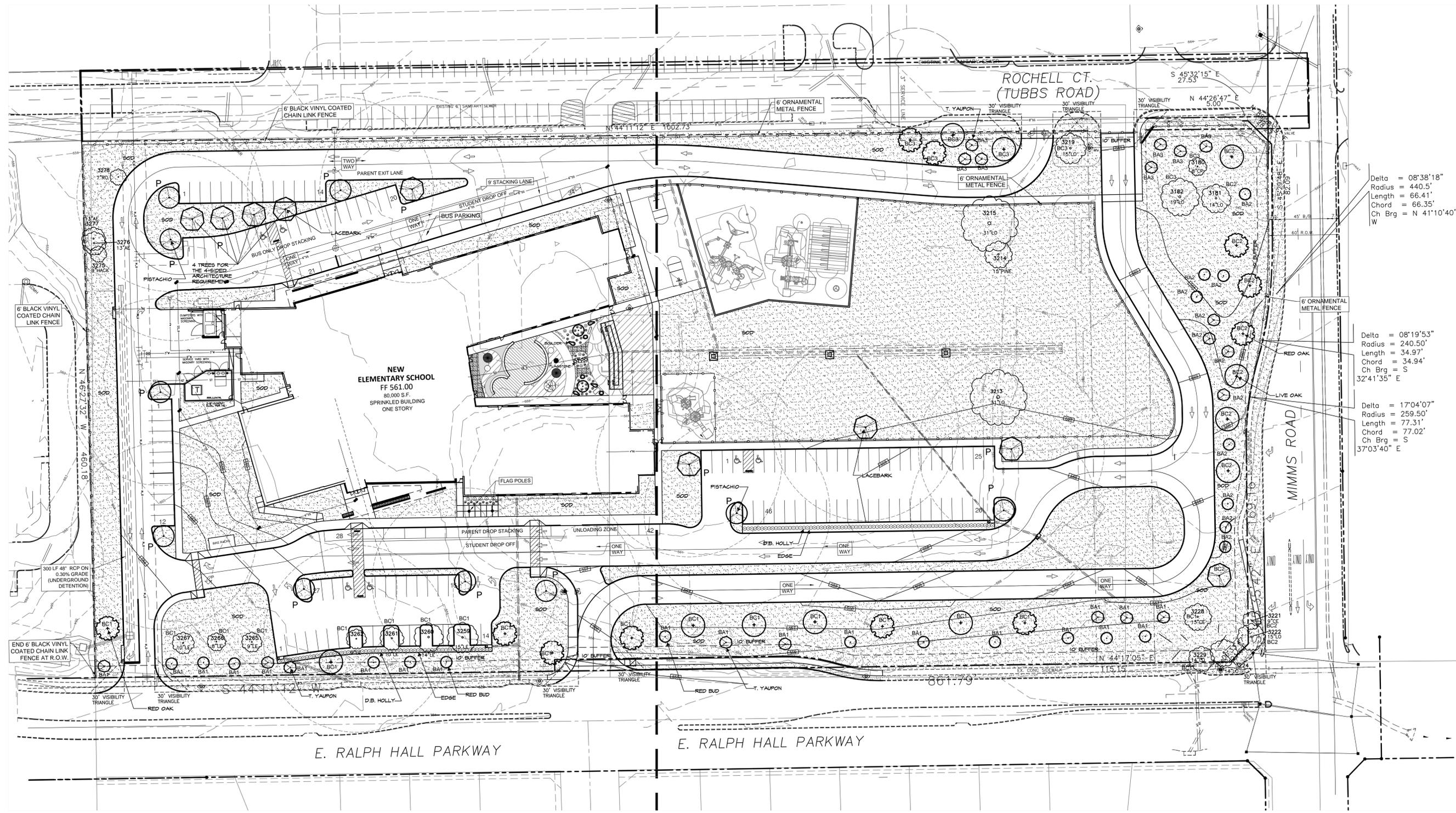
**Rochell Elementary School Replacement**

899 Rochell Ct.  
Rockwall, TX 75032

**OVERALL LANDSCAPE PLAN**

**JOB** 22285.0000  
**DATE** 12/06/2022  
**SHEET**

L 1



Delta = 08°38'18"  
Radius = 440.5'  
Length = 66.41'  
Ch Brg = N 41°10'40"  
W

Delta = 08°19'53"  
Radius = 240.50'  
Length = 34.97'  
Ch Brg = S  
32°41'35" E

Delta = 17°04'07"  
Radius = 259.50'  
Length = 77.31'  
Ch Brg = S  
37°03'40" E

**LEGEND**

EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PUBLIC SCHOOL
LOT AREA	462,835 S.F. OR 10.6252 AC.
BUILDING AREA (FLOOR AREA)	55,325 S.F.
PROPOSED FIRST FLOOR	21,575 S.F.
PROPOSED SECOND FLOOR	76,900 S.F.
TOTAL BUILDING AREA	55,325 S.F.
TOTAL FLOOR AREA (FIRST FLOOR)	55,325 S.F. (482,835 S.F. = 12.0%)
LOT COVERAGE	0.121
FLOOR AREA RATIO	216,929 S.F. OR 4.98 AC.
TOTAL IMPERVIOUS AREA	33' - 4" (2 STORY)
BUILDING HEIGHT	642 STUDENT
STUDENT CAPACITY (K-6) DESIGN	650 STUDENT
STUDENT CAPACITY (K-6) EXISTING	27 SPACES
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	642 STUDENT / 1 PER 25 STUDENTS = 25.68 (27) SPACES REQUIRED
PARKING PROVIDED	92 SPACES
PARKING SURFACE	27 SPACES
9.0' x 18.0'	
9.0' x 20.0' PARALLEL	
TOTAL PARKING PROVIDED	119 SPACES



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Planning & Zoning Commission, Chairman      Director of Planning and Zoning

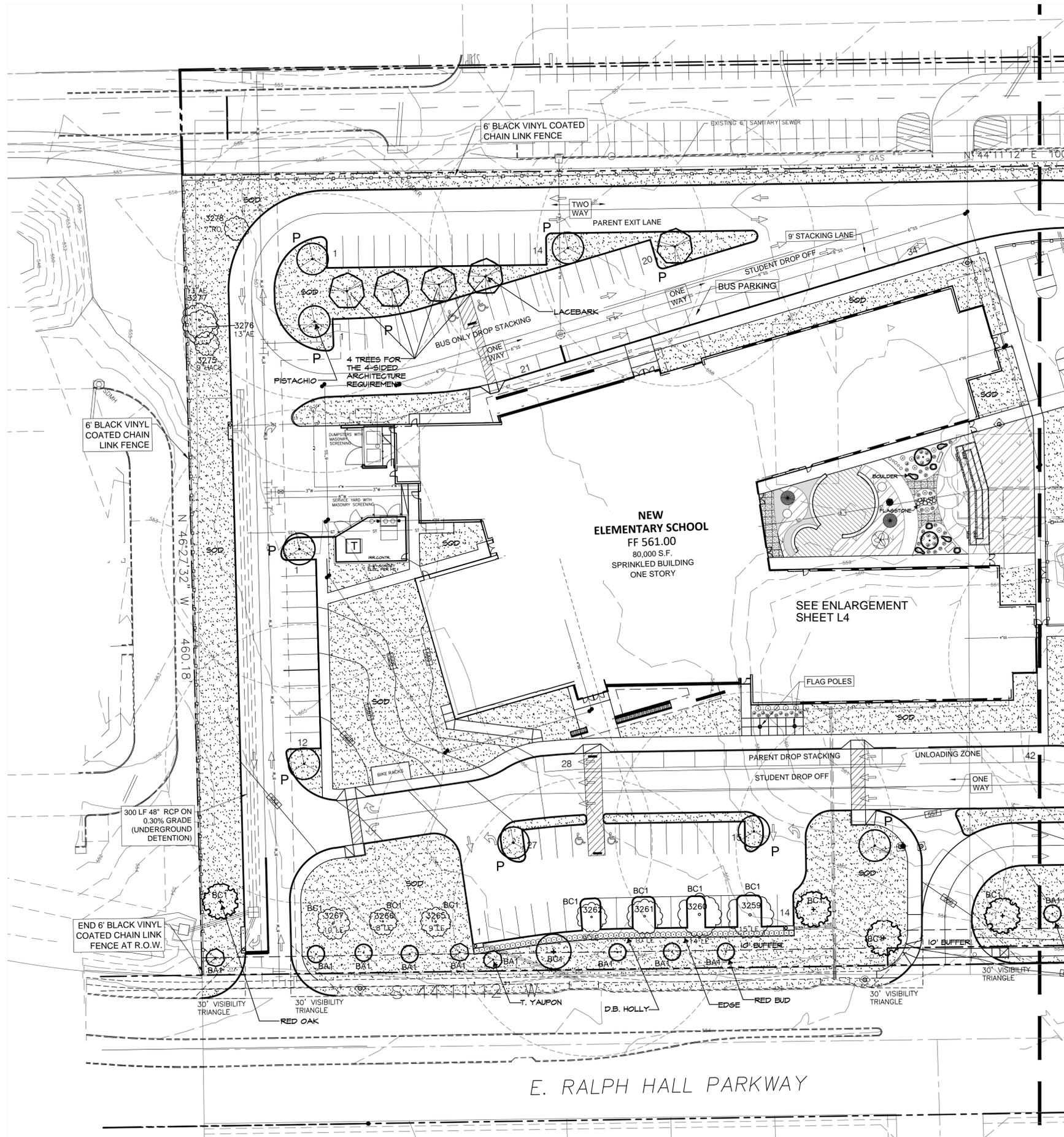
AMANDA ROCHELL ELEMENTARY SCHOOL  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:  
ROCKWALL ISD  
801 E. WASHINGTON ST.  
ROCKWALL, TEXAS 75087  
(972) 771-0605  
CONTACT: JAMES WATSON

SURVEYOR:  
BOWMAN  
1200 W. MAGNOLIA BLVD.  
SUITE 300  
FORT WORTH, TEXAS 76104  
(214) 484-8586  
CONTACT: ROBERT HANSEN

ENGINEER:  
GLENN ENGINEERING CORP.  
4500 FULLER DR.  
IRVING, TEXAS 75038  
(972) 717-5151  
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-061



MATCHLINE SEE SHEET L3

ISSUES	
1	12.06.22 PERMIT SET
2	
3	
4	
5	
6	

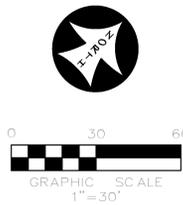
REVISIONS	

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 11914 WISHING WELL CT.  
 FRISCO, TEXAS 75035  
 PHONE (972) 335-0889  
 FAX (469) 362-5433  
 EMAIL: MIKE.RLA@ATT.NET

# Rochell Elementary School Replacement

899 Rochell Ct.  
Rockwall, TX 75032



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 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

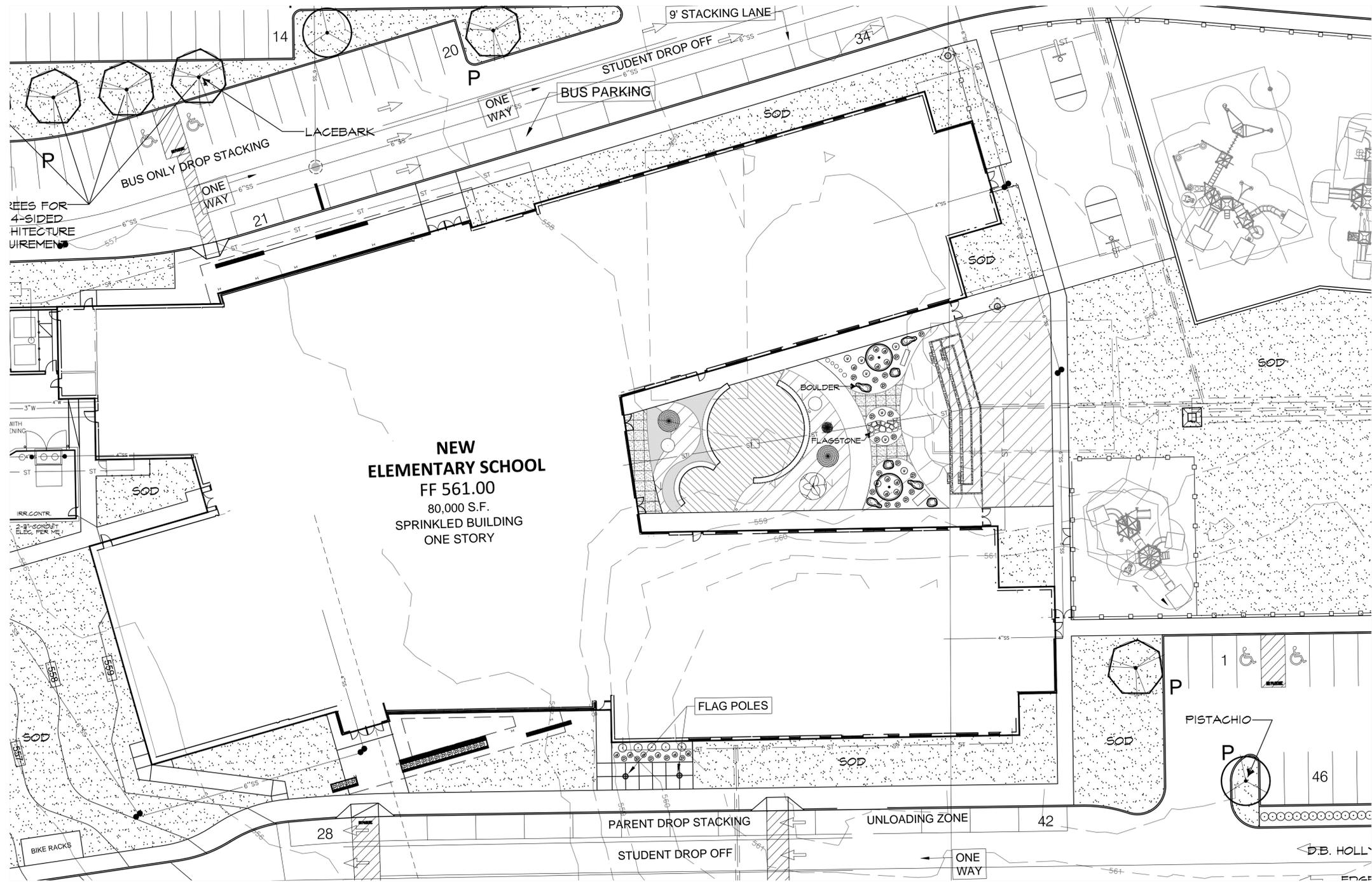
**AMANDA ROCHELL ELEMENTARY SCHOOL**  
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 SUITE 300  
 FORT WORTH, TEXAS 76104  
 (214) 484-8586  
 CONTACT: ROBERT HANSEN





**NEW  
ELEMENTARY SCHOOL**  
FF 561.00  
80,000 S.F.  
SPRINKLED BUILDING  
ONE STORY

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\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**AMANDA ROCHELL ELEMENTARY SCHOOL**  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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CITY OF ROCKWALL CASE NO. SP2022-061



**CORGAN**

CORGAN  
www.corgan.com  
T: 214.748.2000

**ISSUES**

1	12.06.22	PERMIT SET
2		
3		
4		
5		
6		

**REVISIONS**


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MICHAEL RAMSEY  
REGISTERED LANDSCAPE  
ARCHITECT #1901.  
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899 Rochell Ct.  
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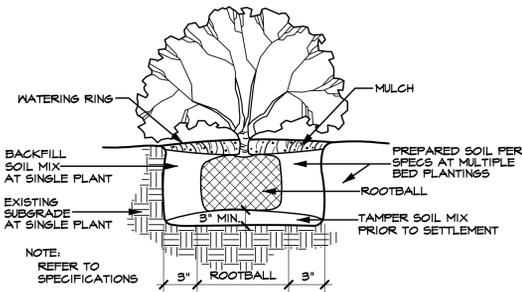
**LANDSCAPE  
ENLARGEMENT**

**JOB** 22285.0000  
**DATE** 12/06/2022  
**SHEET**

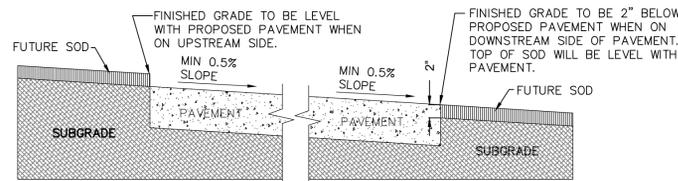
L 4

**LANDSCAPE TABULATIONS**

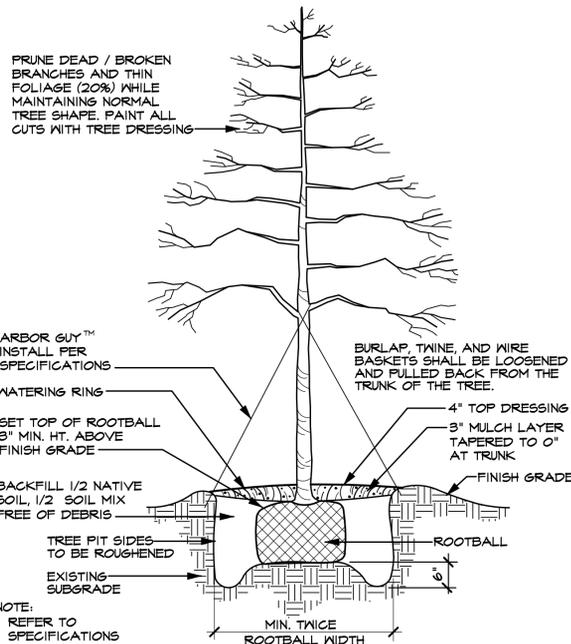
<b>STREET BUFFER</b>	
10' BUFFER, 1 SHADE AND 1 ORN. TREE PER 50 LF	
E. RALPH HALL PKWY. STREET BUFFER REQUIRED	10' BUFFER
BUFFER PROVIDED	10' BUFFER
E. RALPH HALL PKWY. BUFFER TREES REQUIRED (490 LF/50 LF = )	20 TREES
TREES PROVIDED (EX. 5 ORN. 10 SH., PROP. 15 ORN. 10 SH.)	20 CANOPY/20 ACCENT
	BC1 CANOPY BA1 ACCENT
<b>MIMMS ROAD STREET BUFFER REQUIRED</b>	
BUFFER PROVIDED	10' BUFFER
MIMMS ROAD BUFFER TREES REQUIRED (460 LF/50 LF = )	10 TREES
TREES PROVIDED (EX. 10 ORN. 3 SH., PROP. 0 ORN. 3 SH.)	10 CANOPY/10 ACCENT
	BC2 CANOPY BA2 ACCENT
<b>ROCHELL CT (TUBBS ROAD) STREET BUFFER REQUIRED</b>	
BUFFER PROVIDED	10' BUFFER
TUBBS ROAD BUFFER TREES REQUIRED (310 LF/50 LF = )	7 TREES
TREES PROVIDED (EX. 2 ORN. 2 SH., PROP. 5 ORN. 5 SH.)	7 CANOPY/7 ACCENT
	BC3 CANOPY BA3 ACCENT
<b>PARKING LOT LANDSCAPING</b>	
LOT WITH 2 ROWS HAVE GREATER OF 5% OR 200 SF LANDSCAPE, IF LOT OVER 20,000 SF 1 LG TREE PER 10 SPACES INTERIOR TO LOT, MAX 80 LF FROM TREE TO SPACE.	
PARKING SPACES	119 SPACES
PARKING LANDSCAPE REQUIRED (27,010 SF X 5% = )	2,251 SF
PARKING LANDSCAPE PROVIDED	3,345 SF
PARKING TREES REQUIRED (119 SPACES / 10 = )	12 TREES
PARKING TREES PROVIDED	P 12 TREES
<b>AMOUNT OF LANDSCAPING</b>	
% LANDSCAPE BY ZONING, COMMERCIAL 15%, 50% LOCATED FRONT AND SIDE, DETENTION LANDSCAPED GRASSES, SHRUBS, TREES IN NATURAL MANNER, 1 TREE PER 750 SF OF DRY LAND AREA.	
SITE AREA	462,835 SF
SITE LANDSCAPE REQUIRED (462,835 SF X 15% = )	69,425 SF
SITE LANDSCAPE PROVIDED	214,810 SF
% LANDSCAPE PROVIDED FRONT/SIDE	(243%) 162,700 SF
SITE IMPERVIOUS AREA	216,924 SF
<b>TREE MITIGATION</b>	
REFERENCE TREESCPE PLANS ('TS' SHEETS)	
ALL REQUIRED LANDSCAPE AREAS TO RECEIVE AUTOMATIC UNDERGROUND IRRIGATION WITH RAIN AND FREEZE PROTECTION TO MEET REQUIREMENTS OF UDC.	



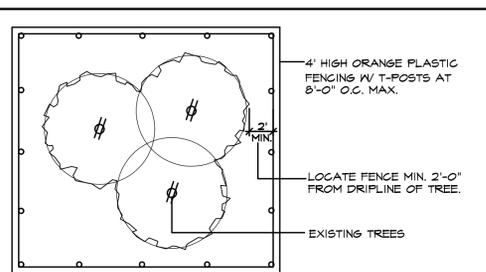
**SHRUB PLANTING DETAIL (TYPICAL)**  
SCALE: N.T.S.



**GRADING DETAIL FOR PAVEMENT WITHOUT CURB**  
SCALE: N.T.S.



**TREE PLANTING DETAIL (TYPICAL)**  
SCALE: N.T.S.



- EXISTING TREES WITHIN CONTRACT LIMITS ARE SHOWN ON THE DRAWINGS. EXISTING TREES DESIGNATED FOR REMOVAL SHALL BE FLAGGED AT THE PROJECT SITE WITH FLAGGING BY THE CONTRACTOR.
- PROTECT ALL INDIVIDUAL TREES OR GROUPS OF TREES TO BE PRESERVED BY ERECTING A BARRIER AROUND EACH TREE OR GROUP OF TREES. INSTALL AND MAINTAIN BARRIER AT TREE DRIPLINE. BARRIERS SHALL REMAIN IN PLACE UNTIL REMOVAL IS NECESSARY.
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- CONTRACTORS SHALL NOT PARK, CLEAN TOOLS AND EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINE OF ANY TREE.
- ALL ROOTS OVER 1" IN DIAMETER SHALL BE CUT CLEAN WITH A HAND SAW.

**TREE PROTECTION FENCE AND NOTES**  
SCALE: N.T.S.

TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
11	(Symbol: Circle with cross)	LIVE OAK	Live Oak	Quercus virginiana	4" caliper, 12'-14' Ht./ 5'-6' spread, B&B straight trunk full rounded canopy
11	(Symbol: Circle with cross and wavy edge)	RED OAK	Shumard Red Oak	Quercus shumardii	4" caliper, 12'-14' Ht./ 5'-6' spread, B&B straight trunk full rounded canopy
9	(Symbol: Circle with cross and wavy edge)	LACEBARK	Lacebark Elm	Ulmus parvifolia	4" caliper, 12'-14' Ht./ 5'-6' spread, B&B straight trunk full rounded canopy
10	(Symbol: Circle with cross and wavy edge)	PISTACHIO	Chinese Pistachio	Pistacia chinensis	4" caliper, 12'-14' Ht./ 5'-6' spread, B&B straight trunk full rounded canopy
19	(Symbol: Circle with cross and wavy edge)	T. YAUPON	Yaupon Holly	Ilex vomitoria	3/4" caliper per trunk, 5 trunk min., 6' Ht./4' spread, container, female - heavy berried tree form, limbed to 3'
23	(Symbol: Circle with cross and wavy edge)	RED BUD	Oklahoma Red Bud	Cercis canadensis 'oklahoma'	5'-6' Ht., 3'-4' spread, container

SHRUBS					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
40	(Symbol: Circle with cross)	D. FOUNTAIN	Dwarf Fountain Grass	Fennisetum alopecuroides 'hamlin'	5 gallon
16	(Symbol: Circle with cross)	D.Y. HOLLY	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	5 gallon, 16" Ht./14" spread, bushy, full to ground
139	(Symbol: Circle with cross)	D.B. HOLLY	Dwarf Burford Holly	Ilex cornuta 'Nana'	5 gallon, 20" Ht./16" spread, bushy, full to ground
8	(Symbol: Circle with cross)	RED YUCCA	Red Yucca	Hesperaloe parviflora	5 gallon

GROUNDCOVER					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	(Symbol: Square with dots)	SOD	Common Bermuda Grass	Cynodon dactylon	Sod refer to specifications

MISCELLANEOUS					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	(Symbol: Line)	EDGE	L.F. Ryerson steel edge, 1/8" x 4" with 12" stakes, black color adjacent to beds with rock, green at shrubs on berms.		
7	(Symbol: Circle with cross)	BOULDER	600 to 800 pounds each BROWN MOSS BOULDERS		
AS SHOWN	(Symbol: Square with dots)	FLAGSTONE	2" THICK BROWN FLAGSTONE MIN. SIZE 24" x 24"		For pedestrian use. Must be well seated. Need barrier below stone. Max. gap 2" between stones. Infill with wood mulch.

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2022. WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

AMANDA ROCHELL ELEMENTARY SCHOOL  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD 801 E. WASHINGTON ST. ROCKWALL, TEXAS 75087 (972) 771-0605 CONTACT: JAMES WATSON

SURVEYOR: BOWMAN 1200 W. MAGNOLIA BLVD. SUITE 300 FORT WORTH, TEXAS 76104 (214) 484-8586 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP. 4500 FULLER DR. IRVING, TEXAS 75038 (972) 717-5151 CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-061

**CORGAN**  
www.corgan.com  
T: 214.748.2000

**ISSUES**

1	12.06.22	PERMIT SET
2		
3		
4		
5		
6		

**REVISIONS**

1		
2		
3		
4		
5		
6		

THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

**RAMSEY LANDSCAPE ARCHITECTS, LLC**

11914 WISHING WELL CT.  
FRISCO, TEXAS 75035  
PHONE (972) 335-0889  
FAX (469) 302-5433  
EMAIL: MIKE.RLA@ATT.NET

**Rochell Elementary School  
Replacement**

899 Rochell Ct.  
Rockwall, TX 75032

**LANDSCAPE DETAILS**

**JOB** 22285.0000  
**DATE** 12/06/2022  
**SHEET**

**L 5**

**ISSUES**

1	12.06.22	PERMIT SET
2		
3		
4		
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**REVISIONS**


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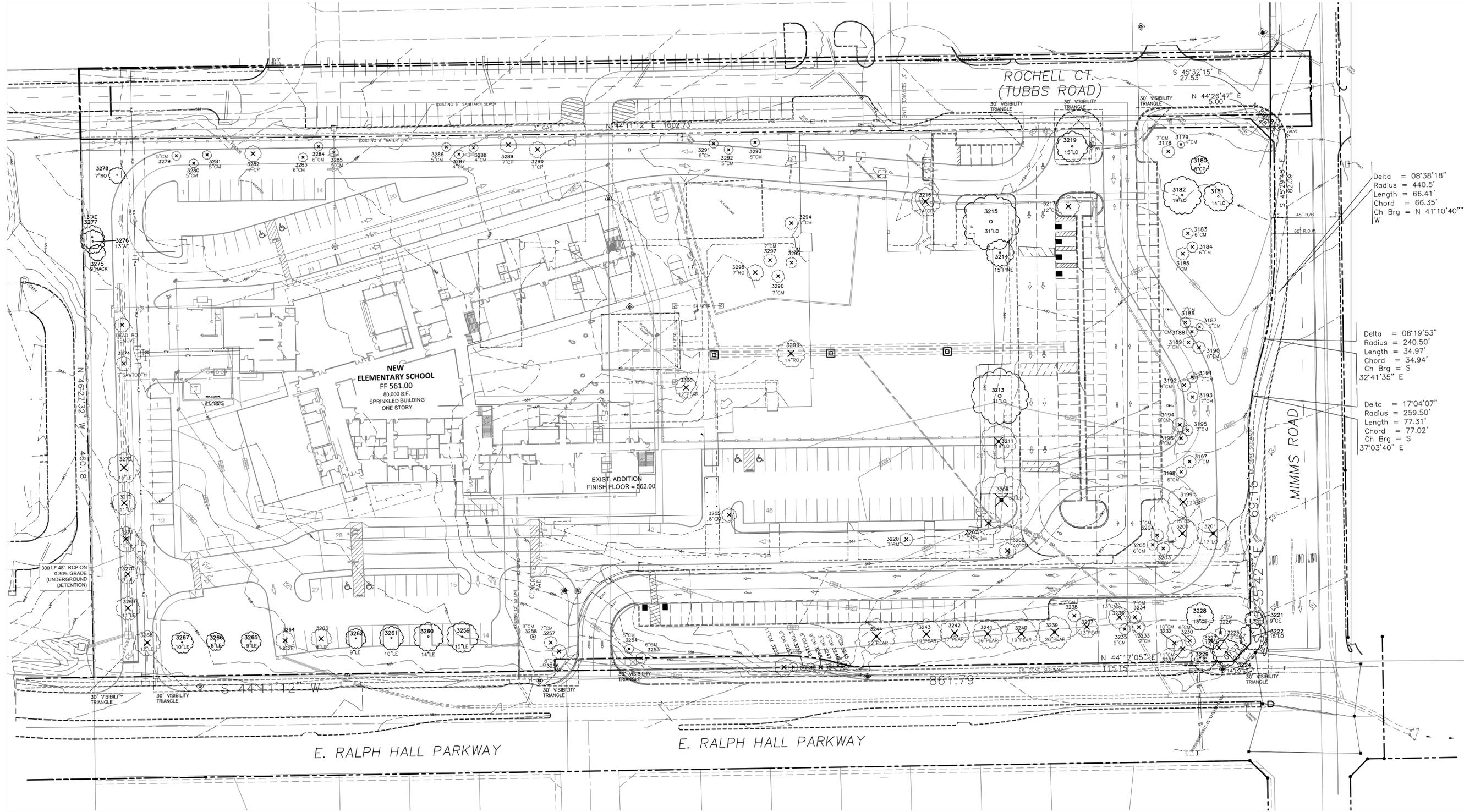
**Rochell Elementary School Replacement**

899 Rochell Ct.  
Rockwall, TX 75032

**TREESCAPE PLAN**

**JOB** 22285.0000  
**DATE** 12/06/2022  
**SHEET**

**TS 1**



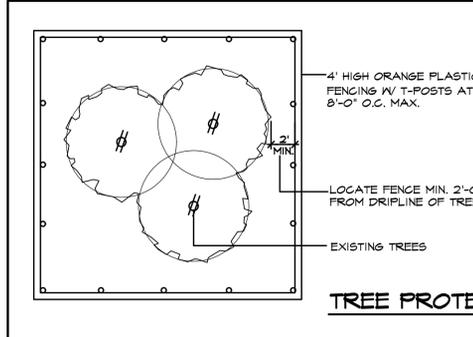
Delta = 08°38'18"  
Radius = 440.5'  
Length = 66.41'  
Chord = 66.35'  
Ch Brg = N 41°10'40" W

Delta = 08°19'53"  
Radius = 240.50'  
Length = 34.97'  
Chord = 34.94'  
Ch Brg = S 32°41'35" E

Delta = 17°04'07"  
Radius = 259.50'  
Length = 77.31'  
Chord = 77.02'  
Ch Brg = S 37°03'40" E

**LEGEND**

EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PUBLIC SCHOOL
LOT AREA	462,835 S.F. OR 10.6252 AC.
BUILDING AREA (FLOOR AREA)	55,325 S.F.
PROPOSED FIRST FLOOR	21,575 S.F.
PROPOSED SECOND FLOOR	76,900 S.F.
TOTAL FLOOR AREA (FIRST FLOOR)	55,325 S.F.
LOT COVERAGE	55,325 S.F. / 462,835 S.F. = 12.0%
FLOOR AREA RATIO	0.12:1
TOTAL IMPERVIOUS AREA	216,929 S.F. OR 4.98 AC.
BUILDING HEIGHT	35'-4" (2 STORIES)
STUDENT CAPACITY (K-6) DESIGN	642 STUDENT
STUDENT CAPACITY (K-6) EXISTING	650 STUDENT
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	27 SPACES
642 STUDENT, 1 PER 25 STUDENTS = 25.68 (27) SPACES REQUIRED	
PARKING PROVIDED	
PARKING SURFACE	
9'0" x 18'0"	92 SPACES
9'0" x 20'0" PARALLEL	27 SPACES
TOTAL PARKING PROVIDED	119 SPACES



- TREE PROTECTION FENCE AND NOTES**  
SCALE: N.T.S.
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**EXISTING TREE LEGEND**

	3467	EXISTING TREE TO BE SAVED
	3468	EXISTING TREE TO BE REMOVED



SEE SHEET TS2 FOR TREE CHART

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2022. WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Planning & Zoning Commission, Chairman      Director of Planning and Zoning

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IRVING, TEXAS 75038  
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CITY OF ROCKWALL CASE NO. SP2022-061

TREE TABLE A									
Tag #	SIZE/TYPE	TREE HEALTH	DISEASE	INSECT	STRUCTURAL	SAVE/REM	MITIGATE	CREDIT	
3178	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3179	4" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3180	8" CHIN. PISTACHE	3	N	N	N	SAVE	0	0	
3181	17" LIVE OAK	5	N	N	N	SAVE	0	0	
3182	19" LIVE OAK	5	N	N	N	SAVE	0	0	
3183	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3184	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3185	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3186	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3187	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3188	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3189	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3190	8" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3191	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3192	8" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3193	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3194	9" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3195	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3196	8" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3197	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3198	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3199	17" LIVE OAK	5	N	N	N	REMOVE	17	0	
3200	15" LIVE OAK	5	N	N	N	REMOVE	15	0	
3201	17" LIVE OAK	5	N	N	N	REMOVE	17	0	
3203	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3204	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3205	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3206	10" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3207	14" PINE	4	N	N	N	REMOVE	14	0	
3208	30" LIVE OAK	5	N	N	N	REMOVE	60	0	
3211	19" LIVE OAK	5	N	N	N	REMOVE	19	0	
3213	31" LIVE OAK	5	N	N	N	SAVE	0	31	
3214	15" PINE	4	N	N	N	SAVE	0	0	
3215	31" LIVE OAK	5	N	N	N	SAVE	0	31	
3216	14" CHIN. PISTACHE	5	N	N	N	REMOVE	14	0	
3217	12" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3219	15" LIVE OAK	5	N	N	N	SAVE	0	0	
3220	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3221	9" CEDAR ELM	5	N	N	N	SAVE	0	0	
3222	15" LIVE OAK	4	N	N	N	SAVE	0	0	
3224	14" LIVE OAK	5	N	N	N	SAVE	0	0	
3225	12" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3226	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3227	10" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3228	13" CEDAR ELM	5	N	N	N	SAVE	0	0	
3229	14" LIVE OAK	4	N	N	N	SAVE	0	0	
3230	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3231	11" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3232	10" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3233	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3234	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3235	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3236	13" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
TREE TABLE A SUBTOTAL							-156	+62	

TREE TABLE B									
Tag #	Size/Type	TREE HEALTH	DISEASE	INSECT	STRUCTURAL	SAVE/REM	MITIGATE	CREDIT	
3237	13" CALLERY PEAR	2	N	N	N	REMOVE	0 EXEMPT	0	
3238	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3239	20" CALLERY PEAR	2	N	N	N	REMOVE	0 EXEMPT	0	
3240	19" CALLERY PEAR	2	N	N	N	REMOVE	0 EXEMPT	0	
3241	16" CALLERY PEAR	2	N	N	N	REMOVE	0 EXEMPT	0	
3242	17" CALLERY PEAR	2	N	N	N	REMOVE	0 EXEMPT	0	
3243	19" CALLERY PEAR	2	N	N	N	REMOVE	0 EXEMPT	0	
3244	22" CALLERY PEAR	2	N	N	N	REMOVE	0 EXEMPT	0	
3245	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3246	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3247	3" CREPE MYRTLE	5	N	N	N	REMOVE	EXEMPT	0	
3248	9" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3249	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3250	2" CREPE MYRTLE	5	N	N	N	REMOVE	EXEMPT	0	
3251	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3252	11" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3253	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3254	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3255	8" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3256	8" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3257	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3258	3" CREPE MYRTLE	5	N	N	N	REMOVE	EXEMPT	0	
3259	15" LACEBARK ELM	5	N	N	N	SAVE	0	0	
3260	14" LACEBARK ELM	5	N	N	N	SAVE	0	0	
3261	10" LACEBARK ELM	5	N	N	N	SAVE	0	0	
3262	9" LACEBARK ELM	5	N	N	N	SAVE	0	0	
3263	8" LACEBARK ELM	3	N	N	N	REMOVE	8	0	
3264	8" CEDAR ELM	5	N	N	N	REMOVE	8	0	
3265	8" LACEBARK ELM	5	N	N	N	SAVE	0	0	
3266	8" LACEBARK ELM	5	N	N	N	SAVE	0	0	
3267	10" LACEBARK ELM	5	N	N	N	SAVE	0	0	
3268	12" LACEBARK ELM	5	N	N	N	REMOVE	12	0	
3269	11" LACEBARK ELM	4	N	N	N	REMOVE	11	0	
3270	9" LACEBARK ELM	5	N	N	N	REMOVE	9	0	
3271	12" LACEBARK ELM	5	N	N	N	REMOVE	12	0	
3272	11" LACEBARK ELM	5	N	N	N	REMOVE	11	0	
3273	15" LACEBARK ELM	5	N	N	N	REMOVE	15	0	
3274	7" SAWTOOTH OAK	5	N	N	N	REMOVE	7	0	
3275	9" HACKBERRY	5	N	N	N	SAVE	0	0	
3276	13" AMERICAN ELM	5	N	N	N	SAVE	0	0	
3277	13" AMERICAN ELM	5	N	N	N	SAVE	0	0	
3278	7" RED OAK	5	N	N	N	SAVE	0	0	
3279	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3280	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3281	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3282	7" CHIN. PISTACHE	5	N	N	N	REMOVE	7	0	
3283	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3284	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3285	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3286	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3287	4" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3288	4" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3289	7" CHIN. PISTACHE	5	N	N	N	REMOVE	7	0	
3290	7" CHIN. PISTACHE	5	N	N	N	REMOVE	7	0	
3291	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3292	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3293	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3294	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3295	6" CREPE MYRTLE	3	N	N	N	REMOVE	0 VARIANCE	0	
3296	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3297	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0	
3298	7" RED OAK	5	N	N	N	REMOVE	7	0	
3299	14" RED OAK	5	N	N	N	REMOVE	14	0	
3300	12" CALLERY PEAR	2	N	N	N	REMOVE	0 EXEMPT	0	
TREE TABLE B SUBTOTAL							-135	+0	
TREE TABLE A SUBTOTAL							-156	+62	
40 PROPOSED 4" TREES								+160	
TOTALS							-291	+222	
TREE MITIGATION TO TREE FUND (-291 AND +222 = 69)									
69 INCHES X \$100.00 = \$6,900.00 PAYMENT									

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2022.  
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CONTACT: JAMES WATSON

SURVEYOR:  
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FORT WORTH, TEXAS 76104  
(214) 484-8586  
CONTACT: ROBERT HANSEN

ENGINEER:  
GLENN ENGINEERING CORP.  
4500 FULLER DR.  
IRVING, TEXAS 75038  
(972) 717-5151  
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-061

**CORGAN**

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**ISSUES**

1	12.06.22	PERMIT SET
2		
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**REVISIONS**


THIS DOCUMENT IS  
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REVIEW UNDER THE  
AUTHORITY OF:  
MICHAEL RAMSEY  
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ARCHITECT #1901.  
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**RAMSEY LANDSCAPE ARCHITECTS, LLC**

11914 WISHING WELL CT.  
FRISCO, TEXAS 75035  
PHONE (972) 395-0889  
FAX (469) 392-5433  
EMAIL: MIKE.RLA@ATT.NET

**Rochell Elementary School  
Replacement**

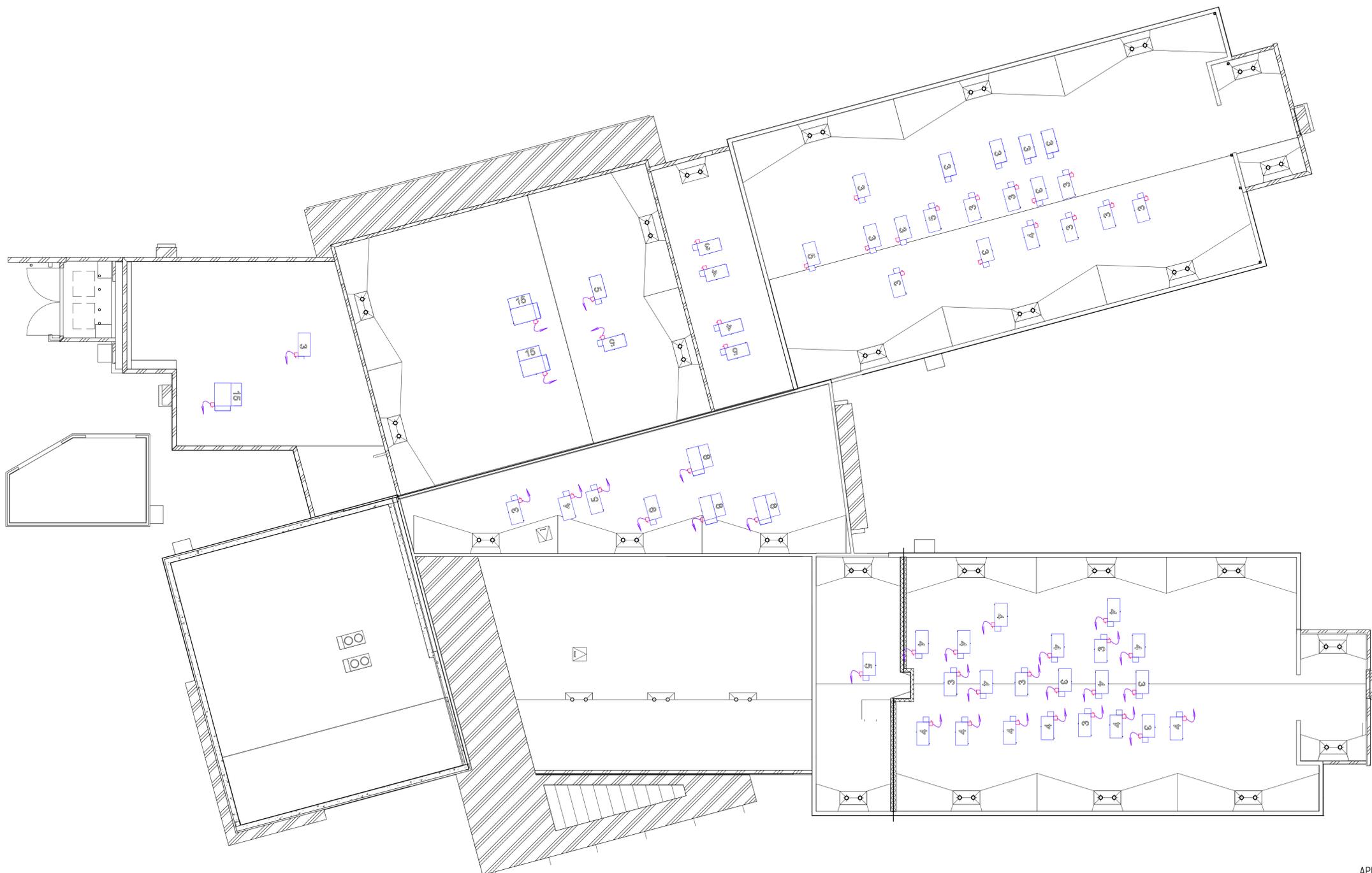
899 Rochell Ct.  
Rockwall, TX 75032

**TREESCAPE  
CHART**

**JOB** 22285.0000  
**DATE** 12/06/2022  
**SHEET**

**TS 2**





APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the  
 City of Rockwall, Texas, was approved by the Planning & Zoning  
 Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2022.  
 WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

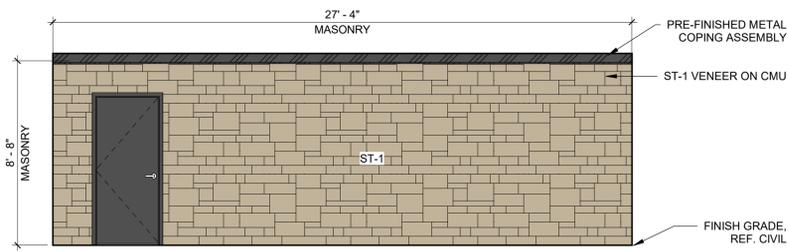
\_\_\_\_\_  
 Director of Planning and Zoning



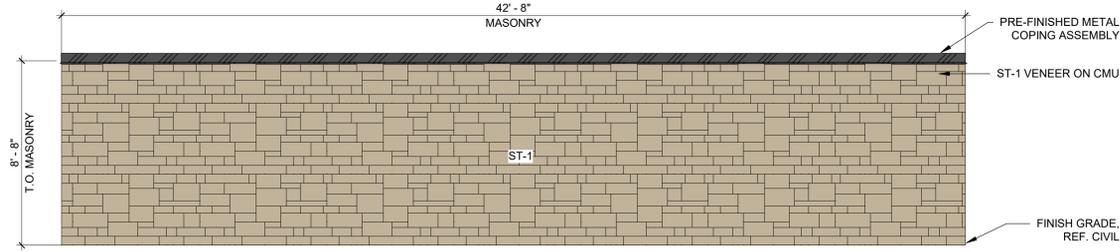
# ROOF PLAN - RTU LOCATIONS

1/16" = 1'-0"

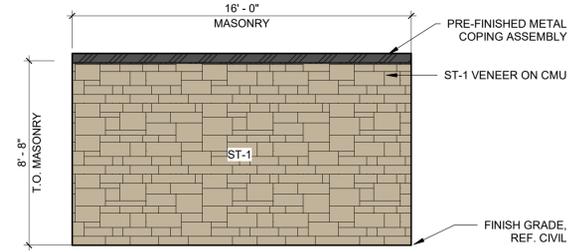




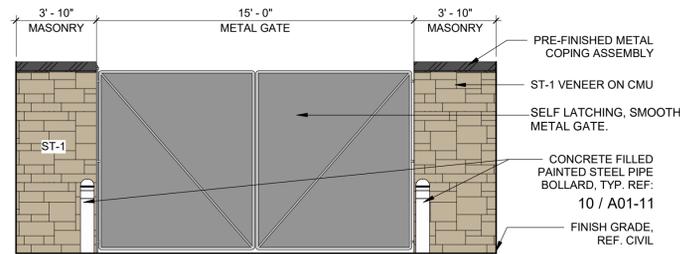
08 SITE ENLARGED ELEVATION - EAST - TRANSFORMER ENCLOSURE  
1/4" = 1'-0"



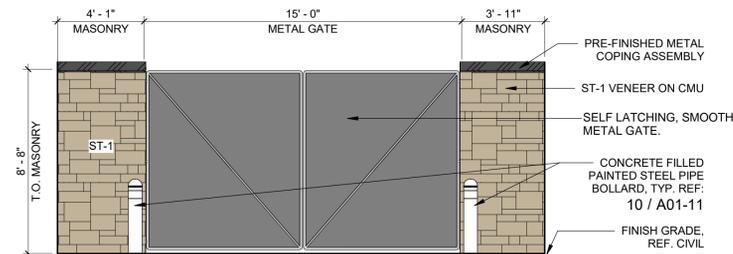
07 SITE ENLARGED ELEVATION - SOUTH - TRANSFORMER ENCLOSURE  
1/4" = 1'-0"



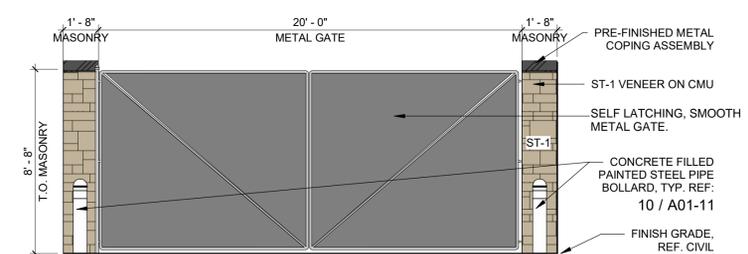
06 SITE ENLARGED ELEVATION - WEST - TRANSFORMER ENCLOSURE  
1/4" = 1'-0"



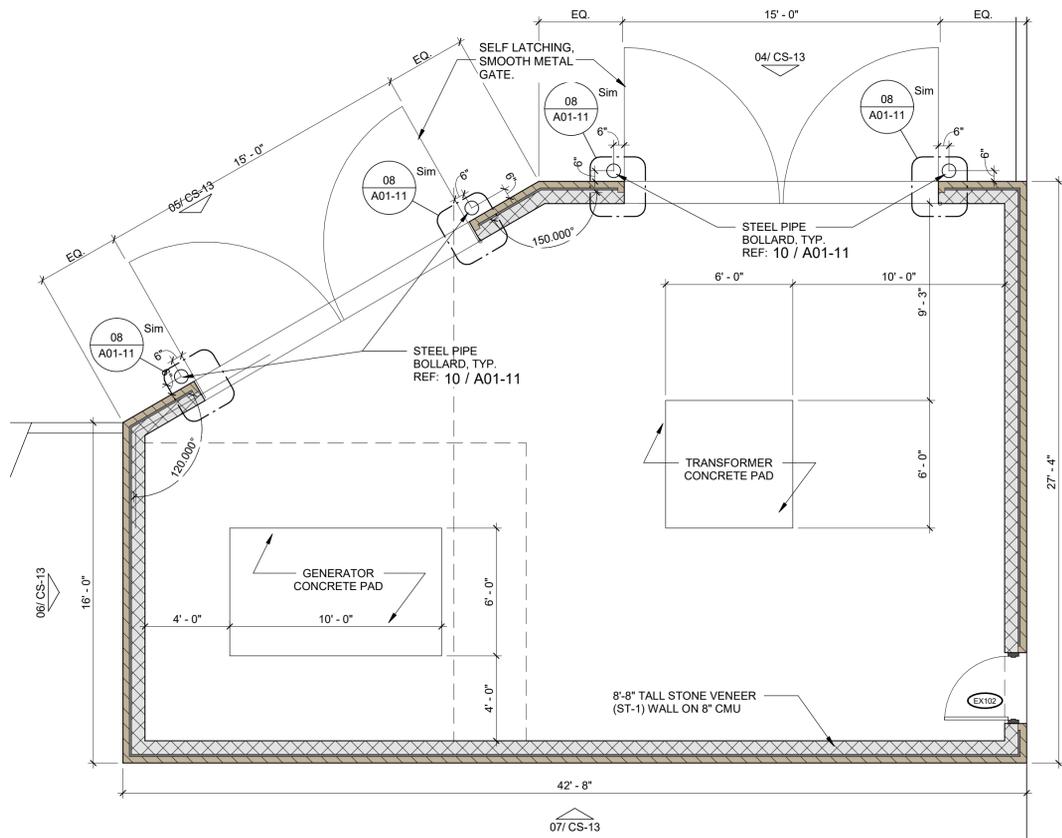
05 SITE ENLARGED ELEVATION - NORTHWEST - TRANSFORMER ENCLOSURE  
1/4" = 1'-0"



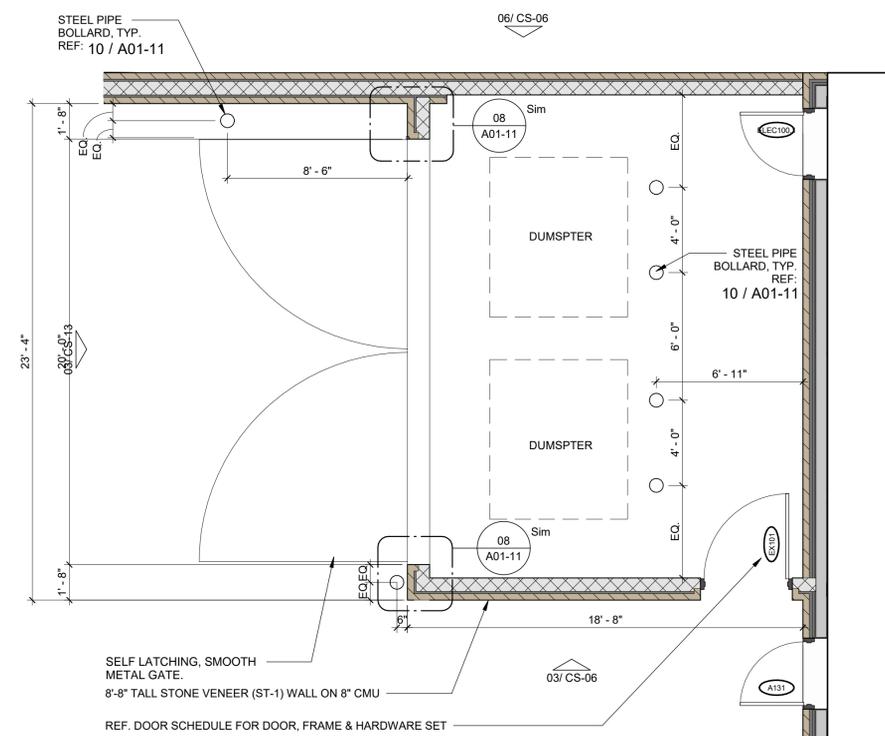
04 SITE ENLARGED ELEVATION - NORTH - TRANSFORMER ENCLOSURE  
1/4" = 1'-0"



03 SITE ELEVATION - WEST - DUMPSTER ENCLOSURE  
1/4" = 1'-0"



02 ENLARGED SITE PLAN - TRANSFORMER ENCLOSURE  
1/4" = 1'-0"



01 ENLARGED SITE PLAN - DUMPSTER ENCLOSURE  
1/4" = 1'-0"

EXT. MATERIALS LEGEND		
	BR-1A	ST-1
	BR-1B	ST-2
	BR-2	MP-1
		WDP-1

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\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning



Label	CalcType	Units	Avg	Max	Min	Avg/Min
CONNECTING DRIVE_Planar	ILLUMINANCE	Fc	1.35	2.2	0.9	1.50
LIGHTING AROUND BUILDING_Planar	ILLUMINANCE	Fc	1.78	7.2	0.1	17.80
PLAN EAST DRIVEWAY_Planar	ILLUMINANCE	Fc	1.96	4.7	0.2	9.80
PLAN NORTH DRIVEWAY_PLAN NORTH D	ILLUMINANCE	Fc	2.09	4.9	0.7	2.99
PLAN NORTH PARKING LOT_Planar	ILLUMINANCE	Fc	1.72	3.2	0.5	3.44
PLAN SOUTH DRIVEWAY & PARKING_Planar	ILLUMINANCE	Fc	2.30	4.6	0.4	5.75
PLAN SOUTHWEST PARKING LOT_Planar	ILLUMINANCE	Fc	2.72	5.4	0.8	3.40
PLAN WEST DRIVE AND PARKING LOT_Planar	ILLUMINANCE	Fc	1.99	3.5	0.1	19.90
PROPERTY LINE	ILLUMINANCE	Fc	0.07	0.2	0.0	N.A.

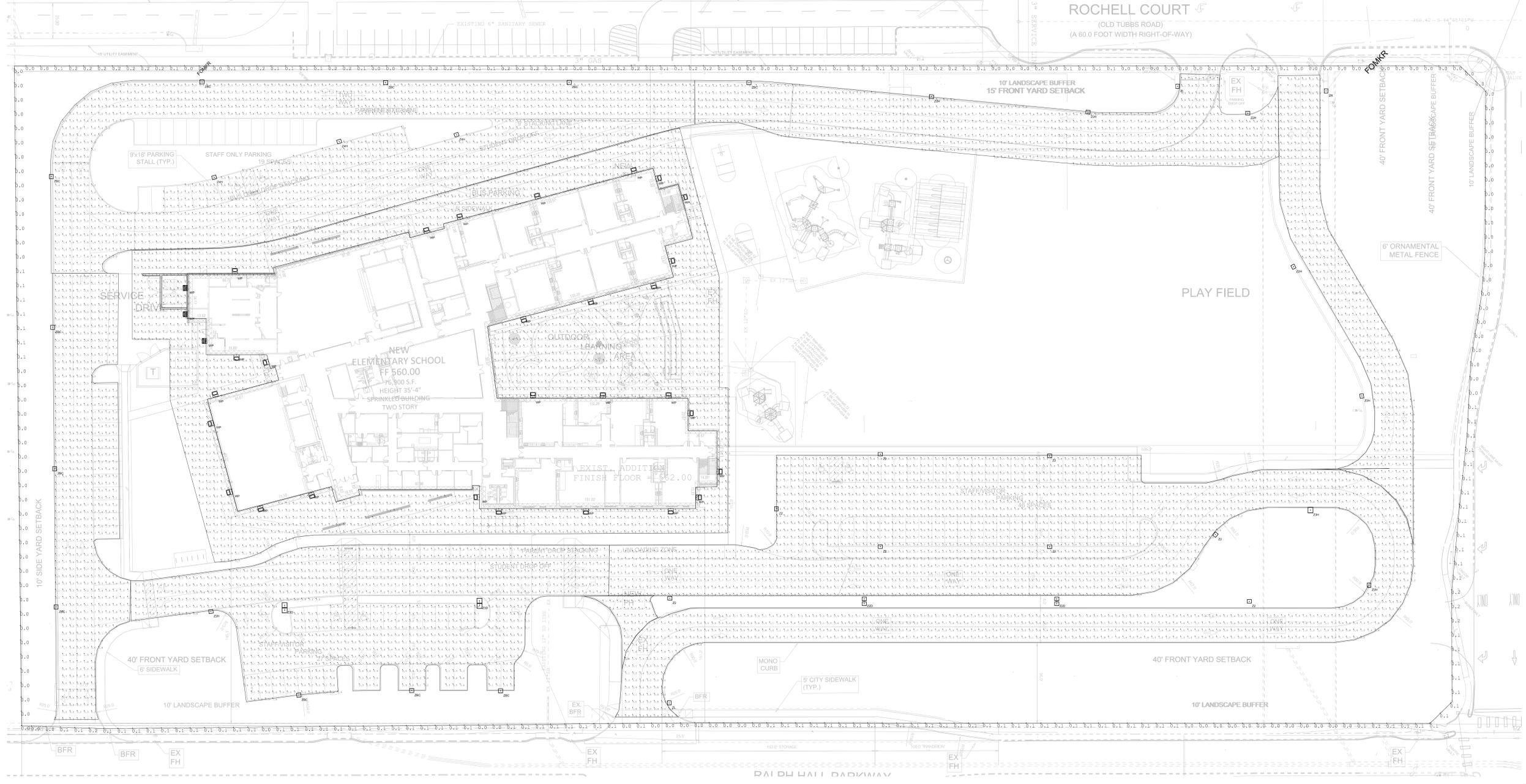
**SITE PLAN PHOTOMETRIC CALCULATIONS  
GENERAL NOTES**

- THESE PLANS ARE ACCURATE AND DESIGNED IN COMPLIANCE WITH AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL, TX OUTDOOR LIGHTING ORDINANCE IN EFFECT AT THE TIME OF THE SUBMISSION OF PLANS.
- ALL CALCULATION POINTS SHOWN ARE AT THE GROUND LEVEL AND ARE MEASURED HORIZONTALLY.
- LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AGI32 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.

Symbol	Qty	Label	Arrangement	Description	Mounting Height
[Symbol]	31	WP	Single	WST LED P2 40K VW MVOLT	13.5
[Symbol]	11	ZBC	Single	DSX1 LED P5 40K BLC MVOLT G1	25
[Symbol]	2	Z3D	Back-Back	DSX1 LED P5 40K T3M MVOLT G1	25
[Symbol]	2	Z2D	Back-Back	DSX1 LED P5 40K T2M MVOLT G1	25
[Symbol]	1	ZR	Single	DSX1 LED P5 40K RCCO MVOLT G1	25
[Symbol]	2	ZL	Single	DSX1 LED P5 40K LCCO MVOLT G1	25
[Symbol]	7	Z2H	Single	DSX1 LED P5 40K T2M MVOLT HS G1	25
[Symbol]	8	Z2	Single	DSX1 LED P5 40K T2M MVOLT G1	25
[Symbol]	3	Z4H	Single	DSX1 LED P5 40K T4M MVOLT HS G1	25
[Symbol]	1	Z3H	Single	DSX1 LED P5 40K T3M MVOLT HS G1	25

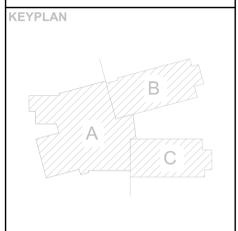
ISSUES	
1	11.11.22 30% PROGRESS SET
2	12.09.22 60% PROGRESS SET
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REVISIONS	



REVIEW ONLY  
NOT FOR CONSTRUCTION  
Dec 05, 2022

**Rochell Elementary School  
Replacement**  
899 Rochell Ct.  
Rockwall, TX 75032



PHOTOMETRIC  
SITE PLAN  
PHASE 2

1 PHASE 2 PHOTOMETRIC SITE PLAN  
T=30'-0"

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WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

JAVIER GARCIA  
TEXAS P.E. 18760  
Dec 05, 2022

JAMES M. TATE III  
TEXAS P.E. 427  
Dec 05, 2022

**EMA**  
EMA Engineering & Consulting, Inc.  
Tyler | Austin | Houston | El Paso  
DFW | San Antonio | Shreveport  
Texas Firm Registration No. F-893  
Louisiana Firm Registration No. EF-5818  
DESIGN SOLVE ENHANCE www.EMAengineer.com

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

1-082-0079-003

JOB 22285.0000  
DATE 12.09.2022  
SHEET  
**ES01-02**

**LUMINAIRE SCHEDULE FOR ROCHELL ES REPLACEMENT SITE LIGHTING**

Sherri W. - (903) 581-2677  
swunsch@emaengineer.com

General Requirements: (1) All luminaires to have 125 lens thickness, 4000K color temp, 10% THD drivers, 80 CRI or better and be dimmable down to 10% unless otherwise stated. (2) See Networked Lighting Control Chart and details for more information regarding controls. (3) Any luminaire that ends in "G" in the drawing set is to be treated as an emergency version of the listed luminaire connected to the generator. Any luminaire that ends in "U" in the drawing set is to be treated as an emergency version of the listed luminaire connected to the UPS. (4) All LED luminaires are to have lumen output tolerance of +/- 8% and VA tolerance of +5% / -10%. (5) All submitted luminaires shall have an L70 rating of at least 50k hrs and shall have a 5 year system warranty with both listed on the manufacturer cut sheet. (6) For linear luminaires (Lx, Lx, Px, PLx, Wx, etc.), the number in the Type Mark indicates the linear length in whole feet. For linear luminaires (Lx, Lx, Px, PLx, Wx, etc.), the numbers in the Type Mark indicates the linear length in feet and inches, unless otherwise noted. (7) Equals allowed ONLY by a manufacturer from an agency with other product lines already listed on this schedule. At least 3 day prior approval from designer required. \*Lumen output and VA listed are per luminaire or per head or per linear foot and include both up and down component if direct and indirect are both

Emergency Lighting Information: Linear Emer Section Layout >>>  
Provide battery packs per this list unless otherwise noted on the drawings. (LO = Lumen Output) Tolerance shall be +/- 5%. Troffers - 1400lm, Can Lights - 50%LO, High & Low Bays (round or square) - 20 Watts, Linear recessed & Linear pendants & Surface/Wall mount - 1400lm per 4' emergency section, Exterior (building or canopy mounted) - 50%LO, Everything else - 50%LO.

Project Specific Comments and Requirements: --EMA Project #1 082 0079 003--. Controls to be - IECC 2021 with Reduced Lighting Power additional efficiency package.

Comments Key: F- Fused, HSS- House Side Shield, MS/PC- Integral Motion Sensor / Photocell, VD- Vibration Damper, BC- Backlight Control, LC- Left Corner Cutoff, - ,

Type	Description	Luminaire Equivalents	Delivered Lumens	Comments	Volts	Watts Max
Z2	LED Pole-Mounted Area Light, 25' Square Straight Steel Pole (5' shaft, 7-gauge wall thickness), with 1 Head, T2 Distribution, Color: By Architect	Lithonia DSX1 LED, Beacon VPS, McGraw Edison GLEON, Gardco P26, LSI MRM LED, . . .	16000	F, MS/PC, VD	480v	150
Z2D	LED Pole-Mounted Area Light, 25' Square Straight Steel Pole (5' shaft, 7-gauge wall thickness), with 2 Heads @ 180deg, T2 Distribution, Color: By Architect	Lithonia DSX1 LED, Beacon VPS, McGraw Edison GLEON, Gardco P26, LSI MRM LED, . . .	16000	F, HSS, MS/PC, VD	480v	150
Z2H	LED Pole-Mounted Area Light, 25' Square Straight Steel Pole (5' shaft, 7-gauge wall thickness), with 1 Head, T2 Distribution, Color: By Architect	Lithonia DSX1 LED, Beacon VPS, McGraw Edison GLEON, Gardco P26, LSI MRM LED, . . .	16000	F, MS/PC, VD	480v	150
Z3D	LED Pole-Mounted Area Light, 25' Square Straight Steel Pole (5' shaft, 7-gauge wall thickness), with 2 Heads @ 180deg, T3 Distribution, Color: By Architect	Lithonia DSX1 LED, Beacon VPS, McGraw Edison GLEON, Gardco P26, LSI MRM LED, . . .	16000	F, MS/PC, VD	480v	150
Z3H	LED Pole-Mounted Area Light, 25' Square Straight Steel Pole (5' shaft, 7-gauge wall thickness), with 1 Head, T3 Distribution, Color: By Architect	Lithonia DSX1 LED, Beacon VPS, McGraw Edison GLEON, Gardco P26, LSI MRM LED, . . .	16000	F, HSS, MS/PC, VD	480v	150
Z4	LED Pole-Mounted Area Light, 25' Square Straight Steel Pole (5' shaft, 7-gauge wall thickness), with 1 Head, T4 Distribution, Color: By Architect	Lithonia DSX1 LED, Beacon VPS, McGraw Edison GLEON, Gardco P26, LSI MRM LED, . . .	12000	F, MS/PC, VD	480v	150
ZBC	LED Pole-Mounted Area Light, 25' Square Straight Steel Pole (5' shaft, 7-gauge wall thickness), with 1 Head, T2 Distribution, Color: By Architect	Lithonia DSX1 LED, Beacon Equal VPS, McGraw Edison Equal GLEON, Gardco Equal P26, LSI Equal MRM LED, . . .	12000	F, BC, MS/PC, VD	480v	150
ZL	LED Pole-Mounted Area Light, 25' Square Straight Steel Pole (5' shaft, 7-gauge wall thickness), with 1 Head, T2 Distribution, Color: By Architect	Lithonia DSX1 LED, Beacon Equal VPS, McGraw Edison Equal GLEON, Gardco Equal P26, LSI Equal MRM LED, . . .	10000	F, LC, MS/PC, VD	480v	150
ZR	LED Pole-Mounted Area Light, 25' Square Straight Steel Pole (5' shaft, 7-gauge wall thickness), with 1 Head, T2 Distribution, Color: By Architect	Lithonia DSX1 LED, Beacon Equal VPS, McGraw Edison Equal GLEON, Gardco Equal P26, LSI Equal MRM LED, . . .	10000	F, LC, MS/PC, VD	480v	150
ZZZ	END OF SCHEDULE, with Color: . . .	. . .	. . .	. . .	. . .	. . .

**ELECTRICAL SITE GENERAL NOTES**  
(SOME NOTES MAY NOT BE USED)

- CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY LOCATION, CONDUCT TEST AND INSPECTIONS, COORDINATE WITH UTILITIES, OWNER'S REPRESENTATIVES, AND CHECK FOR ALL UNDERGROUND UTILITIES AND LINES BEFORE DITCHING TAKES PLACE. CONTRACTOR AND SUBCONTRACTORS PERFORMING THESE DUTIES SHALL BE RESPONSIBLE FOR ANY REPAIRS OF CUT OR DAMAGED LINES AND UTILITIES NOT SHOWN ON PLAN.
- PROVIDE SEPARATE CONTRACTORS FOR INDEPENDENT CONTROL OF EXTERIOR LIGHTING GROUPS PER LIGHTING CONTROL DETAIL.

**ELECTRICAL SITE PLAN NOTES**  
(SOME NOTES MAY NOT BE USED)

- PROVIDE AND RUN UNDERGROUND TWO 4" CONDUITS FROM UTILITY TRANSFORMER TO ELECTRICAL SERVICE AT THE STREET. PROPOSED LOCATION IS SHOWN. VERIFY AND COORDINATE EXACT LOCATION AND ROUTING WITH UTILITY PROVIDER.
- PROVIDE AND ROUTE UNDERGROUND SERVICE CONDUCTORS FROM UTILITY TRANSFORMER LOAD SIDE TO SECONDARY ENCLOSURE. PROVIDE AND ROUTE UNDERGROUND SERVICE CONDUCTORS FROM SECONDARY ENCLOSURE TO ELECTRICAL SERVICE DISCONNECT(S). REFER TO RISER DIAGRAM FOR MORE INFORMATION.
- PROVIDE AND RUN UNDERGROUND TWO 2" CONDUIT FROM ELECTRICAL ROOM TO MARQUEE/SIGN FOR POWER AND LIGHTS. CAP AND MARK CONDUIT.
- FLAG POLE. REFER TO FLAG POLE DETAIL.
- LAWN IRRIGATION CONTROLS. RUN A 3/4" CONDUIT TO ENERGY MANAGEMENT CONTROL PANEL. PROVIDE TWO 3" CONDUITS FOR CONTROL WIRING UNDERGROUND TO LANDSCAPE AREA. EXTEND CONDUIT 5'-0" BEYOND CONCRETE OR BUILDING IN LANDSCAPE AREA. CAP EACH END. COORDINATE WITH LANDSCAPING CONTRACTOR FOR EXACT LOCATION.
- APPROXIMATE LOCATION OF EXISTING OVERHEAD UTILITY POWER.
- APPROXIMATE LOCATION OF EXISTING UNDERGROUND UTILITY POWER.

**CORGAN**

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**ISSUES**

NO.	DATE	DESCRIPTION
1	11.11.22	30% PROGRESS SET
2	12.09.22	60% PROGRESS SET
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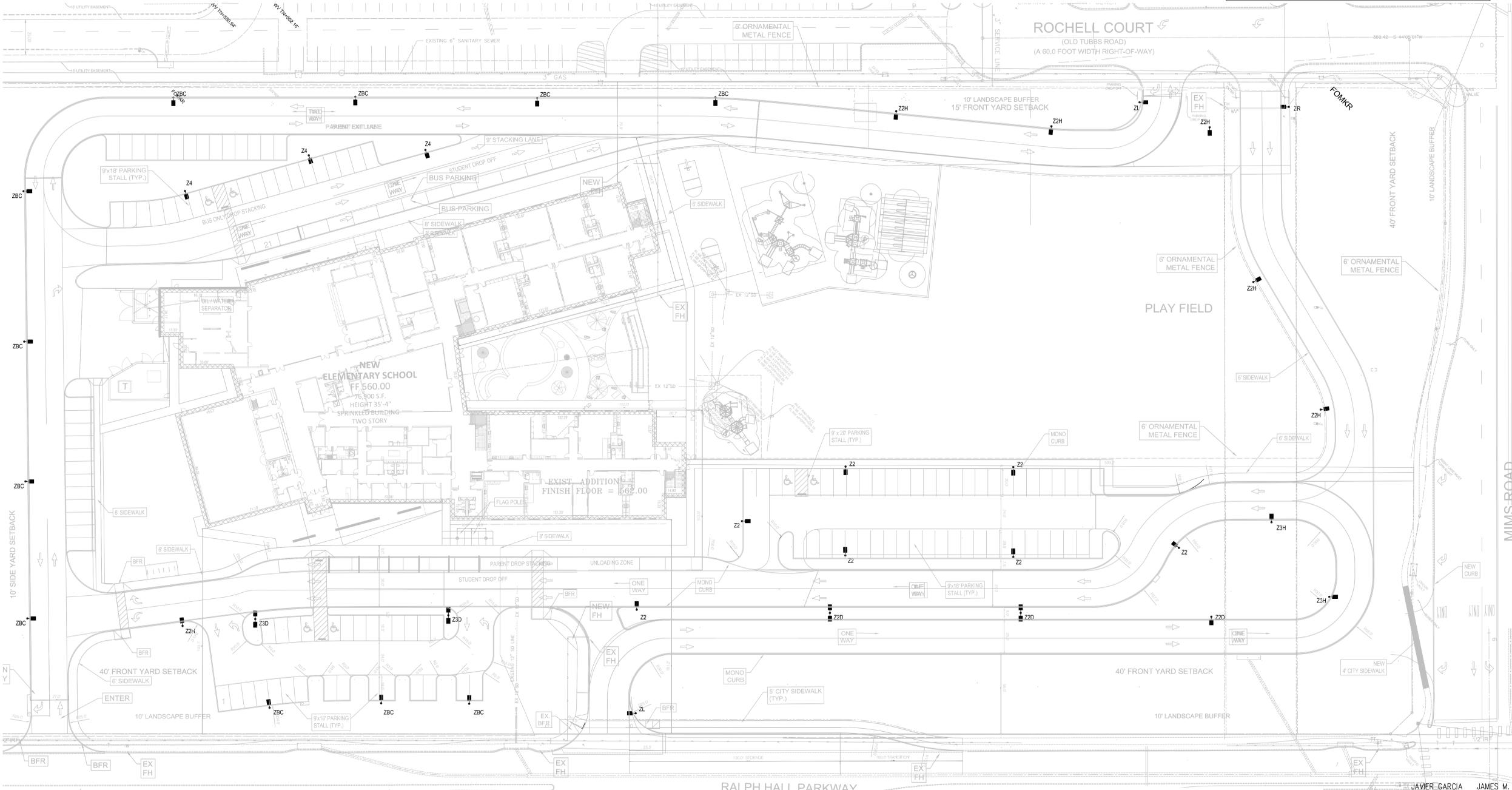
**REVISIONS**

NO.	DATE	DESCRIPTION
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REVIEW ONLY  
NOT FOR CONSTRUCTION  
Dec 05, 2022

**Rochell Elementary School Replacement**

899 Rochell Ct.  
Rockwall, TX 75032



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**EMA** Engineering & Consulting, Inc.  
Tyler | Austin | Houston | El Paso  
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SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

**ELECTRICAL SITE PLAN PHASE 2**

JOB 22285.0000  
DATE 12.09.2022  
SHEET  
**ES01-01**

Planning & Zoning Commission, Chairman  
Director of Planning and Zoning

1 ELECTRICAL SITE PLAN - PHASE 2  
1"=30'-0"



# WST LED

## Architectural Wall Sconce



Catalog Number

Notes

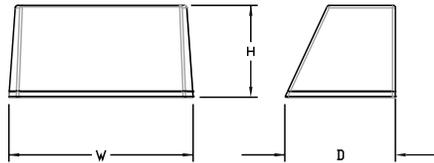
Type

Hit the Tab key or mouse over the page to see all interactive elements.

### Specifications

#### Luminaire

- Height:** 8-1/2" (21.59 cm)
- Width:** 17" (43.18 cm)
- Depth:** 10-3/16" (25.9 cm)
- Weight:** 20 lbs (9.1 kg)



### Introduction

The WST LED is designed with the specifier in mind. The traditional, trapezoidal shape offers a soft, non-pixelated light source for end-user visual comfort. For emergency egress lighting, the WST LED offers six battery options, including remote. For additional code compliance and energy savings, there is also a Bi-level motion sensor option. With so many standard and optional features, three lumen packages, and high LPW, the WST LED is your "go to" luminaire for most any application.

A+ Capable options indicated by this color background.

### Ordering Information

**EXAMPLE:** WST LED P1 40K VF MVOLT DDBTXD

WST LED						
Series	Performance Package	Color temperature	Distribution	Voltage	Mounting	
WST LED	P1 1,500 Lumen package P2 3,000 Lumen package P3 6,000 Lumen package	27K 2700 K 30K 3000 K 40K 4000 K 50K 5000 K	VF Visual comfort forward throw VW Visual comfort wide	MVOLT <sup>1</sup> 120 <sup>2</sup> 208 <sup>2</sup> 240 <sup>2</sup>	277 <sup>2</sup> 347 <sup>2</sup> 480 <sup>2</sup>	<b>Shipped included</b> (blank) Surface mounting bracket PBBW Premium surface-mounted back box <sup>3,4</sup> <b>Shipped separately</b> BBW Surface-mounted back box <sup>3</sup>

Options		Finish (required)
NLTAIR2 PIR	nLIGHT AIR Wireless enabled motion/ambient sensor for 8'-15' mounting heights <sup>5,6,7</sup>	DDBXD Dark bronze
NLTAIR2 PIRH	nLIGHT AIR Wireless enabled motion/ambient sensor for 15'-30' mounting heights <sup>5,6,7</sup>	DBLXD Black
PE	Photoelectric cell, button type <sup>8</sup>	DNAXD Natural aluminum
PER	NEMA twist-lock receptacle only (controls ordered separate) <sup>9</sup>	DWHXD White
PER5	Five-wire receptacle only (controls ordered separate) <sup>9</sup>	DSSXD Sandstone
PER7	Seven-wire receptacle only (controls ordered separate) <sup>9</sup>	DDBTXD Textured dark bronze
PIR	Motion/Ambient Light Sensor, 8-15' mounting height <sup>5,6</sup>	DBLBXD Textured black
PIR1FC3V	Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>5,6</sup>	DNATXD Textured natural aluminum
PIRH	180° motion/ambient light sensor, 15-30' mounting height <sup>5,6</sup>	DWHGXD Textured white
PIRH1FC3V	Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>5,6</sup>	DSSTXD Textured sandstone
SF	Single fuse (120, 277, 347V) <sup>2</sup>	
DF	Double fuse (208, 240, 480V) <sup>2</sup>	
DS	Dual switching <sup>10</sup>	
DMG	0-10V dimming extend out back of housing for external control (control ordered separate) <sup>11</sup>	
E7WH	Emergency battery backup, Non CEC compliant (7W) <sup>7</sup>	
E7WC	Emergency battery backup, CA Title 20 Noncompliant (cold, 7W) <sup>7,12</sup>	
E7WHR	Remote emergency battery backup, CA Title 20 Noncompliant (remote 7W) <sup>7,13</sup>	
E20WH	Emergency battery pack 18W constant power, Certified in CA Title 20 MAEDBS <sup>7</sup>	
E20WC	Emergency battery pack -20°C 18W constant power, Certified in CA Title 20 MAEDBS <sup>7,12</sup>	
E23WHR	Remote emergency battery backup, CA Title 20 Noncompliant (remote 20W) <sup>7,12,14</sup>	
LCE	Left side conduit entry <sup>15</sup>	
RCE	Right side conduit entry <sup>15</sup>	
BAA	Buy America(n) Act Compliant	
	<b>Shipped separately</b>	
RBPW	Retrofit back plate <sup>3</sup>	
VG	Vandal guard <sup>15</sup>	
WG	Wire guard <sup>15</sup>	

See Accessories and Notes on next page.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com)  
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WST-LED  
Rev. 10/25/22

## Accessories

Ordered and shipped separately.

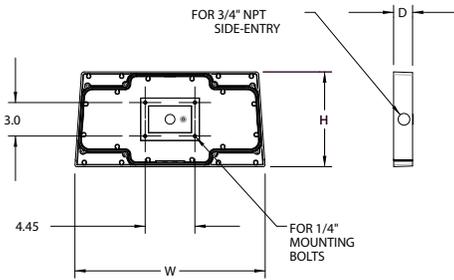
WSTVCPBBW DDBXD U	Premium Surface - mounted back box
WS8BW DDBXD U	Surface - mounted back box
RBPW DDBXD U	Retrofit back plate
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>17</sup>
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>17</sup>
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>17</sup>

## NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Also available as a separate accessory; see accessories information.
- Top conduit entry standard.
- Not available with VG or WG. See PER Table.
- Reference Motion Sensor table.
- Not available with 208V, 347V or 480V. Only available with 120V or 277V.
- Need to specify 120, 208, 240 or 277 voltage.
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- Not available with Emergency options, PE or PER options.
- DMG option not available with standalone or networked sensors/controls.
- Battery pack rated for -20° to 40°C.
- Comes with PBBW.
- Warranty period is 3-years.
- Not available with BBW.
- Must order with fixture; not an accessory.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See PER Table.

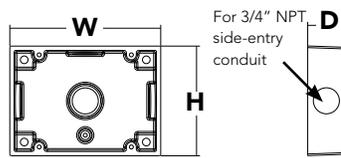
## Optional Back Box (PBBW)

<b>Height:</b>	8.49" (21.56 cm)
<b>Width:</b>	17.01" (43.21 cm)
<b>Depth:</b>	1.70" (4.32 cm)



## Optional Back Box (BBW)

<b>Height:</b>	4" (10.2 cm)
<b>Width:</b>	5-1/2" (14.0 cm)
<b>Depth:</b>	1-1/2" (3.8 cm)



## Emergency Battery Operation

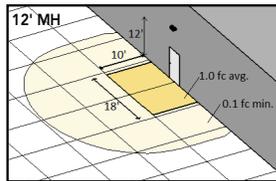
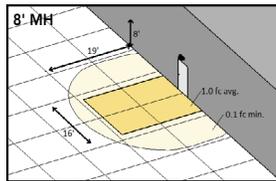
The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

All emergency backup configurations include an independent secondary driver with an integral relay to immediately detect AC power loss, meeting interpretations of [NFPA 70/NEC 2008 - 700.16](#)

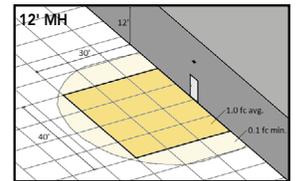
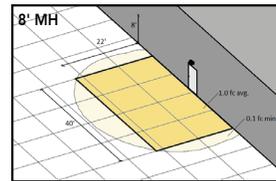
The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per [International Building Code Section 1006](#) and [NFPA 101 Life Safety Code Section 7.9](#), provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions.

The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package and VF distribution product in emergency mode.

10' x 10' Gridlines  
8' and 12' Mounting Height



WST LED P1 27K VF MVOLT E7WH



WST LED P2 40K VF MVOLT E20WH

## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
<b>25°C</b>	<b>77°F</b>	<b>1.00</b>
30°C	86°F	0.99
40°C	104°F	0.98

### Electrical Load

Performance package	System Watts	Current (A)					
		120	208	240	277	347	480
P1	11	0.1	0.06	0.05	0.04	---	---
	14	---	---	---	---	0.04	0.03
P1 DS	14	0.12	0.07	0.06	0.06	---	---
	P2	25	0.21	0.13	0.11	0.1	---
30		---	---	---	---	0.09	0.06
P2 DS	25	0.21	0.13	0.11	0.1	---	---
	P3	50	0.42	0.24	0.21	0.19	---
56		---	---	---	---	0.16	0.12
P3 DS	52	0.43	0.26	0.23	0.21	---	---

### Projected LED Lumen Maintenance

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.95	>0.92	>0.87

### Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Ramp-up Time	Dwell Time	Ramp-down Time
*PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	3 sec	5 min	5 min
PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	3 sec	5 min	5 min

\*for use with site wide Dusk to Dawn control

### PER Table

Control	PER (3 wire)	PER5 (5 wire)			PER7 (7 wire)		
			Wire 4/Wire5		Wire 4/Wire5	Wire 6/Wire7	
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture	
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture	
ROAM with Motion	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture	
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture	
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture	

✓ Recommended

⊘ Will not work

⚠ Alternate

\*Futureproof means: Ability to change controls in the future.

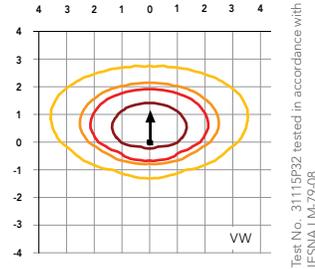
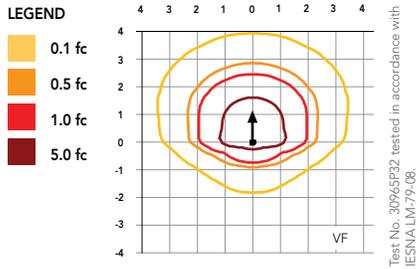
### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

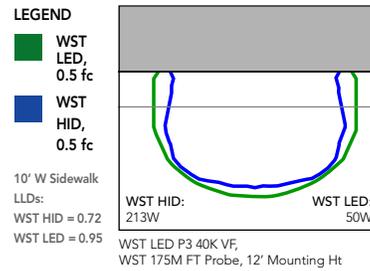
Performance Package	System Watts (MVOLT*)	Dist. Type	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	12W	VF	1,494	0	0	0	125	1,529	0	0	0	127	1,639	0	0	0	137	1,639	0	0	0	137
		VW	1,513	0	0	0	126	1,548	0	0	0	129	1,659	0	0	0	138	1,660	0	0	0	138
P2	25W	VF	3,163	1	0	1	127	3,237	1	0	1	129	3,469	1	0	1	139	3,468	1	0	1	139
		VW	3,201	1	0	0	128	3,276	1	0	0	131	3,512	1	0	0	140	3,512	1	0	0	140
P3	50W	VF	6,025	1	0	1	121	6,165	1	0	1	123	6,609	1	0	1	132	6,607	1	0	1	132
		VW	6,098	1	0	1	122	6,240	1	0	1	125	6,689	1	0	1	134	6,691	1	0	1	134



Isofootcandle plots for the WST LED P3 40K VF and VW. Distances are in units of mounting height (10').



Distribution overlay comparison to 175W metal halide.



## FEATURES & SPECIFICATIONS

### INTENDED USE

The classic architectural shape of the WST LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long life LEDs and driver make this luminaire nearly maintenance-free.

### CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

### OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WST LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine(s) consist of 98 high-efficacy LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L87). Class 2 electronic driver has a power factor >90%, THD <20%. Easily-serviceable surge protection device meets a minimum Category B (per ANSI/IEEE C62.41.2).

### INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections.

### LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. PIR and back box options are rated for wet location. Rated for -30°C to 40°C ambient.

### BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



d<sup>series</sup>

# D-Series Size 1

## Legacy LED Area Luminaire

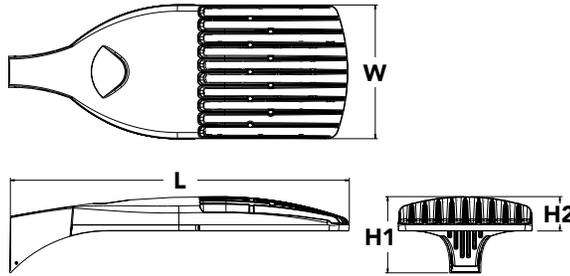


Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

### Specifications

<b>EPA:</b>	1.01 ft <sup>2</sup> (0.09 m <sup>2</sup> )
<b>Length:</b>	33" (83.8 cm)
<b>Width:</b>	13" (33.0 cm)
<b>Height H1:</b>	7-1/2" (19.0 cm)
<b>Height H2:</b>	3-1/2"
<b>Weight (max):</b>	27 lbs (12.2 kg)



### Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

### Ordering Information

**EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD G1**

Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	<b>Forward optics</b> P1 P4 <sup>1</sup> P7 <sup>1</sup> P2 P5 <sup>1</sup> P8 P3 P6 <sup>1</sup> P9 <sup>1</sup> <b>Rotated optics</b> P10 <sup>2</sup> P12 <sup>2</sup> P11 <sup>2</sup> P13 <sup>1,2</sup>	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T5VS Type V very short <sup>3</sup> T5S Type V short <sup>3</sup> TSM Type V medium <sup>3</sup> TSW Type V wide <sup>3</sup> BLC Backlight control <sup>4</sup> LCCO Left corner cutoff <sup>4</sup> RCCO Right corner cutoff <sup>4</sup>	MVOLT <sup>5</sup> XVOLT (277V-480V) <sup>6,7,8</sup> 120 <sup>9</sup> 208 <sup>9</sup> 240 <sup>9</sup> 277 <sup>9</sup> 347 <sup>9</sup> 480 <sup>9</sup>	<b>Shipped included</b> SPA Square pole mounting RPA Round pole mounting <sup>10</sup> WBA Wall bracket <sup>3</sup> SPUMBA Square pole universal mounting adaptor <sup>11</sup> RPUMBA Round pole universal mounting adaptor <sup>9</sup> <b>Shipped separately</b> KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>12</sup>

Control options	Other options	Finish (required)	Generation (required)
<b>Shipped installed</b> NLTAIR2 nLight AIR generation 2 enabled <sup>13</sup> PIRHN Network, high/low motion/ambient sensor <sup>14</sup> PER NEMA twist-lock receptacle only (controls ordered separately) <sup>15</sup> PER5 Five-pin receptacle only (controls ordered separately) <sup>15,16</sup> PER7 Seven-pin receptacle only (controls ordered separately) <sup>15,16</sup> DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>17</sup> DS Dual switching <sup>18,19,20</sup>	<b>Shipped installed</b> HS House-side shield <sup>23</sup> SF Single fuse (120, 277, 347V) <sup>9</sup> DF Double fuse (208, 240, 480V) <sup>9</sup> L90 Left rotated optics <sup>2</sup> R90 Right rotated optics <sup>2</sup> HA 50°C ambient operations <sup>1</sup> BAA Buy America(n) Act Compliant <b>Shipped separately</b> BS Bird spikes <sup>24</sup> EGS External glare shield	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white	G1 Generation 1



## Ordering Information

### Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>25</sup>
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>25</sup>
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>25</sup>
DSHORT SBK U	Shorting cap <sup>25</sup>
DSX1HS 30C U G1	House-side shield for P1, P2, P3, P4 and P5 <sup>23</sup>
DSX1HS 40C U G1	House-side shield for P6 and P7 <sup>23</sup>
DSX1HS 60C U G1	House-side shield for P8, P9, P10, P11 and P12 <sup>23</sup>
PUMBA DDBXD U G1*	Square and round pole universal mounting bracket (specify finish) <sup>25</sup>
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) <sup>12</sup>
DSX1EGS (FINISH) U G1	External glare shield

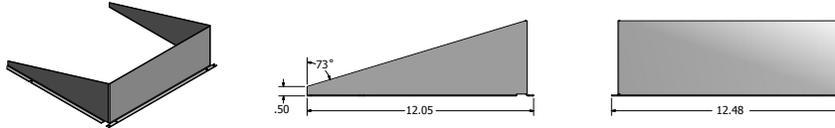
For more control options, visit [DTL](#) and [ROAM](#) online.

### NOTES

- 1 HA not available with P4, P5, P6, P7, P9 and P13.
- 2 P10, P11, P12 or P13 and rotated optics (L90, R90) only available together.
- 3 Any Type 5 distribution with photocell, is not available with WBA.
- 4 Not available with HS.
- 5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 6 XVOLT only suitable for use with P3, P5, P6, P7, P9 and P13.
- 7 XVOLT works with any voltage between 277V and 480V.
- 8 XVOLT not available with fusing (SF or DF) and not available with PIR, PIRH, PIR1FC3V, PIRH1FC3V.
- 9 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).
- 10 Suitable for mounting to round poles between 3.5" and 12" diameter.
- 11 Universal mounting brackets intended for retrofit on existing, pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- 12 Must order fixture with SPA option. KMA8 must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- 13 Must be ordered with PIRHN. Sensor cover available only in dark bronze, black, white and natural aluminum colors.
- 14 Must be ordered with NLTAR2. For more information on nLight Air 2 visit [this link](#).
- 15 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting cap included.
- 16 If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Node with integral dimming.
- 17 DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIR1FC3V or PIRH1FC3V, FAO.
- 18 Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available P1, P2, P3, P4 or P5.
- 19 Requires (2) separately switched circuits.
- 20 Reference Controls Options table on page 4.
- 21 Reference Motion Sensor default settings table on page 4 to see functionality.
- 22 Not available with other dimming controls options.
- 23 Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- 24 Must be ordered with fixture for factory pre-drilling.
- 25 Requires luminaire to be specified with PER, PER5 or PER7 option. See Control Option Table on page 4.
- 26 For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8.

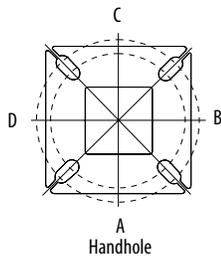
## Options

### EGS - External Glare Shield



## Drilling

### HANDHOLE ORIENTATION



### Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

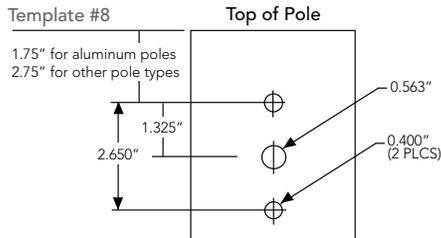
Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS

### DSX1 Area Luminaire - EPA

\*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
DSX1 LED	1.013	2.025	1.945	3.038	2.850	3.749

	Drilling Template	Minimum Acceptable Outside Pole Dimension					
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"	3.5"	4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"



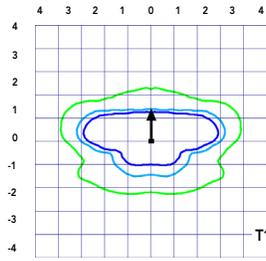
# Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 1 homepage](#).

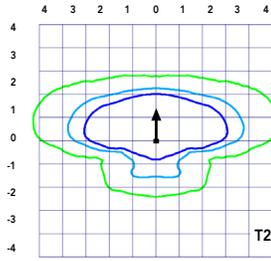
Isofootcandle plots for the DSX1 LED P7 40K G1. Distances are in units of mounting height (25').

### LEGEND

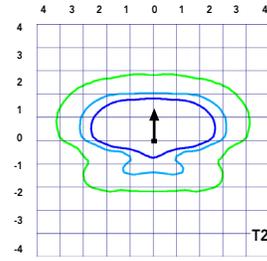
- 0.1 fc
- 0.5 fc
- 1.0 fc



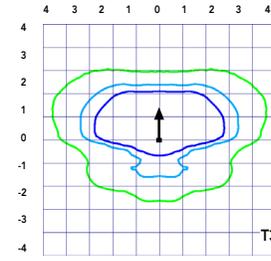
T1S  
Test No. LT.L23211 tested in accordance with IESNA LM-79-08.



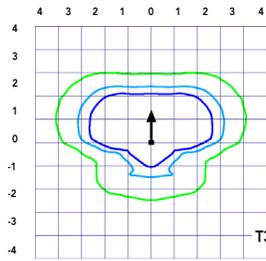
T2M  
Test No. LT.L23164B tested in accordance with IESNA LM-79-08.



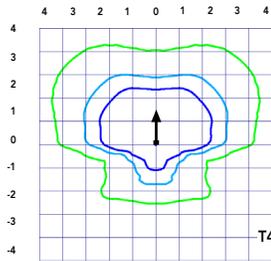
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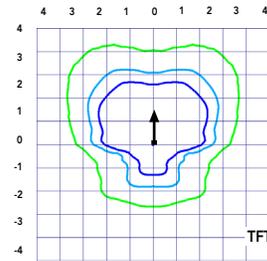
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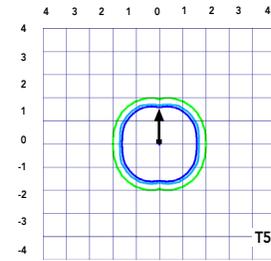
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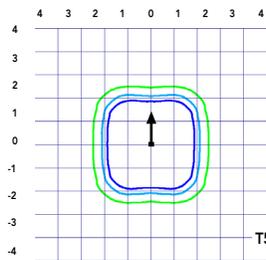
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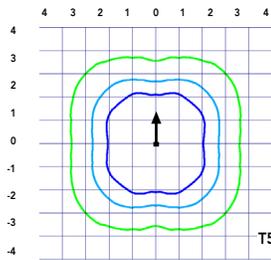
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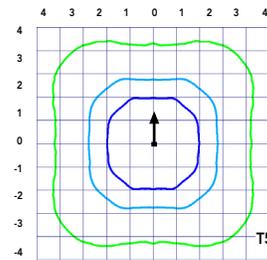
T5VS  
Test No. LT.L23271 tested in accordance with IESNA LM-79-08.



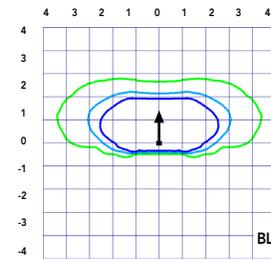
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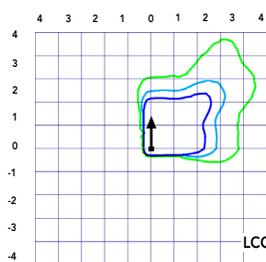
T5M  
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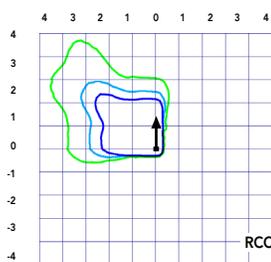
T5W  
Test No. LT.L23222 tested in accordance with IESNA LM-79-08.



BLC  
Test No. LT.L23271 tested in accordance with IESNA LM-79-08.



LCCO  
Test No. LT.L23211 tested in accordance with IESNA LM-79-08.



RCCO  
Test No. LT.L23164B tested in accordance with IESNA LM-79-08.

## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
<b>25°C</b>	<b>77°F</b>	<b>1.00</b>
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.96
50,000	0.92
100,000	0.85

#### Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

\*for use when motion sensor is used as dusk to dawn control.

### Electrical Load

	Performance Package	LED Count	Drive Current	Wattage	Current (A)					
					120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	30	530	54	0.45	0.26	0.23	0.19	0.10	0.12
	P2	30	700	70	0.59	0.34	0.30	0.25	0.20	0.16
	P3	30	1050	102	0.86	0.50	0.44	0.38	0.30	0.22
	P4	30	1250	125	1.06	0.60	0.52	0.46	0.37	0.27
	P5	30	1400	138	1.16	0.67	0.58	0.51	0.40	0.29
	P6	40	1250	163	1.36	0.78	0.68	0.59	0.47	0.34
	P7	40	1400	183	1.53	0.88	0.76	0.66	0.53	0.38
	P8	60	1050	207	1.74	0.98	0.87	0.76	0.64	0.49
	P9	60	1250	241	2.01	1.16	1.01	0.89	0.70	0.51
Rotated Optics (Requires L90 or R90)	P10	60	530	106	0.90	0.52	0.47	0.43	0.33	0.27
	P11	60	700	137	1.15	0.67	0.60	0.53	0.42	0.32
	P12	60	1050	207	1.74	0.99	0.87	0.76	0.60	0.46
	P13	60	1250	231	1.93	1.12	0.97	0.86	0.67	0.49

#### Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FA0	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FA0 device	Cannot be used with other controls options that need the 0-10V leads
DS	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire
PIR or PIRH	Motion sensors with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting	luminaires dim when no occupancy is detected.	Acuity Controls SBGR	Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSDGR	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app.

# Performance Data

## Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08.

Forward Optics																			
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
30	530	P1	54W	T1S	6,457	2	0	2	120	6,956	2	0	2	129	7,044	2	0	2	130
				T2S	6,483	1	0	1	120	6,984	2	0	2	129	7,072	2	0	2	131
				T2M	6,450	2	0	2	119	6,948	2	0	2	129	7,036	2	0	2	130
				T3S	6,468	1	0	2	120	6,967	1	0	2	129	7,055	1	0	2	131
				T3M	6,279	2	0	2	116	6,764	2	0	2	125	6,849	2	0	2	127
				T4M	6,327	1	0	2	117	6,816	1	0	2	126	6,902	1	0	2	128
				TFTM	6,464	1	0	2	120	6,963	1	0	2	129	7,051	1	0	2	131
				TSVS	6,722	2	0	0	124	7,242	3	0	0	134	7,334	3	0	0	136
				T5S	6,728	2	0	1	125	7,248	2	0	1	134	7,340	2	0	1	136
				T5M	6,711	3	0	1	124	7,229	3	0	1	134	7,321	3	0	2	136
				TSW	6,667	3	0	2	123	7,182	3	0	2	133	7,273	3	0	2	135
				BLC	5,299	1	0	1	98	5,709	1	0	2	106	5,781	1	0	2	107
				LCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80
				RCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80
30	700	P2	70W	T1S	8,249	2	0	2	118	8,886	2	0	2	127	8,999	2	0	2	129
				T2S	8,282	2	0	2	118	8,923	2	0	2	127	9,035	2	0	2	129
				T2M	8,240	2	0	2	118	8,877	2	0	2	127	8,989	2	0	2	128
				T3S	8,262	2	0	2	118	8,901	2	0	2	127	9,013	2	0	2	129
				T3M	8,021	2	0	2	115	8,641	2	0	2	123	8,750	2	0	2	125
				T4M	8,083	2	0	2	115	8,708	2	0	2	124	8,818	2	0	2	126
				TFTM	8,257	2	0	2	118	8,896	2	0	2	127	9,008	2	0	2	129
				TSVS	8,588	3	0	0	123	9,252	3	0	0	132	9,369	3	0	0	134
				T5S	8,595	3	0	1	123	9,259	3	0	1	132	9,376	3	0	1	134
				T5M	8,573	3	0	2	122	9,236	3	0	2	132	9,353	3	0	2	134
				TSW	8,517	3	0	2	122	9,175	4	0	2	131	9,291	4	0	2	133
				BLC	6,770	1	0	2	97	7,293	1	0	2	104	7,386	1	0	2	106
				LCCO	5,038	1	0	2	72	5,427	1	0	2	78	5,496	1	0	2	79
				RCCO	5,038	1	0	2	72	5,427	1	0	2	78	5,496	1	0	2	79
30	1050	P3	102W	T1S	11,661	2	0	2	114	12,562	3	0	3	123	12,721	3	0	3	125
				T2S	11,708	2	0	2	115	12,612	2	0	2	124	12,772	2	0	2	125
				T2M	11,648	2	0	2	114	12,548	3	0	3	123	12,707	3	0	3	125
				T3S	11,679	2	0	2	115	12,582	2	0	2	123	12,741	2	0	2	125
				T3M	11,338	2	0	2	111	12,214	3	0	3	120	12,369	3	0	3	121
				T4M	11,426	2	0	3	112	12,309	2	0	3	121	12,465	2	0	3	122
				TFTM	11,673	2	0	2	114	12,575	2	0	3	123	12,734	2	0	3	125
				TSVS	12,140	3	0	1	119	13,078	3	0	1	128	13,244	3	0	1	130
				T5S	12,150	3	0	1	119	13,089	3	0	1	128	13,254	3	0	1	130
				T5M	12,119	4	0	2	119	13,056	4	0	2	128	13,221	4	0	2	130
				TSW	12,040	4	0	3	118	12,970	4	0	3	127	13,134	4	0	3	129
				BLC	9,570	1	0	2	94	10,310	1	0	2	101	10,440	1	0	2	102
				LCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76
				RCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76
30	1250	P4	125W	T1S	13,435	3	0	3	107	14,473	3	0	3	116	14,657	3	0	3	117
				T2S	13,489	2	0	2	108	14,532	3	0	3	116	14,716	3	0	3	118
				T2M	13,420	3	0	3	107	14,457	3	0	3	116	14,640	3	0	3	117
				T3S	13,457	2	0	2	108	14,496	2	0	2	116	14,680	2	0	2	117
				T3M	13,064	3	0	3	105	14,073	3	0	3	113	14,251	3	0	3	114
				T4M	13,165	2	0	3	105	14,182	2	0	3	113	14,362	2	0	3	115
				TFTM	13,449	2	0	3	108	14,488	2	0	3	116	14,672	2	0	3	117
				TSVS	13,987	4	0	1	112	15,068	4	0	1	121	15,259	4	0	1	122
				T5S	13,999	3	0	1	112	15,080	3	0	1	121	15,271	3	0	1	122
				T5M	13,963	4	0	2	112	15,042	4	0	2	120	15,233	4	0	2	122
				TSW	13,872	4	0	3	111	14,944	4	0	3	120	15,133	4	0	3	121
				BLC	11,027	1	0	2	88	11,879	1	0	2	95	12,029	1	0	2	96
				LCCO	8,205	1	0	3	66	8,839	1	0	3	71	8,951	1	0	3	72
				RCCO	8,205	1	0	3	66	8,839	1	0	3	71	8,951	1	0	3	72
30	1400	P5	138W	T1S	14,679	3	0	3	106	15,814	3	0	3	115	16,014	3	0	3	116
				T2S	14,739	3	0	3	107	15,878	3	0	3	115	16,079	3	0	3	117
				T2M	14,663	3	0	3	106	15,796	3	0	3	114	15,996	3	0	3	116
				T3S	14,703	2	0	3	107	15,839	3	0	3	115	16,039	3	0	3	116
				T3M	14,274	3	0	3	103	15,377	3	0	3	111	15,571	3	0	3	113
				T4M	14,384	2	0	3	104	15,496	3	0	3	112	15,692	3	0	3	114
				TFTM	14,695	2	0	3	106	15,830	3	0	3	115	16,030	3	0	3	116
				TSVS	15,283	4	0	1	111	16,464	4	0	1	119	16,672	4	0	1	121
				T5S	15,295	3	0	1	111	16,477	4	0	1	119	16,686	4	0	1	121
				T5M	15,257	4	0	2	111	16,435	4	0	2	119	16,644	4	0	2	121
				TSW	15,157	4	0	3	110	16,328	4	0	3	118	16,534	4	0	3	120
				BLC	12,048	1	0	2	87	12,979	1	0	2	94	13,143	1	0	2	95
				LCCO	8,965	1	0	3	65	9,657	1	0	3	70	9,780	1	0	3	71
				RCCO	8,965	1	0	3	65	9,657	1	0	3	70	9,780	1	0	3	71



# Performance Data

## Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
40	1250	P6	163W	T1S	17,654	3	0	3	108	19,018	3	0	3	117	19,259	3	0	3	118
				T2S	17,725	3	0	3	109	19,095	3	0	3	117	19,336	3	0	3	119
				T2M	17,634	3	0	3	108	18,997	3	0	3	117	19,237	3	0	3	118
				T3S	17,682	3	0	3	108	19,048	3	0	3	117	19,289	3	0	3	118
				T3M	17,166	3	0	3	105	18,492	3	0	3	113	18,726	3	0	3	115
				T4M	17,299	3	0	3	106	18,635	3	0	4	114	18,871	3	0	4	116
				TFTM	17,672	3	0	3	108	19,038	3	0	4	117	19,279	3	0	4	118
				TSVS	18,379	4	0	1	113	19,800	4	0	1	121	20,050	4	0	1	123
				T5S	18,394	4	0	2	113	19,816	4	0	2	122	20,066	4	0	2	123
				T5M	18,348	4	0	2	113	19,766	4	0	2	121	20,016	4	0	2	123
				TSW	18,228	5	0	3	112	19,636	5	0	3	120	19,885	5	0	3	122
				BLC	14,489	2	0	2	89	15,609	2	0	3	96	15,806	2	0	3	97
				LCCO	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72
				RCCO	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72
40	1400	P7	183W	T1S	19,227	3	0	3	105	20,712	3	0	3	113	20,975	3	0	3	115
				T2S	19,304	3	0	3	105	20,796	3	0	3	114	21,059	3	0	3	115
				T2M	19,205	3	0	3	105	20,689	3	0	3	113	20,951	3	0	3	114
				T3S	19,257	3	0	3	105	20,745	3	0	3	113	21,008	3	0	3	115
				T3M	18,695	3	0	3	102	20,140	3	0	3	110	20,395	3	0	4	111
				T4M	18,840	3	0	4	103	20,296	3	0	4	111	20,553	3	0	4	112
				TFTM	19,246	3	0	4	105	20,734	3	0	4	113	20,996	3	0	4	115
				TSVS	20,017	4	0	1	109	21,564	4	0	1	118	21,837	4	0	1	119
				T5S	20,033	4	0	2	109	21,581	4	0	2	118	21,854	4	0	2	119
				T5M	19,983	4	0	2	109	21,527	5	0	3	118	21,799	5	0	3	119
				TSW	19,852	5	0	3	108	21,386	5	0	3	117	21,656	5	0	3	118
				BLC	15,780	2	0	3	86	16,999	2	0	3	93	17,214	2	0	3	94
				LCCO	11,742	2	0	3	64	12,649	2	0	3	69	12,809	2	0	3	70
				RCCO	11,742	2	0	3	64	12,649	2	0	3	69	12,809	2	0	3	70
60	1050	P8	207W	T1S	22,490	3	0	3	109	24,228	3	0	3	117	24,535	3	0	3	119
				T2S	22,581	3	0	3	109	24,326	3	0	3	118	24,634	3	0	3	119
				T2M	22,465	3	0	4	109	24,201	3	0	4	117	24,507	3	0	4	119
				T3S	22,526	3	0	4	109	24,267	3	0	4	117	24,574	3	0	4	119
				T3M	21,869	3	0	4	106	23,558	3	0	4	114	23,857	3	0	4	115
				T4M	22,038	3	0	4	106	23,741	3	0	4	115	24,041	3	0	4	116
				TFTM	22,513	3	0	4	109	24,253	3	0	4	117	24,560	3	0	4	119
				TSVS	23,415	5	0	1	113	25,224	5	0	1	122	25,543	5	0	1	123
				T5S	23,434	4	0	2	113	25,244	4	0	2	122	25,564	4	0	2	123
				T5M	23,374	5	0	3	113	25,181	5	0	3	122	25,499	5	0	3	123
				TSW	23,221	5	0	4	112	25,016	5	0	4	121	25,332	5	0	4	122
				BLC	18,458	2	0	3	89	19,885	2	0	3	96	20,136	2	0	3	97
				LCCO	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72
				RCCO	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72
60	1250	P9	241W	T1S	25,575	3	0	3	106	27,551	3	0	3	114	27,900	3	0	3	116
				T2S	25,678	3	0	3	107	27,663	3	0	3	115	28,013	3	0	3	116
				T2M	25,547	3	0	4	106	27,521	3	0	4	114	27,869	3	0	4	116
				T3S	25,616	3	0	4	106	26,791	3	0	4	111	27,945	3	0	4	116
				T3M	24,868	3	0	4	103	27,597	3	0	4	115	27,129	3	0	4	113
				T4M	25,061	3	0	4	104	26,997	3	0	4	112	27,339	3	0	4	113
				TFTM	25,602	3	0	4	106	27,580	3	0	4	114	27,929	3	0	4	116
				TSVS	26,626	5	0	1	110	28,684	5	0	1	119	29,047	5	0	1	121
				T5S	26,648	4	0	2	111	28,707	5	0	2	119	29,070	5	0	2	121
				T5M	26,581	5	0	3	110	28,635	5	0	3	119	28,997	5	0	3	120
				TSW	26,406	5	0	4	110	28,447	5	0	4	118	28,807	5	0	4	120
				BLC	20,990	2	0	3	87	22,612	2	0	3	94	22,898	2	0	3	95
				LCCO	15,619	2	0	4	65	16,825	2	0	4	70	17,038	2	0	4	71
				RCCO	15,619	2	0	4	65	16,825	2	0	4	70	17,038	2	0	4	71



Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																			
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
60	530	P10	106W	T1S	13,042	3	0	3	123	14,050	3	0	3	133	14,228	3	0	3	134
				T2S	13,200	3	0	3	125	14,220	3	0	3	134	14,400	3	0	3	136
				T2M	12,966	4	0	4	122	13,968	4	0	4	132	14,145	4	0	4	133
				T3S	13,193	4	0	4	124	14,212	4	0	4	134	14,392	4	0	4	136
				T3M	12,766	4	0	4	120	13,751	4	0	4	130	13,925	4	0	4	131
				T4M	12,944	4	0	4	122	13,945	4	0	4	132	14,121	4	0	4	133
				TFTM	13,279	4	0	4	125	14,305	4	0	4	135	14,486	4	0	4	137
				TSVS	13,372	3	0	1	126	14,405	4	0	1	136	14,588	4	0	1	138
				T5S	13,260	3	0	1	125	14,284	3	0	1	135	14,465	3	0	1	136
				T5M	13,256	4	0	2	125	14,281	4	0	2	135	14,462	4	0	2	136
				TSW	13,137	4	0	3	124	14,153	4	0	3	134	14,332	4	0	3	135
				BLC	10,906	3	0	3	103	11,749	3	0	3	111	11,898	3	0	3	112
				LCCO	7,789	1	0	3	73	8,391	1	0	3	79	8,497	1	0	3	80
				RCCO	7,779	4	0	4	73	8,380	4	0	4	79	8,486	4	0	4	80
60	700	P11	137W	T1S	16,556	3	0	3	121	17,835	3	0	3	130	18,061	4	0	4	132
				T2S	16,757	4	0	4	122	18,052	4	0	4	132	18,280	4	0	4	133
				T2M	16,460	4	0	4	120	17,732	4	0	4	129	17,956	4	0	4	131
				T3S	16,747	4	0	4	122	18,041	4	0	4	132	18,270	4	0	4	133
				T3M	16,204	4	0	4	118	17,456	4	0	4	127	17,677	4	0	4	129
				T4M	16,432	4	0	4	120	17,702	4	0	4	129	17,926	4	0	4	131
				TFTM	16,857	4	0	4	123	18,159	4	0	4	133	18,389	4	0	4	134
				TSVS	16,975	4	0	1	124	18,287	4	0	1	133	18,518	4	0	1	135
				T5S	16,832	4	0	1	123	18,133	4	0	2	132	18,362	4	0	2	134
				T5M	16,828	4	0	2	123	18,128	4	0	2	132	18,358	4	0	2	134
				TSW	16,677	4	0	3	122	17,966	5	0	3	131	18,193	5	0	3	133
				BLC	13,845	3	0	3	101	14,915	3	0	3	109	15,103	3	0	3	110
				LCCO	9,888	1	0	3	72	10,652	2	0	3	78	10,787	2	0	3	79
				RCCO	9,875	4	0	4	72	10,638	4	0	4	78	10,773	4	0	4	79
60	1050	P12	207W	T1S	22,996	4	0	4	111	24,773	4	0	4	120	25,087	4	0	4	121
				T2S	23,276	4	0	4	112	25,074	4	0	4	121	25,392	4	0	4	123
				T2M	22,863	4	0	4	110	24,630	5	0	5	119	24,941	5	0	5	120
				T3S	23,262	4	0	4	112	25,060	4	0	4	121	25,377	4	0	4	123
				T3M	22,508	4	0	4	109	24,247	5	0	5	121	24,554	5	0	5	119
				T4M	22,824	5	0	5	110	24,588	5	0	5	119	24,899	5	0	5	120
				TFTM	23,414	5	0	5	113	25,223	5	0	5	122	25,543	5	0	5	123
				TSVS	23,579	5	0	1	114	25,401	5	0	1	123	25,722	5	0	1	124
				T5S	23,380	4	0	2	113	25,187	4	0	2	122	25,506	4	0	2	123
				T5M	23,374	5	0	3	113	25,181	5	0	3	122	25,499	5	0	3	123
				TSW	23,165	5	0	4	112	24,955	5	0	4	121	25,271	5	0	4	122
				BLC	19,231	4	0	4	93	20,717	4	0	4	100	20,979	4	0	4	101
				LCCO	13,734	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72
				RCCO	13,716	4	0	4	66	14,776	4	0	4	71	14,963	4	0	4	72
60	1250	P13	231W	T1S	25,400	4	0	4	110	27,363	4	0	4	118	27,709	4	0	4	120
				T2S	25,709	4	0	4	111	27,695	4	0	4	120	28,046	4	0	4	121
				T2M	25,253	5	0	5	109	27,204	5	0	5	118	27,548	5	0	5	119
				T3S	25,694	5	0	5	111	27,679	5	0	5	120	28,029	5	0	5	121
				T3M	24,861	5	0	5	108	26,782	5	0	5	116	27,121	5	0	5	117
				T4M	25,210	5	0	5	109	27,158	5	0	5	118	27,502	5	0	5	119
				TFTM	25,861	5	0	5	112	27,860	5	0	5	121	28,212	5	0	5	122
				TSVS	26,043	5	0	1	113	28,056	5	0	1	121	28,411	5	0	1	123
				T5S	25,824	4	0	2	112	27,819	5	0	2	120	28,172	5	0	2	122
				T5M	25,818	5	0	3	112	27,813	5	0	3	120	28,165	5	0	3	122
				TSW	25,586	5	0	4	111	27,563	5	0	4	119	27,912	5	0	4	121
				BLC	21,241	4	0	4	92	22,882	4	0	4	99	23,172	4	0	4	100
				LCCO	15,170	2	0	4	66	16,342	2	0	4	71	16,549	2	0	4	72
				RCCO	15,150	5	0	5	66	16,321	5	0	5	71	16,527	5	0	5	72

## FEATURES & SPECIFICATIONS

### INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

### CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.01 ft<sup>2</sup>) for optimized pole wind loading.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

### OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 3000 K, 4000 K and 5000 K (70 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

### STANDARD CONTROLS

The DSX1 LED area luminaire has a number of control options. DSX Size 1, comes standard with 0-10V dimming drivers. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

### nLIGHT AIR CONTROLS

The DSX1 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

### INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 1 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern (template #8). NEMA photocontrol receptacle are also available.

### LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

### BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/customer-support/terms-and-conditions](http://www.acuitybrands.com/support/customer-support/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

