

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
FEBRUARY 28, 2022 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

(2) **P2022-005 (BETHANY ROSS)**

Consider a request by Humberto Johnson of the Skorburg Company on behalf of Glen and Rosie Cox for the approval of a Replat of Lots 3 & 4, Block A, Cox Acres Addition being a 17.51-acre parcel of land identified as Lot 1, Block A, Cox Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, addressed as 1800 E. Quail Run Road, and take any action necessary.

(3) **P2022-006 (ANGELICA GAMEZ)**

Consider a request by Dnyanada Nevgi of the SRC Land Building and Real Estate, LLC on behalf of Rajesh Malviya of Buffalo Country Properties, LLC for the approval of a Replat for Lots 13 & 14 of the Rockwall Business Park East Addition being a 6.280-acre parcel of land identified as Lot 5 of the Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated on the southside of Ralph Hall Parkway west of the intersection of Ralph Hall Parkway and S. Goliad Street [SH-205], and take any action necessary.

(4) **P2022-007 (HENRY LEE)**

Consider a request by Priya Acharya of Wier & Associates, Inc. on behalf of Ross Wood of Frost Bank for the approval of a Replat for Lot 3, Block A, Allen Anderson Addition being a 1.198-acre parcel of land identified as Lot 2, Block A, Allen Anderson Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located at the southwest corner of the intersection of Horizon Road and Rockwall Parkway, and take any action necessary.

(V) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(5) **MIS2022-004 (HENRY LEE)**

Discuss and consider a request by James Best for the approval of a Miscellaneous Case for a Special Exception to allow the construction of a front yard fence for a single-family home on a 2.60-acre parcel of land identified as Lot 1, Block A, Best Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 54 Shadydale Lane, and take any action necessary.

(VI) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is March 15, 2022.

(6) **Z2022-006 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation for the approval of a Zoning Change from Planned Development District 73 (PD-73) to a Light Industrial (LI) District for a 8.008-acre parcel of land identified as Lot 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 73 (PD-73) for Commercial (C) District land uses, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Corporate Crossing and SH-276, and take any action necessary.

(7) **Z2022-007 (ANGELICA GAMEZ)**

Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

(8) **Z2022-008 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Valerie Valdez of DDS Group on behalf of Blanca Canales of JCK Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.3990-acre parcel of land identified as Lot 7, Block A, Heritage Heights Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 7106 Odell Avenue, and take any action necessary.

(9) **Z2022-009 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Jack Kurz of RSDGP, LLC on behalf of Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for *Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

(10) **Z2022-010 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 93.97-acre tract of land identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1936 SH-66, and take any action necessary.

(11) **Z2022-011 (RYAN MILLER)**

Hold a public hearing to discuss and consider a City initiated request for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 5.812-acre tract of land identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located at the southwest corner of the intersection of FM-1141 and N. John King Boulevard, and take any action necessary.

(12) **Z2022-012 (RYAN MILLER)**

Hold a public hearing to discuss and consider approval of a Text Amendment to Section 06, *Overlay Districts*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of incorporating Airport Overlay (AP OV) District, and take any action necessary.

(13) **P2022-008 (HENRY LEE)**

Discuss and consider a request by William Johnson of LTL Family Holdings, LLC for the approval of a Preliminary Plat for the Marina Village Subdivision being a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 92-39] for Zero Lot Line (ZL-5) District land uses, generally located on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.

(14) **SP2022-004 (BETHANY ROSS)**

Discuss and consider a request by Jeff Carroll of Carroll Architects on behalf of Kevin Lefere of Airport Road, LLC for the approval of a Site Plan for an *Office Building* on a 0.47-acre parcel of land identified as Lot 4, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1501 Airport Road, and take any action necessary.

(15) **SP2022-005 (HENRY LEE)**

Discuss and consider a request by Jeremy Nelson, PE of Kirkman Engineering on behalf of Phil Wagner of the Rockwall Economic Development Corporation for the approval of a Site Plan for an *Office/Warehouse/Manufacturing Facility* on a 3.81-acre parcel of land identified as Lot 4, Block B, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Innovation Drive and SH-276, and take any action necessary.

(16) **SP2022-006 (HENRY LEE)**

Discuss and consider a request by Luis Chico of Creativo Designs on behalf of Hector Rodriguez for the approval of a Site Plan for a *Restaurant with 2,000 SF or More with Drive-Through or Drive-In (i.e. Pollo Regio)* on a 1.03-acre parcel of land identified as Lot 1, block A, Grandy's Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 726 E. IH-30, and take any action necessary.

(17) **SP2022-007 (HENRY LEE)**

Discuss and consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development (US), Inc. for the approval of a Site Plan for Phase 2 of the Gideon Grove Subdivision being a 30.36-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard, and take any action necessary.

(18) **SP2022-008 (BETHANY ROSS)**

Discuss and consider a request by John M. Lucio of JAL Architect Group, Inc. on behalf of Guy Holbert of EPE's/Penske for the approval of an Amended Site Plan to add *Outside Storage* to an existing *Trucking Company* being a 4.060-acre parcel of land identified as Lot 1R, Block 1, Texas Star Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2890 S. Goliad Street [*SH-205*], and take any action necessary.

(19) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2022-003: Final Plat for the Nelson Lake Subdivision **(APPROVED)**
- Z2022-001: PD Development Plan for the Harbor District Condominiums **(APPROVED; 1ST READING)**
- Z2022-002: PD Development Plan for the Sunset Ridge Residences **(APPROVED; 1ST READING)**
- Z2022-003: SUP for a *Restaurant with Drive-Through or Drive-In* in Planned Development District 70 (PD-70) **(APPROVED; 1ST READING)**
- Z2022-004: SUP for a *Guest Quarters/Secondary Living Unit* for 704 Jackson Street **(APPROVED; 1ST READING)**
- Z2022-005: SUP for a *Residential Infill Adjacent to an Established Subdivision* 503 S. Clark Street **(APPROVED; 1ST READING)**
- MIS2022-001: Alternative Tree Mitigation Settlement Agreement for 1775 Airport Road **(WITHDRAWN)**

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on February 25, 2022 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
FEBRUARY 28, 2022 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = *RED*

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION ITEMS

(1) **SP2022-004 (BETHANY ROSS)**

Discuss and consider a request by Jeff Carroll of Carroll Architects on behalf of Kevin Lefere of Airport Road, LLC for the approval of a Site Plan for an *Office Building* on a 0.47-acre parcel of land identified as Lot 4, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1501 Airport Road, and take any action necessary.

(2) **SP2022-005 (HENRY LEE)**

Discuss and consider a request by Jeremy Nelson, PE of Kirkman Engineering on behalf of Phil Wagner of the Rockwall Economic Development Corporation for the approval of a Site Plan for an *Office/Warehouse/Manufacturing Facility* on a 3.81-acre parcel of land identified as Lot 4, Block B, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Innovation Drive and SH-276, and take any action necessary.

(3) **SP2022-006 (HENRY LEE)**

Discuss and consider a request by Luis Chico of Creativo Designs on behalf of Hector Rodriguez for the approval of a Site Plan for a *Restaurant with 2,000 SF or More with Drive-Through or Drive-In (i.e. Pollo Regio)* on a 1.03-acre parcel of land identified as Lot 1, block A, Grandy's Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 726 E. IH-30, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

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I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on February 25, 2022 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: February 28, 2022
APPLICANT: Humberto Johnson; *Skorburg Co.*
CASE NUMBER: P2022-005; *Replat for Lots 3 & 4, Block A, Cox Addition*

SUMMARY

Consider a request by Humberto Johnson of the Skorburg Company on behalf of Glen and Rosie Cox for the approval of a Replat of Lots 3 & 4, Block A, Cox Acres Addition being a 17.51-acre parcel of land identified as Lots 1 and 2, Block A, Cox Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, addressed as 1800 E. Quail Run Road, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Replat for a 17.51-acre tract of land (*i.e. Lots 1 & 2, Block A, Cox Addition*) for the purpose of abandoning a 20-foot utility easement along the west property line on the subject property.
- The subject property was annexed by the City Council on August 30, 1999 by *Ordinance No. 99-33 [Case No. A1999-001]*. On June 5, 2017, the City Council approved a final plat [*Case No. P2017-016*] to establish the subject property as Lots 1 & 2, Block A, Cox Addition. According to the Rockwall Central Appraisal District (RCAD), Lot 1 has a 4,295 SF single family home that was constructed in 2017, and Lot 2 has a 4,349 SF single family home that was constructed in 2017. At the time of annexation and currently the subject property is zoned Agricultural (AG) District.
- The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Replat for *Lots 3 & 4, Block A, Cox Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans;
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
 385 S. GOLIAD STREET
 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: P2022-005
 PROJECT NAME: Replat for Lots 3 & 4, Block A, Cox Acres
 SITE ADDRESS/LOCATIONS: 1800 E QUAIL RUN RD, ROCKWALL, 75087

CASE MANAGER: Bethany ross
 CASE MANAGER PHONE: (972) 772-6488
 CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Consider a request by Humberto Johnson of the Skorborg Company on behalf of Glen and Rosie Cox for the approval of a Replat of Lots 3 & 4, Block A, Cox Acres Addition being a 17.51-acre parcel of land identified as Lot 1, Block A, Cox Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, addressed as 1800 E. Quail Run Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	02/25/2022	Approved w/ Comments

02/25/2022: P2022-005; Lots 3 & 4, Block A, Cox Acres Addition
 Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Replat for Lot 3, Block A, Cox Acres Addition being a 17.51-acre parcel of land identified as Lot 13, Block A, Cox Acres Addition, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1800 E. Quail Run Road.
- I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.
- M.3 For reference, include the case number (P2022-005) in the lower right-hand corner of all pages on future submittals.
- I.4 The project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances.
- I.5 The final plat shall conform to all standards and requirements of the Unified Development Code (UDC), the staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.
- I.6 Please provide two (2) large copies [18" x 24" FOLDED] and one PDF version for a subsequent/final review by staff.
- M.7 Label the Right-of-Way width and street centerline for Quail Run Road.
- M.8 Please provide a legal description of the property that ties out to the metes and bounds statements on the plat.
- M.9 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on Mylar for filing.
- I.10 This case will be on the Consent Agenda for both meetings. Please note that scheduled meetings for this case:

- (1) Planning and Zoning Meeting will be held on February 28, 2022.
- (2) City Council meeting will be held on March 7, 2022.

I.11 Although this item will be on the Consent Agenda, staff recommends that a representative be present for the meetings as scheduled above, but is not required. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 PM.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

02/24/2022: Must dedicate an additional 5' of ROW.
 Add note, "Add note:

6. The property owner is responsible for maintenance, repair, and replacement of all drainage systems"

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/25/2022	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments
02/22/2022: No comments			

OWNER'S CERTIFICATION
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS GERALD GLEN COX AND ROSALBA CARRASCO COX, HUSBAND AND WIFE, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING a tract of land situated in the J.A. Ramsey Survey, Abstract Number 196, the J.M. Gass Survey, Abstract No. 88, in Rockwall County, Texas, being all of Lots 1 & 2, Block A of Cox Acres, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Instrument No. 20170000010136, of the Official Public Records of Rockwall County, Texas.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We, the undersigned owners of the land shown on this plat, and designated herein as ROCKWALL TECHNOLOGY PARK PHASE V, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest on the subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use of using same. We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. We, our successors and assigns hereby waive any claim, damage, or cause of action that we, may have as a result of the dedication of exactions made herein.

Gerald Glen Cox

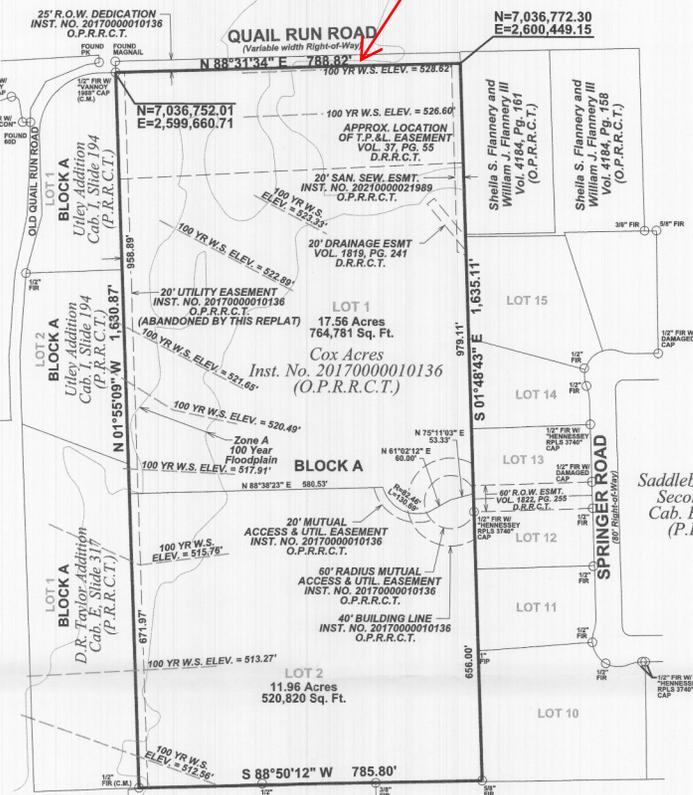
Rosalba Carrasco Cox

STATE OF TEXAS
COUNTY OF ROCKWALL

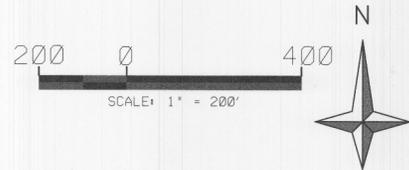
Before me, the undersigned authority, on this day personally appeared Gerald Glen Cox and Rosalba Carrasco Cox, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this _____ day of _____, 2022

Notary Public in and for _____ My Commission Expires _____
the State of Texas



Need to dedicate an additional 5' of ROW



SURVEYOR'S CERTIFICATE
NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
THAT I, Patrick J. Baldasaro, R.P.L.S. 5504, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY
Patrick J. Baldasaro
Texas Registered Professional Land Surveyor No. 5504

STANDARD CITY SIGNATURE BLOCK
Planning & Zoning Commission, Chairman _____ Date _____
APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUT HANDS, this _____ day of _____.

Mayor, City of Rockwall _____ City Secretary of Rockwall _____

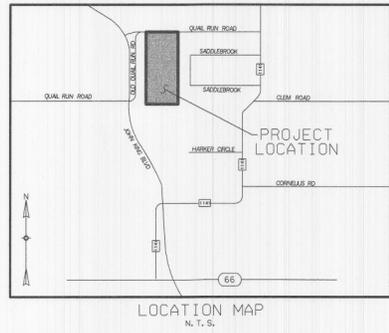
City Engineer _____

LEGEND

○ Monument Found	O.P.R.R.C.T.	Official Public Records Of Rockwall County Texas
● 1/2" Set Iron Rod (W/Red P.J.B SURVEYING Cap) Unless otherwise noted	D.R.R.C.T.	Dead Records Of Rockwall County Texas
SX Set "X" Cut	P.R.R.C.T.	Plat Records Of Rockwall County Texas
FIR Found Iron Rod	INST. NO.	Instrument Number
FIRC Found Iron Rod with Cap	VOL.	Volume
FIP Found Iron Pipe	PG.	Page
FPK Found PK Nail	R.O.W.	Right-of-Way
FX Found "X" Cut	D.E.	Drainage Easement
MON Concrete Monument	U.E.	Utility Easement
(C.M.) Controlling Monument	S.S.E.	Sanitary Sewer Easement
FND Found		

- General Notes:
- Bearings are referenced to the State Plane Coordinate System, Zone 4202, NAD 83.
 - Subject property lies within a Flood Hazard Area as depicted FEMA FIRM Panel Number 48397C0030L, dated September 26, 2008.
 - There are no proposed building improvements with this plat.
 - 100 year cross sections are depicted as shown on Cox Acres Plat, recorded in Instrument No. 20170000010136, O.P.R.R.C.T.
 - P.J.B Surveying assumes no liability for the removal of the 20' Utility Easement or the abandonment process.

Add note:
6. The property owner is responsible for maintenance, repair, and replacement of all drainage systems



REPLAT OF COX ACRES
LOTS 1 & 2, BLOCK A

2 LOTS, BEING 29.51 ACRES
SITUATED IN THE
J.M. GASS SURVEY ABSTRACT NO. 88
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SURVEYOR
P.J.B SURVEYING, LLC
TBPLS NO. 10194303
200 W. BELMONT, SUITE D
ALLEN, TEXAS 75013
972-649-8669

OWNER/SUBDIVIDER
Gerald Glen Cox and
Rosalba Carrasco Cox
815 T.L. Townsend Ste. 101
Rockwall, TX 75087



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. **P2022-005**

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1800 E. Quail Run Rd. Rockwall, TX 75087

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG

CURRENT USE AG

PROPOSED ZONING AG

PROPOSED USE AG

ACREAGE 17.51

LOTS [CURRENT] ¹

LOTS [PROPOSED] ¹

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167, THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Gerald Glen Cox & Rosalba Carrasco Cox

APPLICANT Skorburg Company

CONTACT PERSON Rosalba Carrasco Cox

CONTACT PERSON Humberto Johnson

ADDRESS 815 T.L. Townsend
Ste. 101

ADDRESS 8214 Westchester Dr
Suite 900

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Dallas, TX 75225

PHONE 972-672-5888

PHONE 214-888-8868

E-MAIL rcox@sourcesunlimited.net

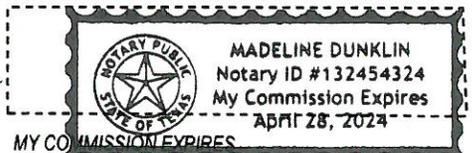
E-MAIL jrjohnson@skorburgcompany.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Gerald Glen Cox & Rosalba Carrasco [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

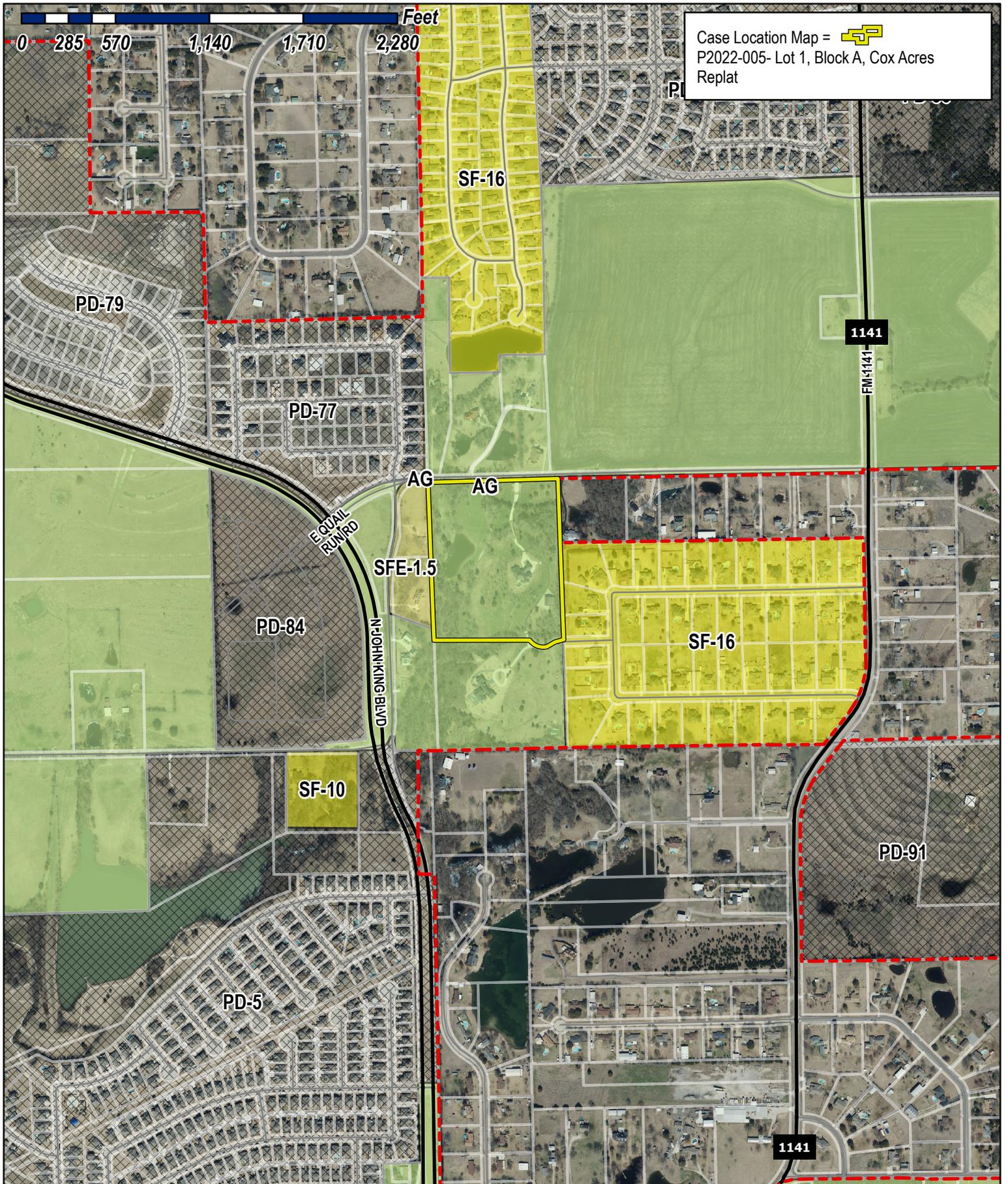
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 651.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF February, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF February, 2022
OWNER'S SIGNATURE Gerald G. Cox Rosalba Carrasco



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Madeline Dunklin



Case Location Map = 
 P2022-005- Lot 1, Block A, Cox Acres
 Replat



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: February 28, 2022
APPLICANT: Dnyanada Nevgi; *SRC Land Building and Real Estate, LLC*
CASE NUMBER: P2022-006; *Replat for Lots 13 & 14, Rockwall Business Park East Addition*

SUMMARY

Consider a request by Dnyanada Nevgi of the SRC Land Building and Real Estate, LLC on behalf of Rajesh Malviya of Buffalo Country Properties, LLC for the approval of a Replat for Lots 13 & 14 of the Rockwall Business Park East Addition being a 6.280-acre parcel of land identified as Lot 5 of the Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated on the southside of Ralph Hall Parkway west of the intersection of Ralph Hall Parkway and S. Goliad Street [SH-205], and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting the approval of a Replat for a 6.280-acre parcel of land (*i.e. Lots 13 & 14 of the Rockwall Business Park East Addition*) for the purpose of establishing two (2) lots (*i.e. Lots 13 & 14, Rockwall Business Park East Addition*). Prior to the applicant's submittal for this Replat, a site plan for the subject property was approved by the Planning and Zoning Commission for a *Daycare Facility* and a *Strip Retail Center* [Case No. SP2020-006].
- ☑ The subject property was annexed by the City Council on December 7, 1981 by *Ordinance No. 81-33* [Case No. A1981-002]. On January 4, 1982, the subject property was rezoned to Planned Development District 14 (PD-14) [Ordinance No. 82-02] for office, retail, light industrial, warehouse, hotel, medical facility, and restaurant land uses. The zoning change included 100.00-acres of land. On December 5, 1983, the City Council approved an amendment to Planned Development District 14 (PD-14) by *Ordinance No. 83-60* to change the concept plan. This ordinance was again amended on October 5, 2009 by *Ordinance No. 09-42* [Case No. Z2009-016] changing the designation from Planned Development District 14 (PD-14) to Commercial (C) District. The subject property remains zoned Commercial (C) District and is currently vacant.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lots 13 & 14, Rockwall Business Park East Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,

- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: P2022-006
PROJECT NAME: Lots 13 & 14, Rockwall Business Park East
SITE ADDRESS/LOCATIONS: 950 E RALPH HALL PKWY, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Consider a request by Dnyanada Nevgi of the SRC Land Building and Real Estate, LLC on behalf of Rajesh Malviya of Buffalo Country Properties, LLC for the approval of a Replat for Lots 13 & 14 of the Rockwall Business Park Addition being a 6.280-acre parcel of land identified as Lot 5 of the Rockwall Business Park Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated on the southside of Ralph Hall Parkway west of the intersection of Ralph Hall Parkway and S. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	02/25/2022	Approved w/ Comments

02/25/2022: P2022-006: Replat for Lots 13 & 14, Rockwall Business Park Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for approval of a Replat for Lots 13 & 14, Rockwall Business Park East Addition being a 6.280-acre parcel of land identified as Lot 5 of the Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated on the southside of ralph Hall Parkway west of the intersection of Ralph Hall parkway and S. Goliad Street [SH-205], and take any action necessary.
- I.2 For questions or comments concerning this case please contact Angelica Gamez in the Planning Department at (972) 772-6438 or email agamez@rockwall.com.
- M.3 For reference, include the case number (P2022-006) in the lower right-hand corner of all pages on future submittals.
- M.4 Please correct the Title Block to the following:

Replat
Lots 13 & 14, Rockwall Business Park East Addition
An Addition to the City of Rockwall, Texas
Being a Replat of Lot 5, Rockwall Business Park East Addition
Being 6.280 Acres
Situated in the J.D. McFarland Survey, Abstract 145
Rockwall County, Texas

- M.5 Please label the State Plane Coordinates on Sheet 1.
- M.6 Please correct the lot numbers from Lots 5A & 5B to Lots 13 & 14 on all areas of the plat.
- M.7 Please add the following after item #6 in Owner's Dedication:

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may

be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

M.8 Please remove the "Storm Drainage Improvements Statement" (#7 in Owners Dedication) and add it to the "General Notes" section on the plat.

I.9 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

M.10 Please review and correct all items listed by the Engineering Department.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval. The Planning and Zoning Commission Meeting for this case will be held on February 28, 2022.

I.12 Although this agenda item may be on the consent agenda, a representative must be present for all meetings.

I.13 The projected City Council Meeting date for this case will be March 7, 2022.

I.14 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

02/24/2022: - Remove irrigation plans from set. They will be approved with a separate building permit.

- Make the floodplain cross section text large, it is hard to read.

- Update the drainage and detention easement to say "Public drainage and erosion hazard easement"

- Extend the drainage easement line to the south property line.

- Add note 6, "The property owner is responsible for the maintenance, repair, and replacement of all drainage and detention systems in easements on the property.

- Update the flood study information, "Michael H Boyd, P.E, Boyd Hydrology PLLC, Dates 9-24-2021"

- There is a tree on top of the proposed sewer line. The installation will kill the tree. Add this tree to the list of removed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

02/22/2022: 1. Tree mitigation approved

2. Landscape plan approved

Remove irrigation plans from submittal. Irrigation permit is required through the Building Department

LOT 2
ROCKWALL BUSINESS PARK EAST
CABINET E, PAGE 265
P.R.R.C.T.

RALPH HALL PARKWAY
CONCRETE PAVEMENT
CENTER LINE

POINT OF BEGINNING

LOT 5B
3.631 ACRES
158,147 SQ. FT.

LOT 5A
2.649 ACRES
115,390 SQ. FT.

Make text bigger

Public Drainage and Erosion Hazard Easement

Extend Drainage Easement Line to south boundary line

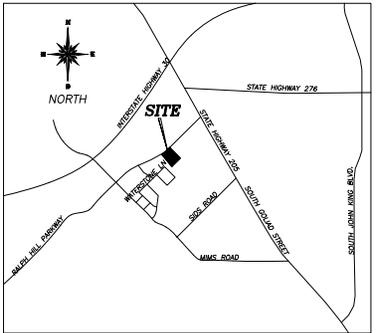
Update Incorrect prepared by Info. Should Be:
Michael H. Boyd, PE
Boyd Hydrology, PLLC
Dated: 09-24-2021

Add note:
6. The property owner is responsible for the maintenance, repair, and replacement of all drainage and detention systems in easements on the property.

FLOOD NOTE:
Floodplain shown is based on the Floodplain Information Study prepared for the Pinnacle Montessori located in Rockwall, Texas and prepared by: ~~MARCO HELMBROGER, PE~~
~~GRADING PLAN - SHEET C2.00 - ISSUE DATE: 12/30/2020~~

GENERAL NOTES:
1. The original copy will have original signatures, stamp seal and an impression seal.
2. Copyright 2020, Surdukan Surveying, Inc.
3. This survey is being provided solely for the use of the current parties.
4. This survey is subject to all easements of record.
5. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
6. The basis of bearings, horizontal and vertical position are derived from Texas WDS RTK Network, Texas State Plane Coordinates System, NAD83, North Central Zone, NAD 83 (COR596) Epoch 2002.0, Vertical position are referenced to NAVD83 using (GEOIOD03).

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	34°10'40"	30.00	17.90	S 28°54'37" E	17.83
C2	90°00'00"	20.00	31.42	S 00°59'57" W	28.28
C3	90°00'00"	20.00	31.42	N 00°59'57" W	28.28
C4	27°41'10"	30.00	14.50	N 59°50'32" W	14.36
C5	42°34'40"	30.00	22.29	S 24°53'57" E	21.78
C6	90°00'00"	20.00	31.42	N 89°00'03" E	28.28
C7	90°00'00"	20.00	31.42	N 00°59'57" W	28.28
C8	34°41'02"	30.00	18.16	N 63°20'28" W	17.88
C9	118°57'18"	20.00	41.52	S 76°51'18" E	34.46
C10	61°02'42"	20.00	21.31	S 13°28'42" W	20.32
C11	78°27'47"	20.00	27.39	S 83°15'56" W	25.30
C12	101°32'13"	20.00	35.44	N 06°46'04" W	30.98
C13	2°12'08"	1242.50	47.76	N 51°31'12" E	47.75
C14	0°47'38"	1348.94	18.69	N 49°59'16" E	18.69
C15	1°15'07"	1242.50	27.15	S 44°39'27" W	27.15
C16	35°55'37"	5.00	3.14	S 61°57'51" W	3.08
C17	35°55'37"	35.00	21.93	N 61°57'51" E	21.59
C18	68°53'51"	25.00	30.06	S 77°55'46" W	28.28
C19	48°00'03"	19.15	16.04	N 25°09'13" E	15.58
C20	32°02'49"	20.13	11.26	N 18°04'26" W	11.11
C21	30°59'41"	26.14	14.14	N 70°39'48" W	13.97



VICINITY MAP

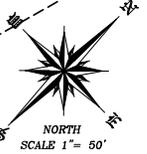
REVISED FEBRUARY 14, 2022
REVISED OCTOBER 18, 2021
REVISED AUGUST 17, 2021
JUNE 24, 2020

Job No. 2020-03 CASE NO.:

REPLAT
ROCKWALL BUSINESS PARK EAST
LOT 5A & LOT 5B
AN ADDITION TO THE CITY OF ROCKWALL, TEXAS
BEING A REPLAT OF LOT 5
ROCKWALL BUSINESS PARK EAST
LOTS 1, 2, 3, 4, & 5
CABINET E, SLIDE 265
6.280 Acres Situated In The
J.D. McFARLAND SURVEY ~ ABSTRACT 145
ROCKWALL COUNTY, TEXAS
SHEET 1 OF 2

Owner
LAKESIDE KIDS, LLC
ATTN: MONA AGARWAL
5909 BETH DRIVE
PLANO, TEXAS 75093
TELEPHONE 423 943-1203

Surveyor
SURDUKAN SURVEYING, INC.
DAVID J. SURDUKAN, R.P.L.S. 4613
P.O. BOX 126
ANNA, TEXAS 75409
TELEPHONE 972 924-8200



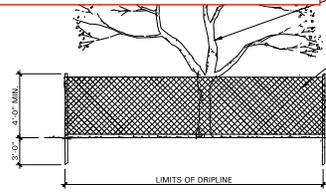
- LEGEND
- C.M. = CONTROLLING MONUMENT
 - CIRF = CAPPPED 1/2" IRON ROD FOUND
 - ◆ = FIRE HYDRANT
 - = WATER VALVE
 - = SANITARY SEWER MANHOLE
 - = STORM SEWER MANHOLE

FLOODPLAIN SECTION WITH 100 YEAR ELEVATION (TYPICAL)

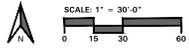


- TREE PRESERVATION NOTES**
- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE CANOPIES OF TREE.
 - IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
 - NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
 - ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A ROBOCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
 - NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
 - NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE INCLUDING BUT NOT LIMITED TO: PAINT, OIL SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
 - NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
 - NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
 - BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY INCHES. SHALL BE A MINIMUM DEPTH OF FORTY EIGHT (48) INCHES.
 - IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE GUID BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
 - ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
 - ALL TREES TO REMAIN AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4) FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
 - WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

This tree will need to be removed. Add to the list for mitigation

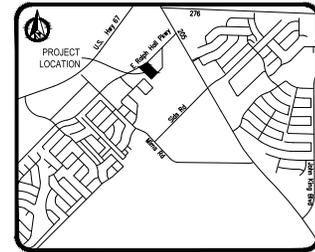


- EXISTING TREE LEGEND**
- EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L.01
 - REFER TO PLAN FOR EXISTING TREE TO REMAIN
 - SNOW FENCE, ORANGE VINYL CONSTRUCTION FENCE, OR CHAIN LINK FENCE
 - METAL T-POST PLACED NO FURTHER THAN 8' APART
 - EXISTING GRADE TO REMAIN UNDISTURBED



SITE DATA

LOT AREA (PROPOSED LOT 5a)	AREA (SQUARE ACRES) (%)
115,390	2.65
108,147	3.63
17,367	0.39 15.05%
57,937	1.33 50.21%
11,302	0.26 7.14%



PROJECT NAME: PINNACLE MONTESSORI ROCKWALL
EXISTING LEGAL DESCRIPTION: LOT 5, ROCKWALL BUSINESS PARK EAST
CASE NUMBER: XXXXXXXXX
CURRENT OWNER: DALLAS EAST, ATTN: JIM VAUDAGNA
 1445 W SAN CARLOS ST.
 SAN JOSE, CA 95126
DEVELOPER: EPSILON LAND DEVELOPMENT, JARED HELMBERGER
 811 S. CENTRAL EXPRESSWAY, #306
 RICHARDSON, TX 75080

4245 North Central Expwy
Suite 301
Dallas, Texas 75205
214.866.7192

BELLE FIRMA

OMEGA DESIGN, LLC
 811 S. CENTRAL EXPRESSWAY
 SUITE 306
 RICHARDSON, TX 75080

REVISIONS

#	DATE	COMMENTS
1	05.06.21	City Comments
2	10.13.20	City Comments
3	11.19.21	City Comments
4	12.06.21	City Comments

PROFESSIONAL SEAL



OWNER INFORMATION

Lakeside Kids, LLC
 5909 Bath Drive
 Plano, TX 75093

PROJECT INFORMATION

**PINNACLE MONTESSORI
 ACADEMY ROCKWALL**
 E RALPH HALL PARKWAY AND PLAZA DRIVE
 ROCKWALL, TEXAS

SHEET TITLE

TREE PRESERVATION PLAN

SHEET NUMBER
L.01

ISSUE DATE: 03-25-2023



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2022-006

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 950 E and 962 E Ralph Hall Parkwy, Rockwall, TX 75032

SUBDIVISION _____

LOT 5A & 5B BLOCK _____

GENERAL LOCATION Rockwall Business Park East, 6.280 acres situated in J.D. McFarland Survey~ Abstract 145, Rockwall County

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C

CURRENT USE Commercial

PROPOSED ZONING C

PROPOSED USE Commercial/ Retail

ACREAGE 6.280 Acres

LOTS [CURRENT] 5

LOTS [PROPOSED] 5A & 5B

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Buffalo Country Properties LLC

APPLICANT SRC Land Building and Real Estate LLC

CONTACT PERSON Rajesh Malviya

CONTACT PERSON Dnyanada Nevgi

ADDRESS 5909 Beth Dr

ADDRESS 811 S Central Expressway, Suite 306

CITY, STATE & ZIP Plano, TX 75093

CITY, STATE & ZIP Richardson, TX 75080

PHONE (214) 454-6944

PHONE 214-396-3737

E-MAIL nrmalviya@yahoo.com

E-MAIL pm@srlandbuilding.com

NOTARY VERIFICATION [REQUIRED]

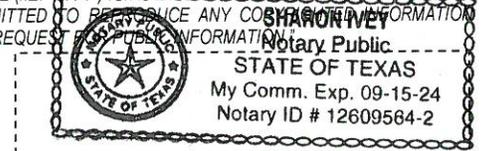
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RAJESH MALVIYA [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 425.6 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY CORRECT INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

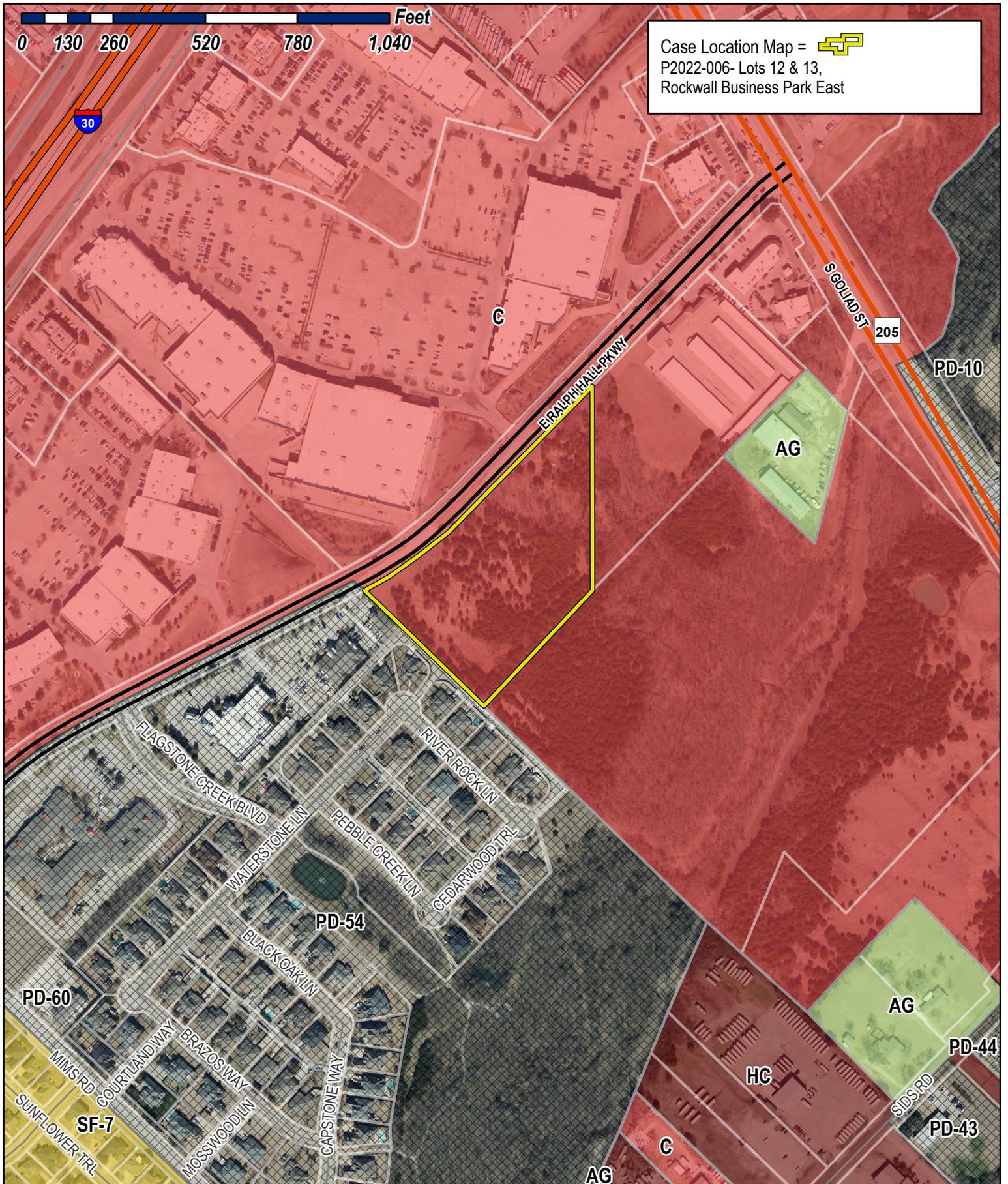
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF February, 2023

OWNER'S SIGNATURE Rajesh Malviya

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Sharon Mey



MY COMMISSION EXPIRES 9-15-2024



Case Location Map = 
 P2022-006- Lots 12 & 13,
 Rockwall Business Park East

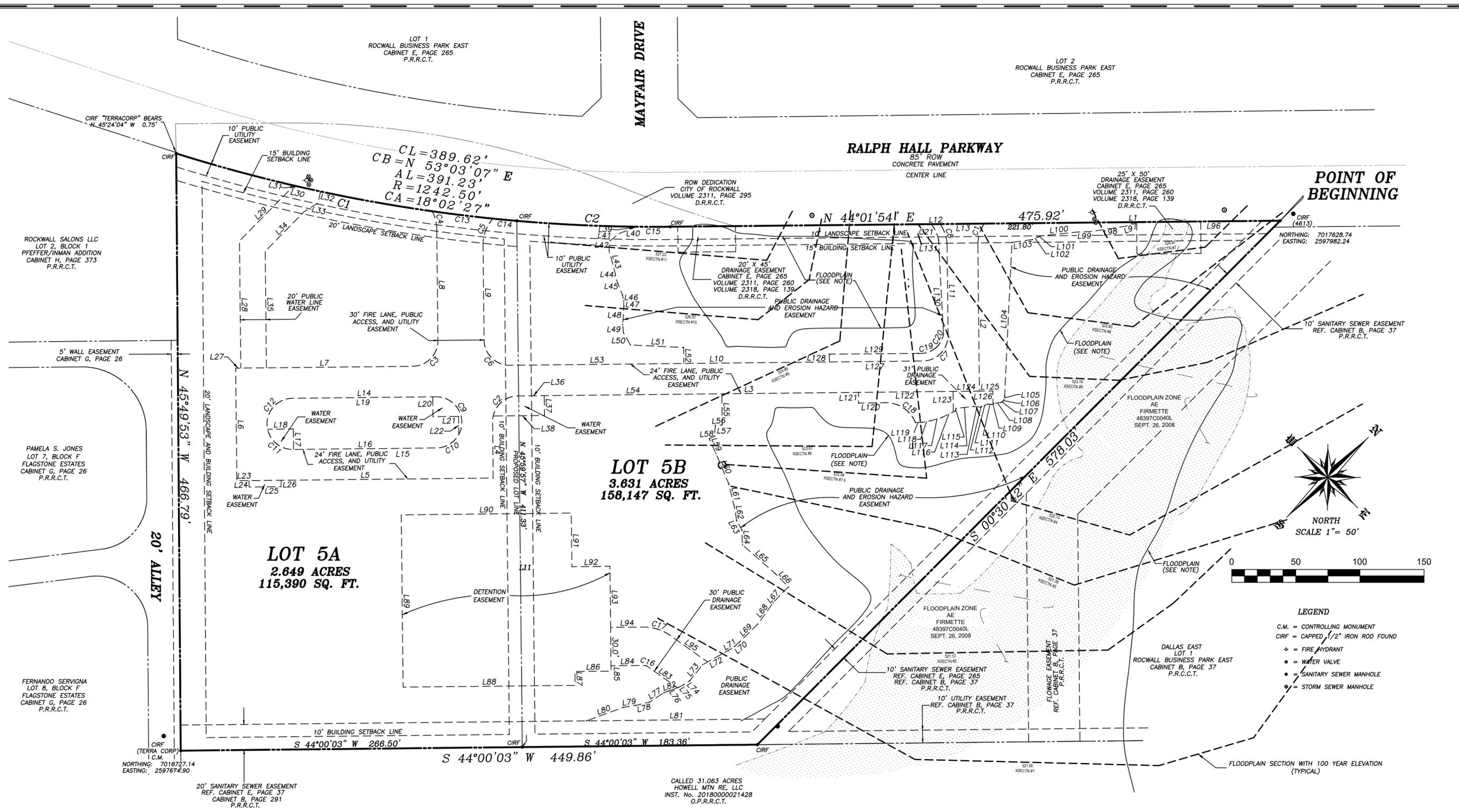


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





- LEGEND**
- C.M. = CONTROLLING MONUMENT
 - CIRF = CAPPED 1/2" IRON ROD FOUND
 - ⋄ = FIRE HYDRANT
 - ⊕ = WATER VALVE
 - ⊙ = SANITARY SEWER MANHOLE
 - ⊙ = STORM SEWER MANHOLE

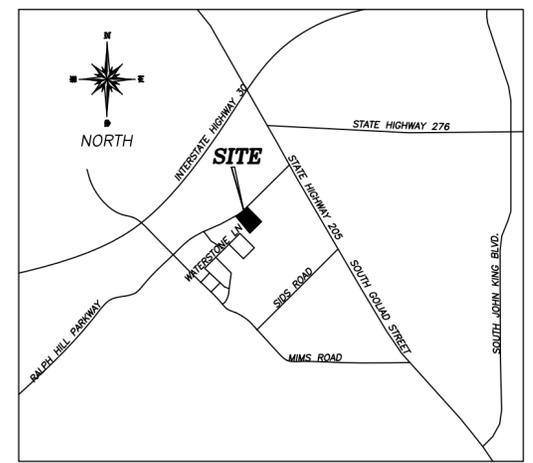
FLOOD NOTE:

Floodplain shown is based on the Floodplain Information Study prepared for the Pinnacle Montessori located in Rockwall, Texas and prepared by: JARED HELMBERGER PE
 GRADING PLAN - SHEET C2.00 ISSUE DATE: 12/20/2020

GENERAL NOTES:

1. The original copy will have original signatures, stamp seal and an impression seal.
2. Copyright 2020, Surdukan Surveying, Inc.
3. This survey is being provided solely for the use of the current parties.
4. This survey is subject to all easements of record.
5. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
6. The basis of bearings, horizontal and vertical position are derived from Texas WDS RTK Network, Texas State Plane Coordinates System, NAD83, North Central Zone, Nad 83 (CORS96) Epoch 2002.0, Vertical position are referenced to NAVD88 using (GEOID03).

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	34°10'40"	30.00	17.90	S 28°54'37" E	17.63
C2	90°00'00"	20.00	31.42	S 00°59'57" E	28.28
C3	90°00'00"	20.00	31.42	N 00°59'57" W	28.28
C4	27°41'10"	30.00	14.50	N 59°50'32" W	14.36
C5	42°34'40"	30.00	22.29	S 24°42'37" E	21.78
C6	90°00'00"	20.00	31.42	N 89°00'03" E	28.28
C7	90°00'00"	20.00	31.42	N 00°59'57" W	28.28
C8	34°41'02"	30.00	18.16	N 63°20'28" W	17.88
C9	118°57'18"	20.00	41.52	S 76°31'18" E	34.46
C10	61°02'42"	20.00	21.31	S 13°28'42" W	20.32
C11	78°27'47"	20.00	27.39	S 83°13'56" W	25.30
C12	101°32'13"	20.00	35.44	N 06°46'04" W	30.98
C13	2°12'08"	1242.50	47.76	N 51°31'12" E	47.75
C14	0°47'38"	1348.94	18.69	N 49°59'16" E	18.69
C15	1°15'07"	1242.50	27.15	S 44°39'27" W	27.15
C16	35°55'37"	5.00	3.14	S 61°57'51" W	3.08
C17	35°55'37"	35.00	21.95	N 61°57'51" E	21.59
C18	68°53'31"	25.00	30.06	S 77°55'46" W	28.28
C19	48°00'03"	19.15	16.04	N 25°09'13" E	15.58
C20	32°02'49"	20.13	11.26	N 18°04'26" W	11.11
C21	30°59'41"	26.14	14.14	N 70°39'48" W	13.97



REPLAT
**ROCKWALL BUSINESS PARK EAST
 LOT 5A & LOT 5B**
 AN ADDITION TO THE CITY OF ROCKWALL, TEXAS
 BEING A REPLAT OF LOT 5
 ROCKWALL BUSINESS PARK EAST
 LOTS 1, 2, 3, 4, & 5
 CABINET E, SLIDE 265
 6.280 Acres Situated In The
J.D. McFARLAND SURVEY ~ ABSTRACT 145
 ROCKWALL COUNTY, TEXAS
 SHEET 1 OF 2

Owner
 LAKESIDE KIDS, LLC
 ATTN: MONA AGARWAL
 5909 BETH DRIVE
 PLANO, TEXAS 75093
 TELEPHONE 423 943-1203

Surveyor
 SURDUKAN SURVEYING, INC.
 DAVID J. SURDUKAN, R.P.L.S. 4613
 P.O. BOX 126
 ANNA, TEXAS 75409
 TELEPHONE 972 924-8200

REVISED FEBRUARY 14, 2022
 REVISED OCTOBER 18, 2021
 REVISED AUGUST 17, 2021
 JUNE 24, 2020

Job No. 2020-03 CASE NO.:

OWNERS' CERTIFICATE

STATE OF TEXAS)
COUNTY OF ROCKWALL)

WHEREAS, Lakeside Kids, LLC being the owner of a tract of land in the County of Rockwall, State of Texas, said tract being all of Lot 5 of ROCKWALL BUSINESS PARK EAST, LOTS 1, 2, 3, 4, & 5, an Addition to the City of Rockwall, Rockwall County, Texas according to the Map or Plat thereof recorded in Cabinet E, Page 265 of the Plat Records of Rockwall County, Texas and more particularly described in metes and bounds as follows;

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "4613" found for corner at the north corner of said Lot 5, said corner also being the west corner of Lot 1, Rockwall Business Park East, an addition to the City of Rockwall, as recorded in Cabinet B, Page 37 of the Plat Records of Rockwall County, Texas, said iron rod being in the southeast right-of-way of Ralph Hall Parkway, an 85' right-of-way;
THENCE S 00°30'42" E a distance of 578.03' to a 1/2" iron rod with yellow plastic cap stamped "4613" found for corner;
THENCE S 44°00'03" W a distance of 449.86' to a 1/2" iron rod with plastic cap stamped "TERRA CORP" found for corner in the east line of Block F of the Flagstone Estate addition to the City of Rockwall and recorded in Cabinet G, Page 26 of the Plat Records of Rockwall County, Texas;

THENCE N 45°49'53" W a distance of 466.79' to a 1/2" iron rod with yellow plastic cap stamped "4613" found for the northeast corner of Lot 2, Block 1 of the Pfeffer/Inman Addition addition to the City of Rockwall and recorded in Cabinet H, Page 373 of the Plat Records of Rockwall County, Texas, and said iron rod being in the southeast right-of-way of Ralph Hall Parkway at the beginning of a non-tangent curve to the left;
THENCE along said curve to the left following the southeast right-of-way of Ralph Hall Parkway through a central angle of 18°02'27", a radius of 1242.50', an arc length of 391.23', with a chord bearing of N 46°47'39" E, and a chord length of 389.62' to a 1/2" iron rod with yellow plastic cap stamped "4613" found for corner;
THENCE N 44°01'54" E continuing with the southeast right-of-way of Ralph Hall Parkway a distance of 475.92' to the POINT OF BEGINNING and containing 273,537 Square Feet or 6.280 Acres of land.

OWNERS' DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the replat of ROCKWALL BUSINESS PARK EAST, LOT 5A & LOT 5B to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the ROCKWALL BUSINESS PARK EAST, LOT 5A & LOT 5B subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

LAKESIDE KIDS, LLC

Mona Agarwal
Managing Partner

STATE OF TEXAS

Before me, the undersigned Notary Public for the State of Texas, on this day personally appeared Mona Agarwal, a Managing Partner of Lakeside Kids, LLC, known to me to be the person whose name is subscribed to the forgoing instrument and acknowledged to me that Mona Agarwal executed the same for the purpose and considerations therein expressed and in the capacity stated.

Given under my hand and seal of the office this the ___ day of _____, 2021,

Notary Public, State of Texas

My Commission Expires

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, David J. Surdukan, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Land Surveying.

David J. Surdukan
R.P.L.S. 4613

Date

CITY OF ROCKWALL'S CERTIFICATE

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ___ day of _____, 2021.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ___ day of _____, 2021.

Mayor, City of Rockwall

City Secretary

City Engineer

REPLAT
ROCKWALL BUSINESS PARK EAST
LOT 5A & LOT 5B
AN ADDITION TO THE CITY OF ROCKWALL, TEXAS
BEING A REPLAT OF LOT 5
ROCKWALL BUSINESS PARK EAST
LOTS 1, 2, 3, 4, & 5
CABINET E, SLIDE 265
6.280 Acres Situated In The
J.D. McFARLAND SURVEY ~ ABSTRACT 145
ROCKWALL COUNTY, TEXAS
SHEET 2 OF 2

Owner

LAKESIDE KIDS, LLC
ATTN: MONA AGARWAL
5909 BETH DRIVE
PLANO, TEXAS 75093
TELEPHONE 423 943-1203

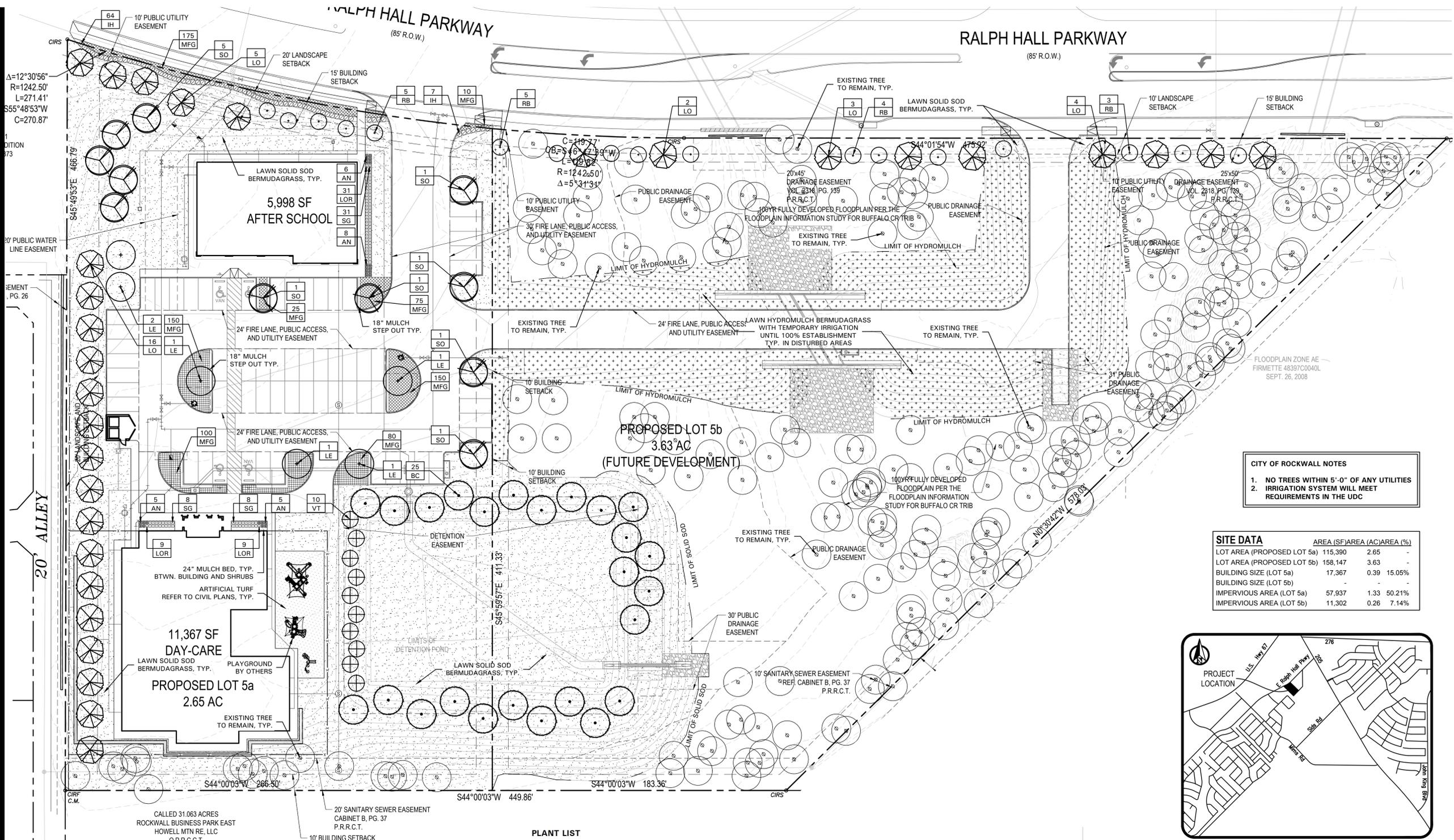
Surveyor

SURDUKAN SURVEYING, INC.
DAVID J. SURDUKAN, R.P.L.S. 4613
P.O. BOX 126
ANNA, TEXAS 75409
TELEPHONE 972 924-8200

TREE SURVEY FIELD DATA				
No.	Dia. (Inches)	Species (Common name)	Status	Mitigation (Inches)
1659	6	Cedar	TO BE REMOVED	
1660	8	Cedar	TO BE REMOVED	
1661	18	Cedar	TO REMAIN	
1662	6	Cedar	TO BE REMOVED	
1663	6	Cedar	TO BE REMOVED	
1664	6	Cedar	TO BE REMOVED	
1665	6	Cedar	TO BE REMOVED	
1666	6	Cedar	TO BE REMOVED	
1667	6	Cedar	TO BE REMOVED	
1668	6	Cedar	TO BE REMOVED	
1669	6	Cedar	TO BE REMOVED	
1670	6	Cedar	TO BE REMOVED	
1671	8	Cedar	TO BE REMOVED	
1672	6	Cedar	TO BE REMOVED	
1673	6	Cedar	TO BE REMOVED	
1674	6	Cedar	TO BE REMOVED	
1675	12	Cedar	TO BE REMOVED	6
1676	8	Cedar	TO REMAIN	
1677	12	Cedar	TO BE REMOVED	6
1678	6	Cedar	TO REMAIN	
1679	6	Cedar	TO BE REMOVED	
1680	6	Cedar	TO BE REMOVED	
1681	6	Cedar	TO BE REMOVED	
1682	6	Cedar	TO BE REMOVED	
1683	6	Cedar	TO BE REMOVED	
1684	6	Cedar	TO BE REMOVED	
1685	12	Cedar	TO BE REMOVED	6
1686	6	Cedar	TO REMAIN	
1687	10	Cedar	TO BE REMOVED	
1688	6	Cedar	TO REMAIN	
1689	6	Cedar	TO BE REMOVED	
1690	6	Cedar	TO BE REMOVED	
1691	6	Cedar	TO REMAIN	
1692	6	Cedar	TO REMAIN	
1693	14	Cedar	TO BE REMOVED	7
1694	10	Cedar	TO REMAIN	
1695	8	Cedar	TO REMAIN	
1696	6	Cedar	TO REMAIN	
1697	16	Cedar	TO REMAIN	
1698	6	Cedar	TO REMAIN	
1699	6	Cedar	TO REMAIN	
1700	18	Cedar	TO BE REMOVED	9
1838	12	Hackberry	TO REMAIN	
1839	12	Hackberry	TO REMAIN	
1840	8	Green Ash	TO REMAIN	
1841	10	Hackberry	TO REMAIN	
1842	10	Hackberry	TO REMAIN	
1843	12	Gulf Black Willow	TO REMAIN	
1844	10	Gulf Black Willow	TO REMAIN	
1845	10	Cottonwood	TO REMAIN	
1846	6	Green Ash	TO REMAIN	
1847	6	Cottonwood	TO REMAIN	
1848	6	Hackberry	TO BE REMOVED	DECLINE
1849	12	Hackberry	TO BE REMOVED	6
1850	8	Hackberry	TO BE REMOVED	DECLINE
1851	6	Green Ash	TO BE REMOVED	6
1852	6	American Elm	TO BE REMOVED	6
1853	6	Hackberry	TO BE REMOVED	6
1854	12	Hackberry	TO BE REMOVED	6
1855	8	Hackberry	TO BE REMOVED	DECLINE
1856	6	Hackberry	TO BE REMOVED	DECLINE
1857	12	Hackberry	TO REMAIN	
1858	12	Cedar Elm	TO REMAIN	
1859	6	Hackberry	TO REMAIN	
1860	10	Hackberry	TO REMAIN	
1861	8	American Elm	TO REMAIN	
1862	8	Cedar Elm	TO REMAIN	
1863	8	Cedar	TO REMAIN	
1864	10	American Elm	TO REMAIN	
1865	6	Hackberry	TO REMAIN	
1866	6	Hackberry	TO REMAIN	
1867	10	Cottonwood	TO BE REMOVED	
1868	8	Hackberry	TO BE REMOVED	DECLINE
1869	6	Hackberry	TO BE REMOVED	DECLINE
1870	6	Hackberry	TO BE REMOVED	
1871	10	Hackberry	TO BE REMOVED	
1872	6	Hackberry	TO BE REMOVED	
1873	10	American Elm	TO BE REMOVED	10
1874	8	Hackberry	TO BE REMOVED	
1875	6	Hackberry	TO BE REMOVED	
1876	8	Cedar	TO BE REMOVED	
1877	6	Hackberry	TO BE REMOVED	
1878	6	Cedar	TO BE REMOVED	
1879	8	Hackberry	TO BE REMOVED	
1880	10	Hackberry	TO BE REMOVED	
1881	8	Hackberry	TO BE REMOVED	
1882	6	Hackberry	TO BE REMOVED	
1883	6	Hackberry	TO BE REMOVED	
1884	6	Hackberry	TO BE REMOVED	
1885	12	Cedar	TO REMAIN	
1886	10	Cedar	TO REMAIN	
1887	12	Cedar	TO REMAIN	
1888	8	American Elm	TO BE REMOVED	8
1889	8	Cedar	TO BE REMOVED	
1890	12	Cedar	TO REMAIN	
1891	6	Hackberry	TO BE REMOVED	
1892	8	Cedar	TO BE REMOVED	
1893	6	Cedar	TO BE REMOVED	
1894	10	Green Ash	TO BE REMOVED	10
1895	6	Cedar	TO BE REMOVED	
1896	22	Cottonwood	TO BE REMOVED	
1897	8	Hackberry	TO BE REMOVED	
1898	12	Cedar	TO BE REMOVED	6
1899	10	Cedar	TO BE REMOVED	
2017	6	Cedar	TO BE REMOVED	
2018	6	Cedar	TO BE REMOVED	
2020	6	Cedar	TO BE REMOVED	
2022	14	Cedar	TO BE REMOVED	7
2023	10	Cedar	TO BE REMOVED	
2024	6	Cedar	TO BE REMOVED	
2025	6	Cedar	TO BE REMOVED	
2026	6	Cedar	TO BE REMOVED	
2027	24	Cedar	TO REMAIN	
2028	6	Cedar	TO REMAIN	
2029	10	Cedar	TO REMAIN	
2030	6	Cedar	TO REMAIN	
2031	8	Cedar	TO REMAIN	
2032	10	Cedar	TO REMAIN	
2033	20	Cedar	TO REMAIN	
2034	6	Cedar	TO REMAIN	
2035	6	Cedar	TO BE REMOVED	
2036	6	Cedar	TO BE REMOVED	
2037	6	Cedar	TO BE REMOVED	

2038	6	Cedar	TO BE REMOVED	
2039	6	Cedar	TO BE REMOVED	
2040	6	Cedar	TO BE REMOVED	
2041	6	Cedar	TO BE REMOVED	
2042	6	Cedar	TO BE REMOVED	
2043	6	Cedar	TO BE REMOVED	
2044	6	Cedar	TO BE REMOVED	
2045	6	Cedar	TO BE REMOVED	
2046	10	American Elm	TO BE REMOVED	10
2047	6	Cedar	TO BE REMOVED	
2048	12	Green Ash	TO BE REMOVED	12
2049	8	Cedar	TO BE REMOVED	
2050	10	Green Ash	TO BE REMOVED	10
2051	10	Pecan	TO BE REMOVED	
2052	6	Cedar	TO BE REMOVED	
2053	10	Cedar	TO REMAIN	
2054	6	Cedar	TO REMAIN	
2055	10	Cedar	TO REMAIN	
2056	6	Cedar	TO REMAIN	
2057	6	Cedar	TO BE REMOVED	
2058	6	Cedar	TO BE REMOVED	
2059	6	Cedar	TO BE REMOVED	
2060	6	Cedar	TO BE REMOVED	
2061	6	Cedar	TO BE REMOVED	
2062	6	Cedar	TO BE REMOVED	
2063	6	Cedar	TO BE REMOVED	
2064	10	Cottonwood	TO REMAIN	
2065	6	Cedar	TO BE REMOVED	
2066	8	Cedar	TO BE REMOVED	
2067	6	Cedar	TO BE REMOVED	
2068	6	Cedar	TO BE REMOVED	
2069	6	Cedar	TO BE REMOVED	
2070	6	Cedar	TO BE REMOVED	
2071	6	Cedar	TO BE REMOVED	
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2074	6	Cedar	TO BE REMOVED	
2075	6	Cedar	TO BE REMOVED	
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2078	14	Cedar	TO BE REMOVED	7
2079	6	Cedar	TO BE REMOVED	
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2083	6	Cedar	TO BE REMOVED	
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2085	8	Cedar	TO REMAIN	
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2089	6	Cedar	TO BE REMOVED	
2090	6	Cedar	TO BE REMOVED	
2091	6	Cedar	TO BE REMOVED	
2092	16	Cedar	TO BE REMOVED	8
2093	6	Cedar	TO BE REMOVED	
2095	6	Cedar	TO REMAIN	
2096	16	Cedar	TO REMAIN	
2097	6	Cedar	TO BE REMOVED	
2098	6	Cedar	TO REMAIN	
2099	6	Cedar	TO BE REMOVED	
2301	10	Cedar	TO BE REMOVED	
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2305	6	Cedar	TO BE REMOVED	
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2317	10	Cedar	TO BE REMOVED	
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2319	8	Cedar	TO BE REMOVED	
2320	6	Cedar	TO BE REMOVED	
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2322	6	Cedar	TO BE REMOVED	
2323	10	Cedar	TO BE REMOVED	
2324	12	Cedar	TO BE REMOVED	6
2325	6	Cedar	TO BE REMOVED	
2326	6	Cedar	TO BE REMOVED	
2327	6	Cedar	TO BE REMOVED	
2328	12	Cedar	TO BE REMOVED	6
2329	6	Cedar	TO BE REMOVED	
2330	8	Cedar	TO BE REMOVED	
2331	6	Cedar	TO BE REMOVED	
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2333	6	Cedar	TO BE REMOVED	
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2340	10	Cedar	TO BE REMOVED	
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2343	6	Cedar	TO BE REMOVED	
2344	6	Cedar	TO BE REMOVED	
2345	10	Cedar	TO BE REMOVED	
2346	12	Cedar	TO BE REMOVED	6
2347	14	Cedar	TO BE REMOVED	7
2348	8	Cedar	TO BE REMOVED	
2349	12	Cedar	TO BE REMOVED	6
2350	6	Cedar	TO BE REMOVED	
2351	12	Cedar	TO BE REMOVED	6
2352	18	Cedar	TO BE REMOVED	9
2353	14	Cedar	TO BE REMOVED	7
2354	12	Cedar	TO BE REMOVED	6
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2356	16	Cedar	TO REMAIN	
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2365	10	Cedar	TO REMAIN	
2366	12	Cedar	TO REMAIN	
2367	14	Cedar	TO REMAIN	

2368	8	Cedar	TO REMAIN	
2369	16	Cedar	TO REMAIN	
2370	8	Cedar	TO REMAIN	
2371	6	Cedar	TO REMAIN	
2372	8	Cedar	TO BE REMOVED	
2373	6	Cedar	TO BE REMOVED	
2375	10	Cedar	TO BE REMOVED	9
2376	18	Cedar	TO BE REMOVED	
2377	10	Cedar	TO BE REMOVED	
2378	6	Cedar	TO BE REMOVED	
2379	6	Cedar	TO REMAIN	
2380	6	Cedar	TO BE REMOVED	
2381	6	Cedar	TO BE REMOVED	
2382	6	Cedar	TO BE REMOVED	
2383	6	Cedar	TO BE REMOVED	
2384	6	Cedar	TO BE REMOVED	
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2413	8	Cedar	TO REMAIN	
2414	6	Cedar	TO REMAIN	
2415	6	Cedar	TO REMAIN	
2416	6	Cedar	TO REMAIN	
2417	6	Cedar	TO REMAIN	
2418	8	Cedar	TO REMAIN	
2419	10	Cedar	TO REMAIN	
2420	10	Cedar	TO REMAIN	
2421	6	Cedar	TO REMAIN	
2422				



Δ=12°30'56"
R=1242.50'
L=271.41'
S55°48'53"W
C=270.87'

10' PUBLIC WATER LINE EASEMENT
EASEMENT
PG. 26

20' ALLEY

CALLLED 31.063 ACRES
ROCKWALL BUSINESS PARK EAST
HOWELL MTN RE, LLC
O.P.R.C.C.T.

OMEGA DESIGN, LLC
811 S. CENTRAL EXPRESSWAY
SUITE 306
RICHARDSON, TX 75080

TPBE FIRM NO. F-20145

REVISIONS		
#	DATE	COMMENTS
1	05.06.20	City Comments
2	10.13.20	City Comments
3	11.19.21	City Comments
4	12.06.21	City Comments

PROFESSIONAL SEAL



OWNER INFORMATION

Lakeside Kids, LLC
5909 Beth Drive
Plano, TX 75093

PROJECT INFORMATION

**PINNACLE MONTESSORI
ACADEMY ROCKWALL**
E. RALPH HALL PARKWAY AND PLAZA DRIVE
ROCKWALL, TEXAS

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L2.01

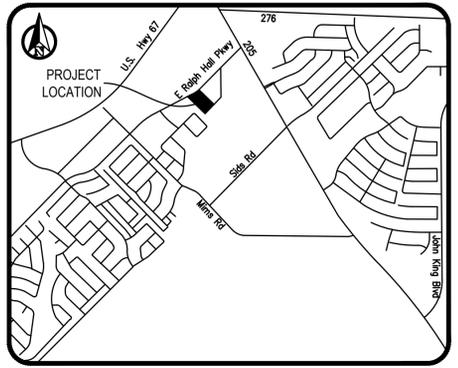
ISSUE DATE: 03-20-2020

CITY OF ROCKWALL NOTES

- NO TREES WITHIN 5'-0" OF ANY UTILITIES
- IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

SITE DATA

	AREA (S.F.)	AREA (AC)	AREA (%)
LOT AREA (PROPOSED LOT 5a)	115,390	2.65	-
LOT AREA (PROPOSED LOT 5b)	158,147	3.63	-
BUILDING SIZE (LOT 5a)	17,367	0.39	15.05%
BUILDING SIZE (LOT 5b)	-	-	-
IMPERVIOUS AREA (LOT 5a)	57,937	1.33	50.21%
IMPERVIOUS AREA (LOT 5b)	11,302	0.26	7.14%

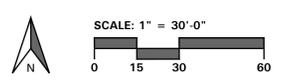


PROJECT NAME: PINNACLE MONTESSORI ROCKWALL
EXISTING LEGAL DESCRIPTION: LOT 5, ROCKWALL BUSINESS PARK EAST
CASE NUMBER: XXXXXXXXXX
CURRENT OWNER: DALLAS EAST, ATTN: JIM VAUDAGNA
 1445 W SAN CARLOS ST.
 SAN JOSE, CA 95126
DEVELOPER: EPSILON LAND DEVELOPMENT, JARED HELMBERGER
 811 S. CENTRAL EXPRESSWAY, #306
 RICHARDSON, TX 75080

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	TYPE	QTY.	SIZE	REMARKS
TREES						
BC	<i>Taxodium distichum</i>	Bald Cypress	Canopy	25	4" cal.	container grown, 15" ht., 6' spread, 6' branching ht., matching
LE	<i>Ulmus parvifolia</i> 'Sempervirens'	Lacebark Elm	Canopy	5	4" cal.	container grown, 15" ht., 6' spread, 6' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	Canopy	30	4" cal.	container grown, 15" ht., 6' spread, 6' branching ht., matching
RB	<i>Cercis canadensis</i> 'Oklahoma'	Oklahoma Redbud	Accent	17	30 gal.	container grown, 8' ht., 4' spread min.
SO	<i>Quercus shumardii</i>	Shumard Red Oak	Canopy	11	4" cal.	container grown, 15" ht., 6' spread, 6' branching ht., matching
VT	<i>Vitex agnus-castus</i>	Vitex	Accent	10	2" cal.	B&B or container grown, 8' ht., 4' spread, 3 trunk min.
SHRUBS/GROUND COVER						
AN	<i>Juniperus tobiro</i> 'Andorra'	Andorra Juniper		24	5 gal.	container full, 20" spread, 24" o.c.
IH	<i>Raphiolepis indica</i> 'Clara'	Indian Hawthorne 'Clara'		71	5 gal.	container full, 24" spread, 36" o.c.
LOR	<i>Loropetalum chinensis</i> 'Plum Delight'	Loropetalum 'Plum Delight'		49	3 gal.	container full, 18" spread, 24" o.c.
MFG	<i>Nassella tenuissima</i>	Mexican Feathergrass		765	1 gal.	container full, 24" o.c.
SG	<i>Salvia greggii</i> 'Red'	Salvia Greggii 'Red'		47	5 gal.	container full, 20" spread 24" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass				solid sod, refer to Solid Sod Notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
 PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
 ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.



BELLE FIRMA
 4245 North Central Expy
 Suite 501
 Dallas, Texas 75205
 214.865.7192 office

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- CONTRACTOR SHALL CROWN ALL LANDSCAPE ISLANDS TO 6" HEIGHT, TYPICAL AND UNIFORM THROUGHOUT THE SITE.
- CONTRACTOR SHALL OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF FINE GRADING, CROWNS, AND BERMS PRIOR TO INSTALLING LANDSCAPE. NOTIFY LANDSCAPE ARCHITECT 72 HOURS IN ADVANCE TO SCHEDULE A SITE VISIT.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL PROVIDE AN ADD ALTERNATE PRICE TO INSTALL (2") TWO INCHES OF IMPORTED TOPSOIL ON ALL LAWN AREAS IN LIEU OF USING EXISTING TOPSOIL ON-SITE. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM LAND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS. AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

HYDROMULCH NOTES

- CONTRACTOR SHALL SCARIFY, RIP AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
- BERMUDAGRASS SEED SHALL BE EXTRA HULLED AND TREATED LAWN TYPE, SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET STATE LAW REQUIREMENTS.
- FIBER SHALL BE ONE HUNDRED PERCENT (100%) WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY 'CONWEB' OR EQUAL.
- FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL BE 'TERRO-TACK ONE', AS MANUFACTURED BY GROWERS, INC. OR EQUAL.
- HYDROMULCH WITH BERMUDAGRASS SEED AT A RATE OF TWO (2) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.
- USE A 4'X8" BATTER BOARD AGAINST ALL BED AREAS.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MAY 1, ALL HYDROMULCH AREAS TO BE WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDAGRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
- ALL LAWN AREAS TO BE HYDROMULCHED SHALL HAVE ONE HUNDRED PERCENT (100%) COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE TABULATIONS - Lot 5a
THE CITY OF ROCKWALL, TEXAS

NON-RESIDENTIAL R.O.V. BUFFER
 1. Ten (10') foot-wide landscape buffer with one tree per fifty (50) I.F. and one accent tree per (50) I.F., to include groundcover, berm, and shrubbery

RALPH HALL PARKWAY: 272 I.F.
 Required Provided
 10' wide buffer 20' wide buffer
 (5) trees, 4" cal. (5) trees, 4" cal.
 (5) accent trees (5) accent trees

RESIDENTIAL BUFFER
 1. Twenty (20') foot-wide landscape buffer with one tree per twenty (20) I.F.

Residential Adjacency: 320 I.F.
 Required Provided
 20' wide buffer 20' wide buffer
 (16) trees, 4" cal. (16) trees, 4" cal.

PARKING LOT LANDSCAPING
 1. Five (5%) percent of the interior parking lot shall be landscape.
 2. One tree per ten (10) spaces for lots over 20,000 s.f.

Total interior parking lot area: 23,980 s.f.
 Total parking spaces: 64 spaces

Required Provided
 1,199 s.f. (5%) 4,288 s.f.
 (7) trees, 4" cal. (12) trees, 4" cal.

SITE LANDSCAPING
 1. Fifteen (15%) percent of the total site shall be landscaped for COMMERCIAL.
 2. Fifty (50%) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.

Total site: 273,538 s.f.

Required Provided
 41,031 s.f. (15%) 56,373 s.f. (21%)
 20,516 s.f. (50%) 24,603 s.f. (60%)

DETENTION BASIN LANDSCAPING
 1. One (1) canopy tree and (1) accent tree per 750 s.f. of dry area.

Detention Basin Area: 8,051 s.f.

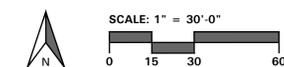
Required Provided
 (10) trees, 4" cal. (10) trees, 4" cal.
 (10) accent trees (10) accent trees

LANDSCAPE TABULATIONS - Lot 5b
THE CITY OF ROCKWALL, TEXAS

NON-RESIDENTIAL R.O.V. BUFFER
 1. Ten (10') foot-wide landscape buffer with one tree per fifty (50) I.F. and one accent tree per (50) I.F.

RALPH HALL PARKWAY: 596 I.F.
 Required Provided
 10' wide buffer 10' wide buffer
 (12) trees, 4" cal. (9) trees, 4" cal.
 (12) accent trees (12) accent trees
 (3) existing trees

CITY OF ROCKWALL NOTES
 1. NO TREES WITHIN 5'-0" OF ANY UTILITIES
 2. IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC



• 4245 North Central Expy
 • Suite 501
 • Dallas, Texas 75205
 • 214.865.7192 office

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 811 S. CENTRAL EXPRESSWAY
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TPBE FIRM NO. F-20145

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OWNER INFORMATION

Lakeside Kids, LLC
 5909 Beth Drive
 Plano, TX 75093

PROJECT INFORMATION

**PINNACLE MONTESSORI
 ACADEMY ROCKWALL**
 E. RALPH HALL PARKWAY AND PLAZA DRIVE
 ROCKWALL, TEXAS

SHEET TITLE

LANDSCAPE NOTES

SHEET NUMBER

L2.02

ISSUE DATE: 03-20-2020



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: February 28, 2022
APPLICANT: Priya Acharya; *Wier & Associates, Inc.*
CASE NUMBER: P2022-007; *Replat for Lot 3, Block A, Allen Anderson Addition*

SUMMARY

Consider a request by Priya Acharya of Wier & Associates, Inc. on behalf of Ross Wood of Frost Bank for the approval of a Replat for Lot 3, Block A, Allen Anderson Addition being a 1.198-acre parcel of land identified as Lot 2, Block A, Allen Anderson Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located at the southwest corner of the intersection of Horizon Road and Rockwall Parkway, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Replat for a 1.198-acre parcel of land (*i.e. Lot 2, Block A, Allen Anderson Addition*) for the purpose of establishing the easements necessary to facilitate the development of the subject property. Prior to the applicant's submittal for this Replat, a site plan for the subject property was approved by the Planning and Zoning Commission for a ~4,165 SF *Financial Institution with Drive Through* [Case No. SP2021-035].
- The subject property was annexed by the City Council on November 7, 1960 by *Ordinance No. 60-03* [Case No. A1960-003]. On November 12, 1973 the City Council approved *Ordinance No. 73-49* rezoning the subject property from an Agricultural (AG) District to Planned Development District 9 (PD-9) for General Retail (GR) District land uses. On November 16, 2007, the City Council approved a final plat [Case No. P2007-031] establishing the subject property as Lot 2, Block A, Allen Anderson Addition. Since the time of annexation, the subject property has remained vacant. Since the original approval of Planned Development District 9 (PD-9), Ordinance No. 73-49 has been amended nine (9) times (*Ordinance No.'s 86-55, 87-30, 88-13, 88-20, 95-17, 01-43, 04-02, 11-31, & 13-43*), with the most recent amendment being approved by City Council on November 4, 2013. With this being, said the land uses permitted on the subject property (*i.e. General Retail [GR] District land uses*) have not changed since the original adoption of Planned Development District 9 (PD-9). On January 11, 2022, the Planning and Zoning Commission approved a site plan [Case No. 2021-035] to allow the construction of a *Financial Institution with Drive Through*.
- The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Replat for Lot 3, Block A, Allen Anderson Addition, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans;
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: P2022-007
PROJECT NAME: Lot 3, Block A, Allen Anderson Addition
SITE ADDRESS/LOCATIONS: 3092 HORIZON RD

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Consider a request by Priya Acharya of Wier & Associates, Inc. on behalf of Ross Wood of Frost Bank for the approval of a Replat for Lot 3, Block A, Allen Anderson Addition being a 1.198-acre parcel of land identified as Lot 2, Block A, Allen Anderson Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located at the southwest corner of the intersection of Horizon Road and Rockwall Parkway, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/25/2022	Approved w/ Comments

02/25/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lot 3, Block A, Allen Anderson Addition being a 1.198-acre parcel of land identified as Lot 2, Block A, Allen Anderson Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located at the southwest corner of the intersection of Horizon Road and Rockwall Parkway.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2022-007) in the lower right-hand corner of all pages on future submittals.

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

M.5 Correct the Title Block to the following:

Final Plat
Lot 3, Block A
Allen Anderson Addition
52,186 Square Feet / 1.198 Acres
Being a Replat of Lot 2, Block A, Allen Anderson Addition
Being 1.198 Acres of Land
Situated in the Edward Teal Survey, Abstract No. 207
City of Rockwall, Rockwall County, Texas

M.6 Is there any new Fire Lane being added? If so correct the plat to reflect this.

M.7 Please provide the centerline for Horizon Road.

M.8 Remove the notary for the surveyor; the seal will suffice. Also remove the preliminary language from the surveyor's signature/seal block.

M.9 There is a discrepancy between the plat and the Owner's Certification; the last bearing reads 240.00' when the plat shows 240.01'.

M.10 There is a duplication of the Public Improvement Statement in #4 in the notes and #1 in the general notes. Please remove #4 in the notes.

M.11 Nothing may be built or planted in the Right-of-Way Easement (Vol. 1772, Pg. 124) situated along Rockwall Parkway. Engineering already has the needed ROW for Rockwall Parkway. If the easement is not abandoned it would cause changes to the approved Site Plan and Civil Plans. To abandon the easement, please crosshatch the

easement and label it as "Abandoned by this Plat."

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval. The Planning and Zoning Commission Meeting for this case will be held on February 28, 2022.

I.13 Although this agenda item may be on the consent agenda, staff recommends that a representative be present for all meetings.

I.14 The projected City Council Meeting date for this case will be March 7, 2022.

I.15 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

02/24/2022: - Show the 10' wide utility easement along Rockwall Parkway.

- Note that the dimensions and location of the drainage easement may change with the final approval of the engineering plans.

- The offsite drainage easement will need to have the filing information included on the mylars.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Needs Review

02/23/2022: Fire Lane shall be included in the platted access easement.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

02/22/2022: No comments

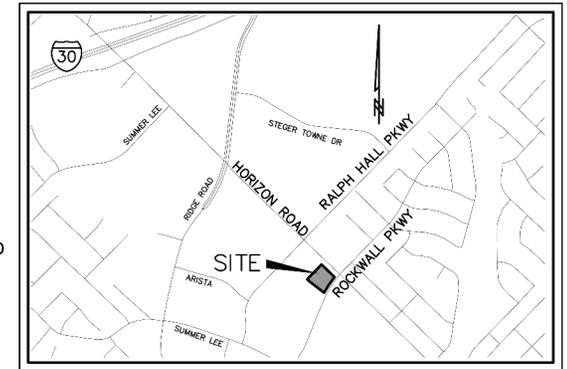
PRELIMINARY FOR REVIEW PURPOSES ONLY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

* LEGEND *

CM	CONTROLLING MONUMENT
IRF	IRON ROD FOUND
IRS	IRON ROD SET
YER	YELLOW CAP STAMPED
WER	"WER & ASSOC INC"

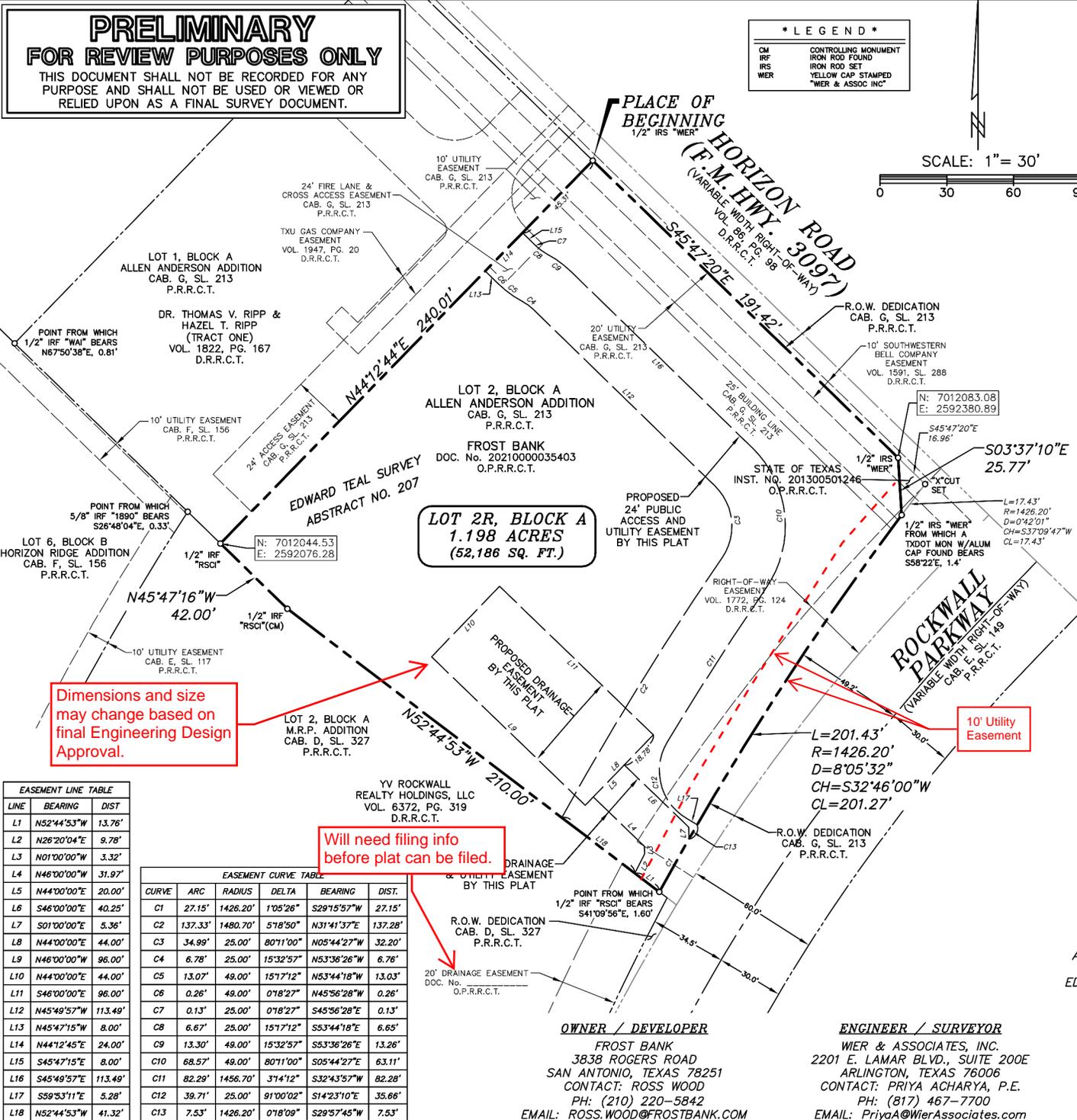
SCALE: 1" = 30'



VICINITY MAP
NOT TO SCALE

* NOTES *

- ACCORDING TO SURVEYOR'S INTERPRETATION OF INFORMATION SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) "FLOOD INSURANCE RATE MAP" (FIRM), MAP NO. 483970040L, MAP REVISED SEPTEMBER 26, 2008, ALL OF THE SUBJECT TRACT LIES WITHIN ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ZONE AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION, OR THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
 - THE ABOVE REFERENCED "FIRM" MAP IS FOR USE IN ADMINISTERING THE "NFIP"; IT DOES NOT NECESSARILY SHOW ALL AREAS POTENTIALLY SUBJECT TO FLOODING, PARTICULARLY AREAS WHICH COULD BE FLOODED BY SEVERE, CONCENTRATED RAINFALL COUPLED WITH INADEQUATE LOCAL DRAINAGE SYSTEMS. THERE MAY BE OTHER STREAMS, CREEKS, LOW AREAS, DRAINAGE SYSTEMS OR OTHER SURFACE OR SUBSURFACE CONDITIONS EXISTING ON OR NEAR THE SUBJECT PROPERTY WHICH ARE NOT STUDIED OR ADDRESSED AS PART OF THE "NFIP".
 - ALL BEARINGS AND COORDINATES SHOWN HEREON ARE CORRELATED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD OF 1983, AS DERIVED BY FIELD OBSERVATIONS UTILIZING THE RTK NETWORK ADMINISTERED BY ALLTERRA CENTRAL, INC.
 - IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.
 - THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL DETENTION AND DRAINAGE SYSTEMS.
 - ALL 1/2" IRON RODS SET WITH A CAP STAMPED "WER & ASSOC INC", UNLESS NOTED OTHERWISE.
 - PROPERTY OWNER ~~NOT THE CITY~~ IS RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL NON-STANDARD DECORATIVE SIGNS, POLE/POSTS, HARDWARE, LIGHTING, OR OTHER NON-STANDARD ITEMS. THE CITY OF ROCKWALL HAS NO MAINTENANCE, LIABILITY, OR OTHER RESPONSIBILITY RELATED TO THESE ITEMS.
- GENERAL NOTES:
- IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.



Dimensions and size may change based on final Engineering Design Approval.

Will need filing info before plat can be filed.

LINE	BEARING	DIST
L1	N52°44'53"W	13.76'
L2	N26°20'04"E	9.78'
L3	N01°00'00"W	3.32'
L4	N46°00'00"W	31.97'
L5	N44°00'00"E	20.00'
L6	S46°00'00"E	40.25'
L7	S01°00'00"E	5.36'
L8	N44°00'00"E	44.00'
L9	N46°00'00"W	96.00'
L10	N44°00'00"E	44.00'
L11	S46°00'00"E	96.00'
L12	N45°49'57"W	113.49'
L13	N45°47'15"W	8.00'
L14	N44°12'45"E	24.00'
L15	S45°47'15"E	8.00'
L16	S45°49'57"E	113.49'
L17	S59°53'11"E	5.28'
L18	N52°44'53"W	41.32'

CURVE	ARC	RADIUS	DELTA	BEARING	DIST.
C1	27.15'	1426.20'	1°05'26"	S29°15'57"W	27.15'
C2	137.33'	1480.70'	5°18'50"	N31°41'37"E	137.28'
C3	34.99'	25.00'	80°11'00"	N05°44'27"W	32.20'
C4	6.78'	25.00'	15°32'57"	N53°36'26"W	6.76'
C5	13.07'	49.00'	15°17'12"	N53°44'18"W	13.03'
C6	0.26'	49.00'	0°18'27"	N45°56'28"W	0.26'
C7	0.13'	25.00'	0°18'27"	S45°56'28"E	0.13'
C8	6.67'	25.00'	15°17'12"	S53°44'18"E	6.65'
C9	13.30'	49.00'	15°32'57"	S53°36'26"E	13.26'
C10	68.57'	49.00'	80°11'00"	S05°44'27"E	63.11'
C11	82.29'	1456.70'	3°14'12"	S32°43'57"W	82.28'
C12	39.71'	25.00'	91°00'02"	S14°23'10"E	35.66'
C13	7.53'	1426.20'	0°18'09"	S29°57'45"W	7.53'

OWNER / DEVELOPER
FROST BANK
3838 ROGERS ROAD
SAN ANTONIO, TEXAS 78251
CONTACT: ROSS WOOD
PH: (210) 220-5842
EMAIL: ROSS.WOOD@FROSTBANK.COM

ENGINEER / SURVEYOR
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006
CONTACT: PRIYA ACHARYA, P.E.
PH: (817) 467-7700
EMAIL: PriyaA@WierAssociates.com

**REPLAT
LOT 2R, BLOCK A
ALLEN ANDERSON ADDITION**
AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
BEING 1.198 ACRES OF LAND LOCATED IN THE
EDWARD TEAL SURVEY, ABSTRACT No. 207, ROCKWALL COUNTY, TEXAS

CASE No. XXXX-XXX
PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900
DATE: 2/16/2022
W.A. No. 21089

PRINTED: 2/16/2022 STB FILE: WIER-SURVEY.STB LAST SAVED: 2/16/2022 3:04 PM FILE: REPLAT-21089.DWG

OWNER'S CERTIFICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS FROST BANK, BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, SAID TRACT BEING DESCRIBED AS FOLLOWS:

BEING A TRACT OF LAND LOCATED IN THE EDWARD TEAL SURVEY, ABSTRACT NUMBER 207, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF LOT 2, BLOCK A, ALLEN ANDERSON ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET G, SLIDE 213, (P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD SET WITH A CAP STAMPED "WER & ASSOC INC" IN THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID HORIZON ROAD (F.M. HWY. 3097) (A VARIABLE WIDTH RIGHT-OF-WAY), SAID IRON ROD BEING THE NORTH CORNER OF SAID LOT 2 AND THE EAST CORNER OF LOT 1, BLOCK A OF SAID ALLEN ANDERSON ADDITION;

THENCE S 45°47'20" E, ALONG THE NORTHEAST LINE OF SAID LOT 2 AND THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID HORIZON ROAD, 191.42 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WER & ASSOC INC" AT THE NORTH END OF A RIGHT-OF-WAY CORNER CLIP AT THE INTERSECTION OF THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID HORIZON ROAD WITH THE NORTHWEST RIGHT-OF-WAY LINE OF ROCKWALL PARKWAY (A VARIABLE WIDTH RIGHT-OF-WAY) BEING THE NORTH CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO THE STATE OF TEXAS RECORDED IN INSTRUMENT NUMBER 201300501246, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.);

THENCE S 03°37'10" E, ALONG SAID CORNER CLIP AND THE WEST LINE OF SAID STATE OF TEXAS TRACT, 25.77 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WER & ASSOC INC" FROM WHICH A TEXAS DEPARTMENT OF TRANSPORTATION MONUMENT FOUND WITH AN ALUMINUM CAP BEARS S 58°22' E, 1.4 FEET, SAID IRON ROD BEING THE SOUTH END OF SAID CORNER CLIP AND THE SOUTH CORNER OF SAID STATE OF TEXAS TRACT, BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;

THENCE SOUTHWESTERLY, AN ARC LENGTH OF 201.43 FEET ALONG THE SOUTHEAST LINE OF SAID LOT 2, THE NORTHWEST RIGHT-OF-WAY LINE OF SAID ROCKWALL PARKWAY, AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1426.20 FEET, A DELTA ANGLE OF 08°05'32", AND A CHORD BEARING OF S 32°46'00" W, 201.27 FEET TO A POINT, FROM WHICH 1/2" IRON ROD FOUND WITH A CAP STAMPED "RSCI" BEARS S 41°09'56" E, 1.60 FEET, SAID POINT BEING THE SOUTH CORNER OF SAID LOT 2 AND IN THE NORTHEAST LINE OF LOT 2, BLOCK A, M.R.P. ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET D, SLIDE 327, P.R.R.C.T.;

THENCE N 52°44'33" W, DEPARTING THE NORTHWEST RIGHT-OF-WAY LINE OF SAID ROCKWALL PARKWAY, ALONG THE SOUTHWEST LINE OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION AND THE NORTHEAST LINE OF SAID LOT 2, BLOCK A, M.R.P. ADDITION, 210.00 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "RSCI";

THENCE N 45°47'16" W, CONTINUING ALONG THE SOUTHWEST LINE OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION AND THE NORTHEAST LINE OF SAID LOT 2, BLOCK A, M.R.P. ADDITION, 42.00 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "RSCI", SAID IRON ROD BEING THE WEST CORNER OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION, AND THE SOUTH CORNER OF SAID LOT 1;

THENCE N 44°12'44" E, ALONG THE NORTHWEST LINE OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION, AND THE SOUTHEAST LINE OF SAID LOT 1, A DISTANCE OF 240.00 FEET TO THE PLACE OF BEGINNING AND CONTAINING 1.198 ACRES (52,186 SQUARE FEET) OF LAND, MORE OR LESS.

SURVEYOR'S STATEMENT

THAT I, AARON L. STRINGFELLOW, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

SURVEYED ON THE GROUND
NOVEMBER 29, 2021

"THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF AARON L. STRINGFELLOW, RPLS. NO. 6373 ON February 16, 2022. IT IS NOT TO BE USED FOR RECORDING, CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THIS DOCUMENT IS NOT TO BE RELIED UPON AS A COMPLETE SURVEY AND SHALL NOT BE RECORDED."

AARON L. STRINGFELLOW
REGISTERED PUBLIC SURVEYOR
STATE OF TEXAS NO. 6373
EMAIL: AARONL@WIERASSOCIATES.COM

STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED AARON L. STRINGFELLOW, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED AND AS THE ACT AND DEED THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS ____ DAY OF _____, 2022.

NOTARY SIGNATURE _____

MY COMMISSION EXPIRES: _____

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I, THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOT 2, BLOCK A, ALLEN ANDERSON ADDITION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. I FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN LOT 2R, BLOCK A, ALLEN ANDERSON ADDITION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

I UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. I ALSO UNDERSTAND THE FOLLOWING:

1. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.
2. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSES OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.
3. THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.
4. THE DEVELOPER AND ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.

6. NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY ENGINEER AND CITY ADMINISTRATOR, CONVERTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

I FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; I, MY SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTION'S MADE HEREIN.

WITNESS OUR HANDS THIS THE ____ DAY OF _____, 2022:

FOR: FROST BANK

OWNER _____

STATE OF _____
COUNTY OF _____

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ OF FROST BANK, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF _____

PRINTED NAME _____

OWNER / DEVELOPER

FROST BANK
3838 ROGERS ROAD
SAN ANTONIO, TEXAS 78251
CONTACT: ROSS WOOD
PH: (210) 220-5842
EMAIL: ROSS.WOOD@FROSTBANK.COM

ENGINEER / SURVEYOR

WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006
CONTACT: PRIYA ACHARYA, P.E.
PH: (817) 467-7700
EMAIL: PRIYAA@WIERASSOCIATES.COM

RECOMMENDED FOR FINAL APPROVAL

PLANNING AND ZONING COMMISSION, CHAIRMAN _____ DATE _____

APPROVED

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2022.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL COUNTY, TEXAS WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS ____ DAY OF _____, 2022.

MAYOR, CITY OF ROCKWALL _____ CITY SECRETARY _____ CITY ENGINEER _____

PRELIMINARY
FOR REVIEW PURPOSES ONLY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

REPLAT
LOT 2R, BLOCK A
ALLEN ANDERSON ADDITION
AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
BEING 1.198 ACRES OF LAND LOCATED IN THE
EDWARD TEAL SURVEY, ABSTRACT No. 207, ROCKWALL COUNTY, TEXAS

CASE No. XXXX-XXX

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

SHEET 2 OF 2

DATE: 2/16/2022
W.A. No. 21089



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22032-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Address not available

SUBDIVISION Allen Anderson Addition

LOT 2 BLOCK 2

GENERAL LOCATION Northwest corner of Rockwall Parkway and FM 3097

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-009

CURRENT USE Vacant

PROPOSED ZONING N/A

PROPOSED USE Financial Institution with Drive-Through

ACREAGE 1.198

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Frost Bank

APPLICANT Wier & Associates, Inc.

CONTACT PERSON Ross Wood

CONTACT PERSON Priya Acharya

ADDRESS 3838 Rogers Road

ADDRESS 2201 E. Lamar Blvd. Suite 200E

CITY, STATE & ZIP San Antonio, Texas, 78251

CITY, STATE & ZIP Arlington, Texas, 76006

PHONE (210) 220-5842

PHONE (817) 467-7700

E-MAIL ross.wood@frostbank.com

E-MAIL priyaa@wierassociates.com

NOTARY VERIFICATION [REQUIRED]

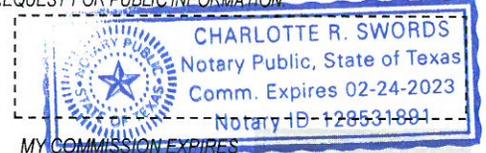
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ross Wood [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

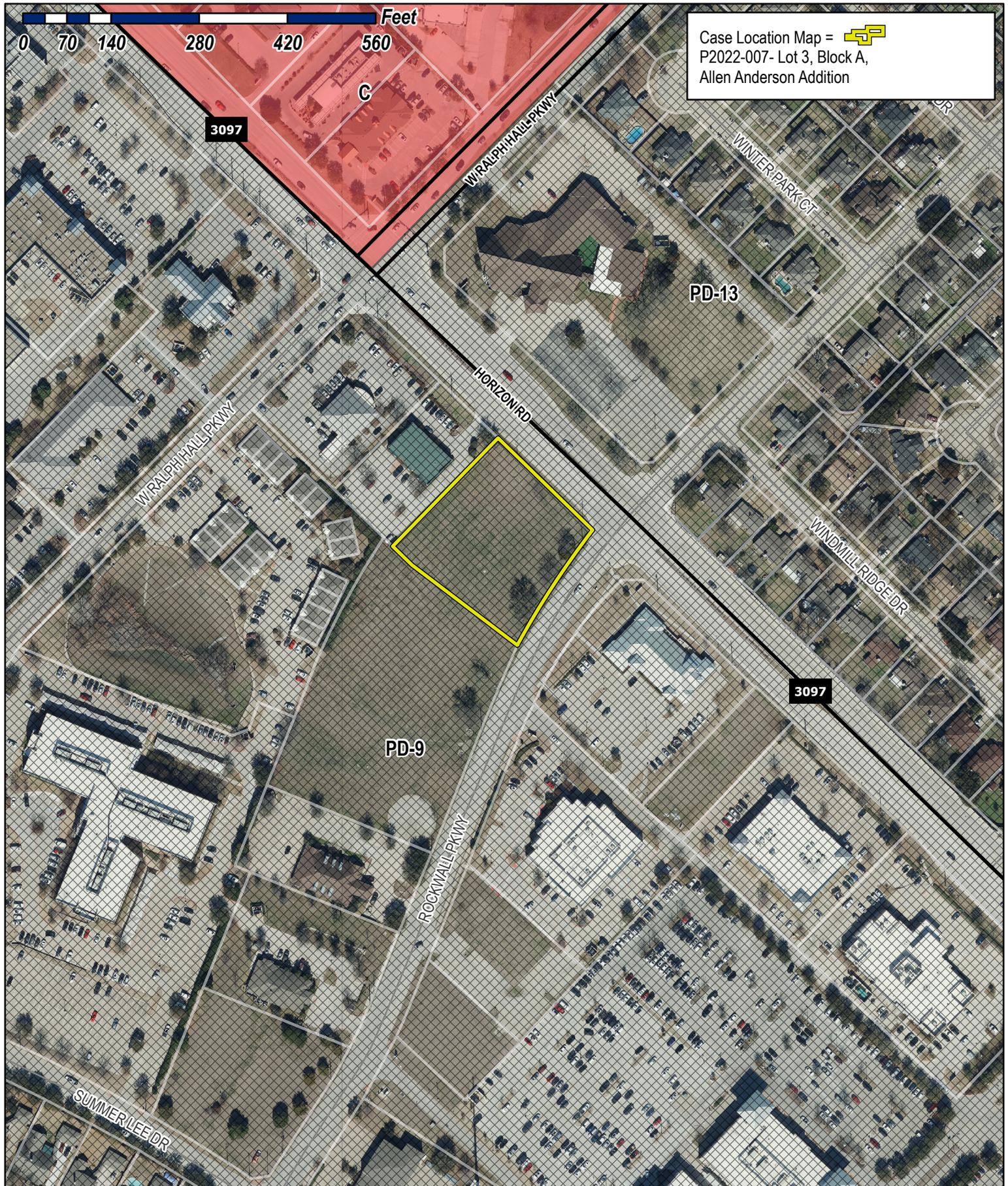
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19 DAY OF February, 2022

OWNER'S SIGNATURE Ross Wood

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Charlotte Swords





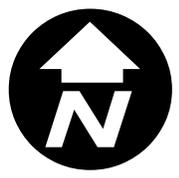
Case Location Map = 
 P2022-007- Lot 3, Block A,
 Allen Anderson Addition



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

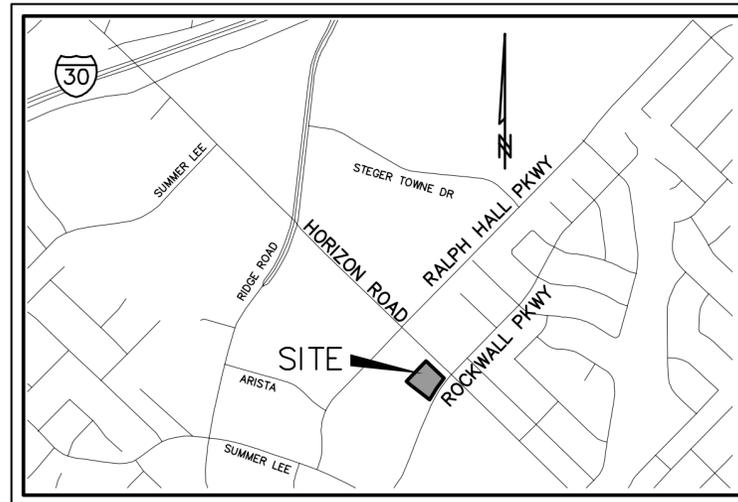
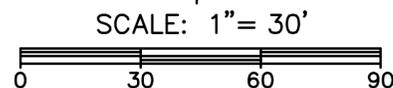


PRELIMINARY FOR REVIEW PURPOSES ONLY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

*** LEGEND ***

CM	CONTROLLING MONUMENT
IRF	IRON ROD FOUND
IRS	IRON ROD SET
WIER	YELLOW CAP STAMPED "WIER & ASSOC INC"



VICINITY MAP
NOT TO SCALE

*** NOTES ***

1. ACCORDING TO SURVEYOR'S INTERPRETATION OF INFORMATION SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) "FLOOD INSURANCE RATE MAP" (FIRM), MAP NO. 483970040L, MAP REVISED SEPTEMBER 26, 2008, ALL OF THE SUBJECT TRACT LIES WITHIN ZONE "X", "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" ZONE AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION, OR THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

2. THE ABOVE REFERENCED "FIRM" MAP IS FOR USE IN ADMINISTERING THE "NFIP"; IT DOES NOT NECESSARILY SHOW ALL AREAS POTENTIALLY SUBJECT TO FLOODING, PARTICULARLY AREAS WHICH COULD BE FLOODED BY SEVERE, CONCENTRATED RAINFALL COUPLED WITH INADEQUATE LOCAL DRAINAGE SYSTEMS. THERE MAY BE OTHER STREAMS, CREEKS, LOW AREAS, DRAINAGE SYSTEMS OR OTHER SURFACE OR SUBSURFACE CONDITIONS EXISTING ON OR NEAR THE SUBJECT PROPERTY WHICH ARE NOT STUDIED OR ADDRESSED AS PART OF THE "NFIP".

3. ALL BEARINGS AND COORDINATES SHOWN HEREON ARE CORRELATED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD OF 1983, AS DERIVED BY FIELD OBSERVATIONS UTILIZING THE RTK NETWORK ADMINISTERED BY ALLTERRA CENTRAL, INC.

4. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

7. THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL DETENTION AND DRAINAGE SYSTEMS.

8. ALL 1/2" IRON RODS SET WITH A CAP STAMPED "WIER & ASSOC INC", UNLESS NOTED OTHERWISE.

9. PROPERTY OWNER (NOT THE CITY) IS RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL NON-STANDARD DECORATIVE SIGNS, POLE/POSTS, HARDWARE, LIGHTING, OR OTHER NON-STANDARD ITEMS. THE CITY OF ROCKWALL HAS NO MAINTENANCE, LIABILITY, OR OTHER RESPONSIBILITY RELATED TO THESE ITEMS.

GENERAL NOTES:

1. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

REPLAT LOT 2R, BLOCK A ALLEN ANDERSON ADDITION

AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
BEING 1.198 ACRES OF LAND LOCATED IN THE
EDWARD TEAL SURVEY, ABSTRACT No. 207, ROCKWALL COUNTY, TEXAS

CASE No. XXXX-XXX

PREPARED BY:

WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

SHEET 1 OF 2

DATE: 2/16/2022
W.A. No. 21089

EASEMENT LINE TABLE

LINE	BEARING	DIST
L1	N52°44'53"W	13.76'
L2	N26°20'04"E	9.78'
L3	N01°00'00"W	3.32'
L4	N46°00'00"W	31.97'
L5	N44°00'00"E	20.00'
L6	S46°00'00"E	40.25'
L7	S01°00'00"E	5.36'
L8	N44°00'00"E	44.00'
L9	N46°00'00"W	96.00'
L10	N44°00'00"E	44.00'
L11	S46°00'00"E	96.00'
L12	N45°49'57"W	113.49'
L13	N45°47'15"W	8.00'
L14	N44°12'45"E	24.00'
L15	S45°47'15"E	8.00'
L16	S45°49'57"E	113.49'
L17	S59°53'11"E	5.28'
L18	N52°44'53"W	41.32'

EASEMENT CURVE TABLE

CURVE	ARC	RADIUS	DELTA	BEARING	DIST.
C1	27.15'	1426.20'	1°05'26"	S29°15'57"W	27.15'
C2	137.33'	1480.70'	5°18'50"	N31°41'37"E	137.28'
C3	34.99'	25.00'	80°11'00"	N05°44'27"W	32.20'
C4	6.78'	25.00'	15°32'57"	N53°36'26"W	6.76'
C5	13.07'	49.00'	15°17'12"	N53°44'18"W	13.03'
C6	0.26'	49.00'	0°18'27"	N45°56'28"W	0.26'
C7	0.13'	25.00'	0°18'27"	S45°56'28"E	0.13'
C8	6.67'	25.00'	15°17'12"	S53°44'18"E	6.65'
C9	13.30'	49.00'	15°32'57"	S53°36'26"E	13.26'
C10	68.57'	49.00'	80°11'00"	S05°44'27"E	63.11'
C11	82.29'	1456.70'	3°14'12"	S32°43'57"W	82.28'
C12	39.71'	25.00'	91°00'02"	S14°23'10"E	35.66'
C13	7.53'	1426.20'	0°18'09"	S29°57'45"W	7.53'

**LOT 2R, BLOCK A
1.198 ACRES
(52,186 SQ. FT.)**

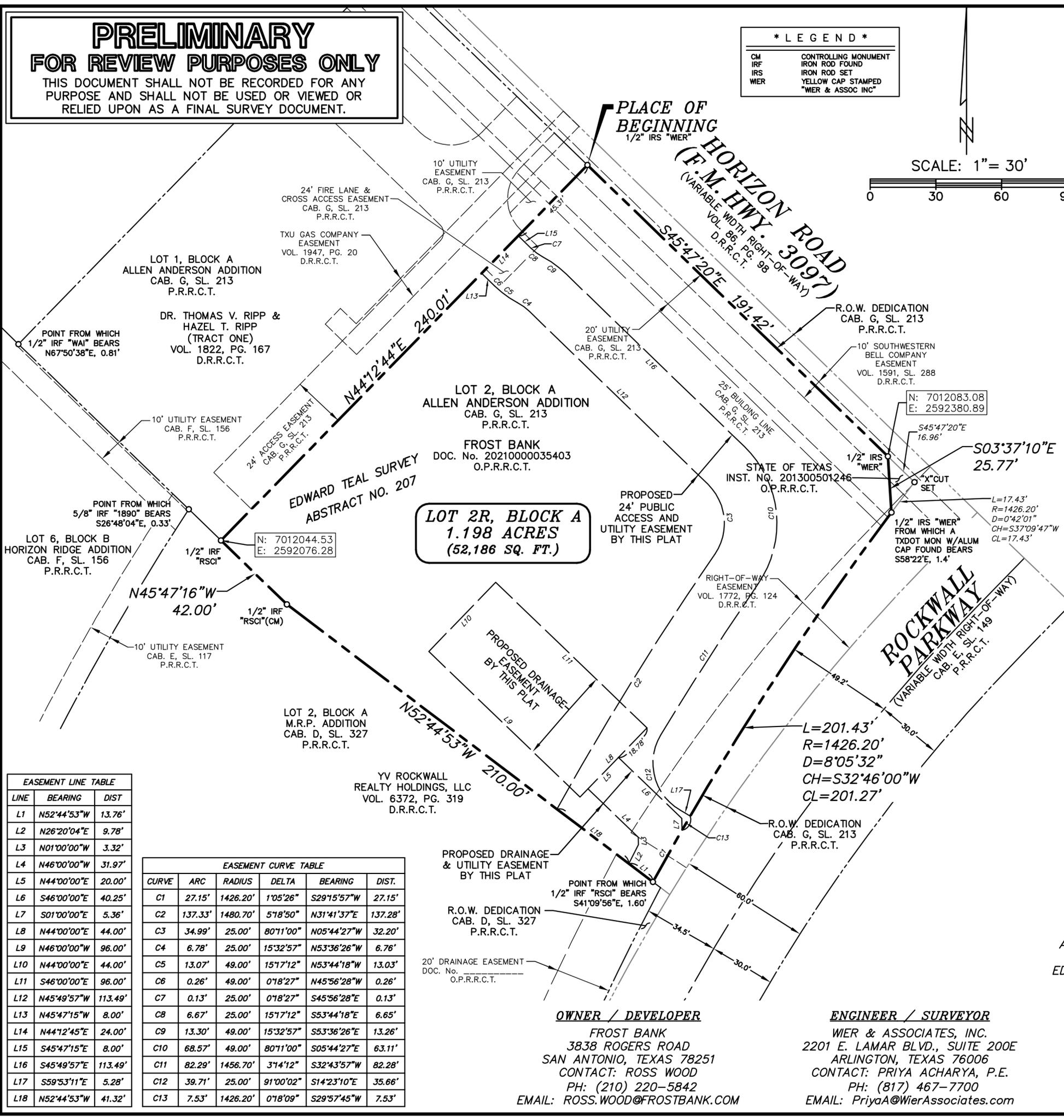
YV ROCKWALL
REALTY HOLDINGS, LLC
VOL. 6372, PG. 319
D.R.R.C.T.

OWNER / DEVELOPER

FROST BANK
3838 ROGERS ROAD
SAN ANTONIO, TEXAS 78251
CONTACT: ROSS WOOD
PH: (210) 220-5842
EMAIL: ROSS.WOOD@FROSTBANK.COM

ENGINEER / SURVEYOR

WIER & ASSOCIATES, INC.
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ARLINGTON, TEXAS 76006
CONTACT: PRIYA ACHARYA, P.E.
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EMAIL: PriyaA@WierAssociates.com



PRINTED: 2/16/2022 STB FILE: WIER-SURVEY-STB LAST SAVED: 2/16/2022 3:04 PM SAVED BY: AARONLS FILE: REPLAT-21089.DWG BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT

*** O W N E R ' S C E R T I F I C A T I O N ***

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS FROST BANK, BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, SAID TRACT BEING DESCRIBED AS FOLLOWS:

BEING A TRACT OF LAND LOCATED IN THE EDWARD TEAL SURVEY, ABSTRACT NUMBER 207, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF LOT 2, BLOCK A, ALLEN ANDERSON ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET G, SLIDE 213, (P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC" IN THE SOUTHWEST RIGHT-OF-WAY LINE OF HORIZON ROAD, 191.42 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC" AT THE NORTH END OF A RIGHT-OF-WAY CORNER CLIP AT THE INTERSECTION OF THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID HORIZON ROAD WITH THE NORTHWEST RIGHT-OF-WAY LINE OF ROCKWALL PARKWAY (A VARIABLE WIDTH RIGHT-OF-WAY), BEING THE NORTH CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO THE STATE OF TEXAS RECORDED IN INSTRUMENT NUMBER 201300501246, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.);

THENCE S 45°47'20" E, ALONG THE NORTHEAST LINE OF SAID LOT 2 AND THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID HORIZON ROAD, 191.42 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC" AT THE NORTH END OF A RIGHT-OF-WAY CORNER CLIP AT THE INTERSECTION OF THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID HORIZON ROAD WITH THE NORTHWEST RIGHT-OF-WAY LINE OF ROCKWALL PARKWAY (A VARIABLE WIDTH RIGHT-OF-WAY), BEING THE NORTH CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO THE STATE OF TEXAS RECORDED IN INSTRUMENT NUMBER 201300501246, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.);

THENCE S 03°37'10" E, ALONG SAID CORNER CLIP AND THE WEST LINE OF SAID STATE OF TEXAS TRACT, 25.77 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC", FROM WHICH A TEXAS DEPARTMENT OF TRANSPORTATION MONUMENT FOUND WITH AN ALUMINUM CAP BEARS S 58°22' E, 1.4 FEET, SAID IRON ROD BEING THE SOUTH END OF SAID CORNER CLIP AND THE SOUTH CORNER OF SAID STATE OF TEXAS TRACT, BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;

THENCE SOUTHWESTERLY, AN ARC LENGTH OF 201.43 FEET ALONG THE SOUTHEAST LINE OF SAID LOT 2, THE NORTHWEST RIGHT-OF-WAY LINE OF SAID ROCKWALL PARKWAY, AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1426.20 FEET, A DELTA ANGLE OF 08°05'32", AND A CHORD BEARING OF S 32°46'00" W, 201.27 FEET TO A POINT, FROM WHICH 1/2" IRON ROD FOUND WITH A CAP STAMPED "RSCI" BEARS S 41°09'56" E, 1.60 FEET, SAID POINT BEING THE SOUTH CORNER OF SAID LOT 2 AND IN THE NORTHEAST LINE OF LOT 2, BLOCK A, M.R.P. ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET D, SLIDE 327, P.R.R.C.T.;

THENCE N 52°44'53" W, DEPARTING THE NORTHWEST RIGHT-OF-WAY LINE OF SAID ROCKWALL PARKWAY, ALONG THE SOUTHWEST LINE OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION AND THE NORTHEAST LINE OF SAID LOT 2, BLOCK A, M.R.P. ADDITION, 210.00 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "RSCI";

THENCE N 45°47'16" W, CONTINUING ALONG THE SOUTHWEST LINE OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION AND THE NORTHEAST LINE OF SAID LOT 2, BLOCK A, M.R.P. ADDITION, 42.00 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "RSCI", SAID IRON ROD BEING THE WEST CORNER OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION, AND THE SOUTH CORNER OF SAID LOT 1;

THENCE N 44°12'44" E, ALONG THE NORTHWEST LINE OF SAID LOT 2, BLOCK A, ALLEN ANDERSON ADDITION, AND THE SOUTHEAST LINE OF SAID LOT 1, A DISTANCE OF 240.00 FEET TO THE PLACE OF BEGINNING AND CONTAINING 1.198 ACRES (52,186 SQUARE FEET) OF LAND, MORE OR LESS.

*** S U R V E Y O R ' S S T A T E M E N T ***

THAT I, AARON L. STRINGFELLOW, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

SURVEYED ON THE GROUND
NOVEMBER 29, 2021

"THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF AARON L. STRINGFELLOW, RPLS. NO. 6373 ON February 16, 2022. IT IS NOT TO BE USED FOR RECORDING, CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THIS DOCUMENT IS NOT TO BE RELIED UPON AS A COMPLETE SURVEY AND SHALL NOT BE RECORDED."

AARON L. STRINGFELLOW
REGISTERED PUBLIC SURVEYOR
STATE OF TEXAS NO. 6373
EMAIL: AARONLS@WIERASSOCIATES.COM

STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED AARON L. STRINGFELLOW, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED AND AS THE ACT AND DEED THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS ____ DAY OF _____, 2022.

NOTARY SIGNATURE _____

MY COMMISSION EXPIRES: _____

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOT 2R, BLOCK A, ALLEN ANDERSON ADDITION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. I FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN LOT 2R, BLOCK A, ALLEN ANDERSON ADDITION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

I UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. I ALSO UNDERSTAND THE FOLLOWING:

1. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.

2. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.

3. THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.

4. THE DEVELOPER AND ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.

5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.

6. NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

I FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; I, MY SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

WITNESS OUR HANDS THIS THE ____ DAY OF _____, 2022:

FOR: FROST BANK

OWNER _____

STATE OF _____
COUNTY OF _____

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ OF FROST BANK, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF _____

PRINTED NAME _____

OWNER / DEVELOPER

FROST BANK
3838 ROGERS ROAD
SAN ANTONIO, TEXAS 78251
CONTACT: ROSS WOOD
PH: (210) 220-5842
EMAIL: ROSS.WOOD@FROSTBANK.COM

ENGINEER / SURVEYOR

WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006
CONTACT: PRIYA ACHARYA, P.E.
PH: (817) 467-7700
EMAIL: PRIYAA@WIERASSOCIATES.COM

RECOMMENDED FOR FINAL APPROVAL

PLANNING AND ZONING COMMISSION, CHAIRMAN _____ DATE _____

APPROVED

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2022.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL COUNTY, TEXAS WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS ____ DAY OF _____, 2022.

MAYOR, CITY OF ROCKWALL _____ CITY SECRETARY _____ CITY ENGINEER _____

**PRELIMINARY
FOR REVIEW PURPOSES ONLY**

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

**REPLAT
LOT 2R, BLOCK A
ALLEN ANDERSON ADDITION**

AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
BEING 1.198 ACRES OF LAND LOCATED IN THE
EDWARD TEAL SURVEY, ABSTRACT No. 207, ROCKWALL COUNTY, TEXAS

CASE No. XXXX-XXX

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

SHEET 2 OF 2

DATE: 2/16/2022
W.A. No. 21089

 Map-Check 21089 REPLAT MAP 2/17/22 10:09:27 Factor: 1.0000000

Correct End - N: 5000.00000 E: 5000.00000
 Calc. End - N: 5000.00019 E: 5000.00800
 Error - N: 0.00 E: 0.01 Total: 0.01 Brg: S 88-37-44 W
 Distance Traversed: 910.46 Closure: 113742

No Adjustment

Bearing	Distance	North	East	Elevation	Pt.No.
		5000.00000	5000.00000		31
S 45-47-20 E	191.42	4866.52205	5137.20515		31
S 03-37-10 E	25.77	4840.80345	5138.83199		31

RAD: 1426.20 LEN: 201.43 TAN: 100.88 CEN.ANG: 8-05-32
 CHORD: 201.26 MO: 3.55 EXT: 3.56 DEGREE: 4-01-03
 SEG: 477 TRI: 143163 SEC: 143640

S 53-11-14 E	1426.20	3986.22160	6280.64471		31	PC->RP
N 61-16-46 W	1426.20	4671.56541	5029.90481		31	RP->PT
S 32-46-00 W	201.26	4671.56541	5029.90481		31	PC->PT
N 52-44-53 W	210.00	4798.68282	4862.74870		31	
N 45-47-16 W	42.00	4827.97017	4832.64471		31	
N 44-12-44 E	240.01	5000.00019	5000.00800		31	

Approx: Sq.Feet: 52186 Acres: 1.198

 Map-Check 21089 REPLAT MAP 2/17/22 10:09:35 Factor: 1.0000000

sc

2:S 45-47-20 E	191.420		
3:S 03-37-10 E	25.770		
4:S 32-46-00 W	CCCCCCCC	-1426.200	201.430
5:N 52-44-53 W	210.000		
6:N 45-47-16 W	42.000		
7:N 44-12-44 E	240.010		

 Map-Check 21089 REPLAT DESCRIPTION 2/17/22 10:04:15 Factor: 1.000000

Correct End - N: 5000.00000 E: 5000.00000
 Calc. End - N: 5000.00019 E: 5000.00800
 Error - N: 0.00 E: 0.01 Total: 0.01 Brg: S 88-37-44 W
 Distance Traversed: 910.46 Closure: 113742

No Adjustment

Bearing	Distance	North	East	Elevation	Pt.No.
		5000.00000	5000.00000		1
S 45-47-20 E	191.42	4866.52205	5137.20515		2
S 03-37-10 E	25.77	4840.80345	5138.83199		3

RAD: 1426.20 LEN: 201.43 TAN: 100.88 CEN.ANG: 8-05-32
 CHORD: 201.26 MO: 3.55 EXT: 3.56 DEGREE: 4-01-03
 SEG: 477 TRI: 143163 SEC: 143640

S 53-11-14 E	1426.20	3986.22160	6280.64471		4	PC->RP
N 61-16-46 W	1426.20	4671.56541	5029.90481		5	RP->PT
S 32-46-00 W	201.26	4671.56541	5029.90481		5	PC->PT
N 52-44-53 W	210.00	4798.68282	4862.74870		6	
N 45-47-16 W	42.00	4827.97017	4832.64471		7	
N 44-12-44 E	240.01	5000.00019	5000.00800		8	

Approx: Sq.Feet: 52186 Acres: 1.198

 Map-Check 21089 REPLAT DESCRIPTION 2/17/22 10:04:31 Factor: 1.000000

SC

2:S 45-47-20 E	191.420		
3:S 03-37-10 E	25.770		
4:S 32-46-00 W	CCCCCCCC	-1426.200	201.430
5:N 52-44-53 W	210.000		
6:N 45-47-16 W	42.000		
7:N 44-12-44 E	240.010		



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Henry Lee, *Planner*
DATE: June 29, 2021
SUBJECT: MIS2022-004; *Variance for a Front Yard Fence for 54 Shadydale Lane*

The applicant, James Best, is requesting the approval of a variance for a front yard fence. The subject property is located on a 2.60-acre parcel of land (*i.e. Lot 1, Block A, Best Estate Addition*) addressed as 54 Shadydale Lane. The proposed elevations indicate that the front yard fence will be: [1] constructed using Concrete Masonry Units (CMU) finished with stucco; [2] will be 70-feet long, 42-inches tall, and 18-inches wide; and [3] will be opaque.

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a fence is defined as “(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure.” In addition, Subsection 08.03(D)(2) of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) states, “(n)o fence shall be constructed in the front yard of a residential property without being granted an exception from the Planning and Zoning Commission...” This section goes on to lay out some guidelines for the Planning and Zoning Commission’s consideration when reviewing exceptions: (a) the fence is 50% transparent, (b) the fence does not exceed four (4) feet in height, and (c) opaque fences should be prohibited. In this case, the fence does not meet the requirements for a front yard fence. Specifically, the fence is opaque. Staff should note that the front yard fence requirements were written with the intent of restricting front yard fences that completely or partially enclose or impair visibility of the primary structure, and that the applicant’s fence does not appear to be intended to enclose or impair visibility of the primary structure. It does appear to be only decorative in nature; however, front yard fences are discretionary decisions for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant’s request, staff will be available at the meeting on February 28, 2022.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: MIS2022-004
PROJECT NAME: Special Exception for a Front Yard Fence at 54 Shadydale Lane
SITE ADDRESS/LOCATIONS: 54 SHADYDALE LN, ROCKWALL, 75032

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by James Best for the approval of a Miscellaneous Case for a Special Exception to allow the construction of a front yard fence for a single-family home on a 2.60-acre parcel of land identified as Lot 1, Block A, Best Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 54 Shadydale Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/25/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Henry Lee	02/25/2022	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Henry Lee	02/25/2022	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	02/25/2022	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	02/25/2022	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/25/2022	Approved

02/25/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Miscellaneous Case for a Special Exception to allow the construction of a front yard fence for a single-family home on a 2.60-acre parcel of land identified as Lot 1, Block A, Best Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 54 Shadydale Lane.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (MIS2022-004) in the lower right-hand corner of all pages on future submittals.

I.4 Subsection 08.03 (D)(2), Fences in the Front Yard, Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC):

Fences in the Front Yard. No fence shall be constructed in the front yard of a residential property without being granted an exception from the Planning and Zoning Commission unless specifically permitted by Subsection 08.03(D)(3). For the purposes of this provision the front yard is defined as the area between the front façade of the primary structure and the front property line. The Planning and Zoning Commission may authorize the issuance of an exception for the construction of a front yard fence subject to the following provisions:

- (a) Wood Fences. Wood fences that are 50% transparent (e.g. as depicted in Figure 14) shall not exceed 42-inches in height.
- (b) Wrought Iron or Decorative Metal Fences. Wrought iron or decorative metal fences that are 50% transparent (e.g. as depicted in Figure 14) shall not exceed 48-inches in height.
- (c) Opaque Fences. Opaque fences are prohibited in the front yard of residential properties.

I.5 According to Article 13, Definitions, of the Unified Development Code (UDC), a fence is defined as "(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure."

I.6 In this case the applicant is requesting a 42-inch opaque "decorative wall", which according to the definition above is a 42-inch opaque front yard fence.

I.7 Please note the scheduled meeting for this case:

- 1) Planning & Zoning Work Session meeting will be held on February 28, 2022 at 6pm in the council chambers at City Hall.
- 2) Planning & Zoning Public Hearing meeting will be held on March 15, 2022 at 6pm in the council chambers at City Hall.

I.8 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person, in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 1552072

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 54 Shadydale Lane

SUBDIVISION Best Estate Addition LOT 1 BLOCK A

GENERAL LOCATION Ridge Road at Shadydale

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	CURRENT USE
PROPOSED ZONING	PROPOSED USE
ACREAGE	LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER <u>James Best</u>	<input checked="" type="checkbox"/> APPLICANT <u>James Best</u>
CONTACT PERSON <u>James Best</u>	CONTACT PERSON <u>James Best</u>
ADDRESS <u>54 Shadydale</u>	ADDRESS <u>54 Shadydale</u>
CITY, STATE & ZIP <u>Rockwall, Tx 75032</u>	CITY, STATE & ZIP <u>Rockwall, Tx 75032</u>
PHONE <u>214-927-8331</u>	PHONE <u>214-927-8331</u>
E-MAIL <u>sharkmanjame@yahoo.com</u>	E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James Best [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

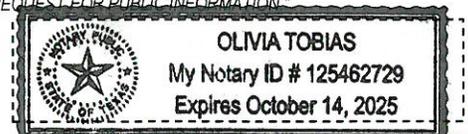
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 2nd DAY OF February, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 2nd DAY OF February, 2022

OWNER'S SIGNATURE

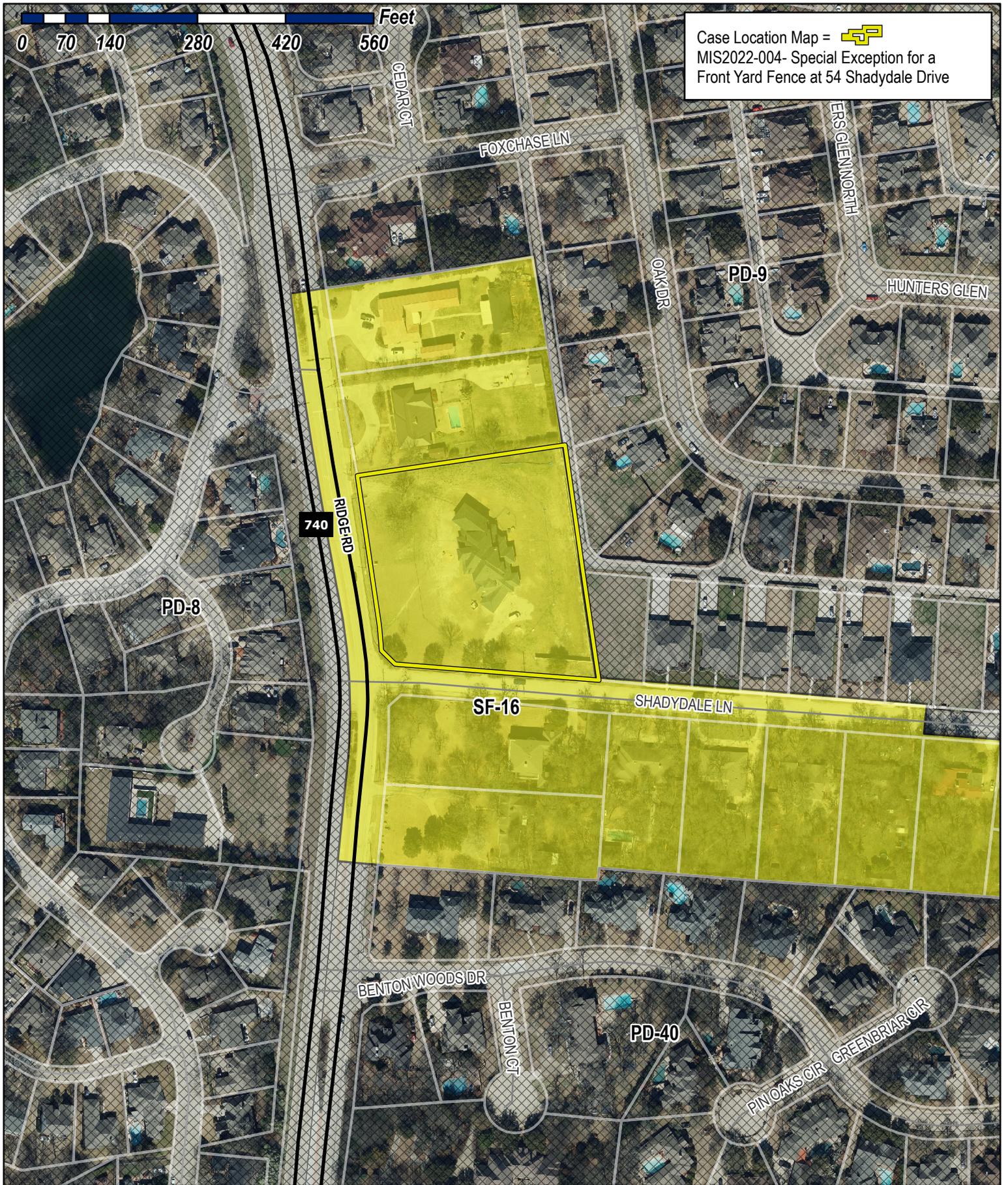
[Handwritten Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

10/14/25



Case Location Map = 
 MIS2022-004- Special Exception for a
 Front Yard Fence at 54 Shadydale Drive



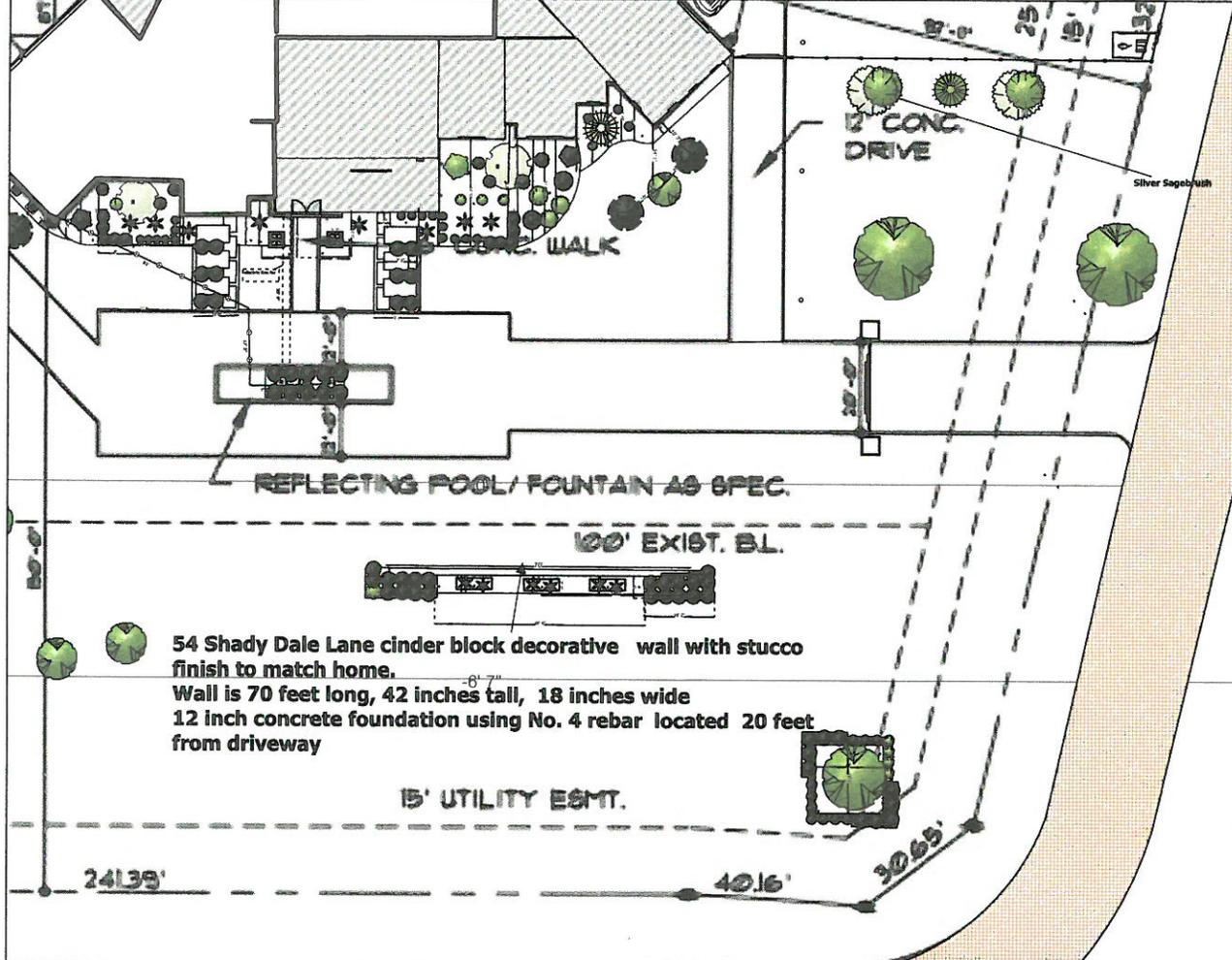
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

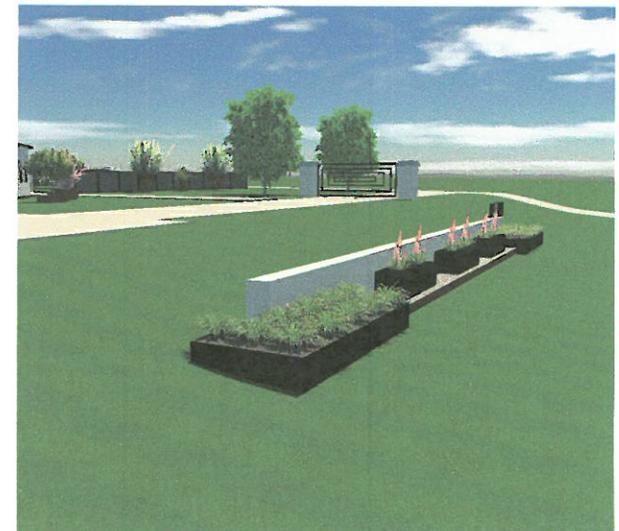
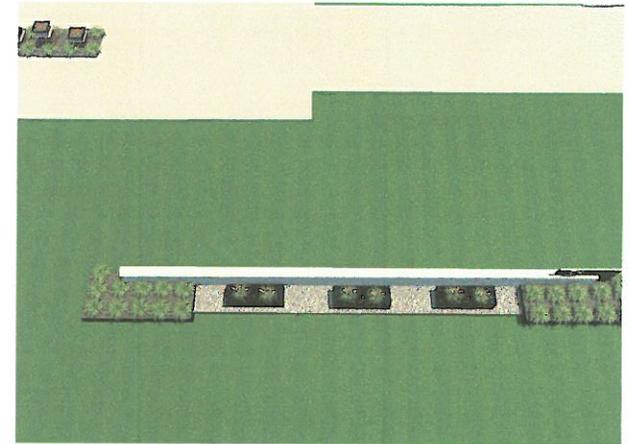
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Best Landscape plan 54 Shady Dale Lane, Rockwall

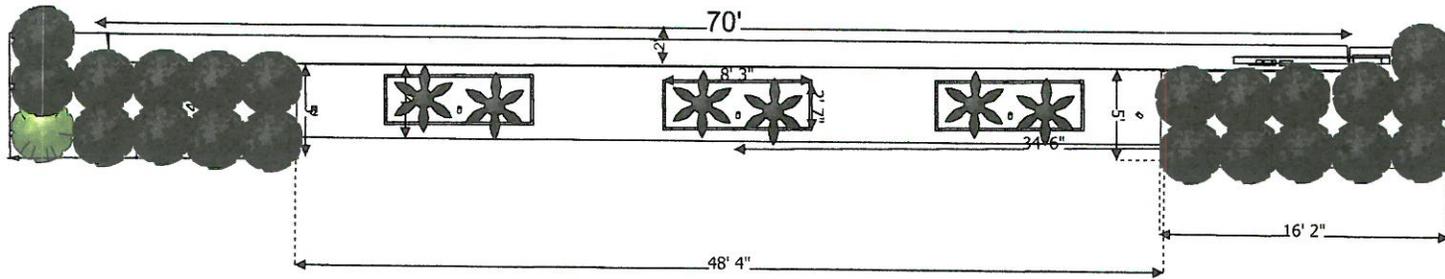


54 Shady Dale Lane cinder block decorative wall with stucco finish to match home.
 Wall is 70 feet long, 42 inches tall, 18 inches wide
 12 inch concrete foundation using No. 4 rebar located 20 feet from driveway

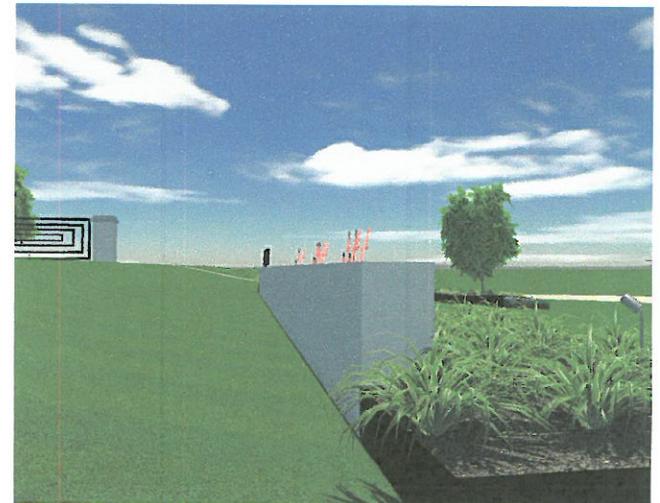


EXISTING POOL/ FOUNTAIN AS SP

100' EXIST. E



Scale: 1/8" = 1 ft



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: Z2022-006
PROJECT NAME: Zoning Change from PD-73 to LI
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Ryan Miller
CASE MANAGER PHONE: 972-772-6441
CASE MANAGER EMAIL: rmiller@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation for the approval of a Zoning Change from Planned Development District 73 (PD-73) to a Light Industrial (LI) District for a 8.008-acre parcel of land identified as Lot 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 73 (PD-73) for Commercial (C) District land uses, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Corporate Crossing and SH-276 and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	02/24/2022	Approved w/ Comments

02/24/2022: Z2022-006; Zoning Change (PD-73 to LI) for the Rockwall Technology Park Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Zoning Change from Planned Development District 73 (PD-73) to a Light Industrial (LI) District for a 8.008-acre parcel of land identified as Lot 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 73 (PD-73) for Commercial (C) District land uses, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Corporate Crossing and SH-276, and take any action necessary.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.

M.3 For reference, include the case number (Z2022-006) in the lower right-hand corner of all pages on future submittals.

I.4 The subject property is located within the Technology District and is scheduled to be Commercial/Retail and Parks and Open Space (i.e. floodplain). The proposed change in zoning will necessitate the City Council to change the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan from Commercial/Retail to Technology/Employment Center; however, this change does not appear to be inconsistent with the surrounding area.

M.5 Please review the attached Draft Ordinance prior to the February 28, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than March 7, 2022. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on February 28, 2022.

I.7 The projected City Council meeting dates for this case will be March 21, 2022 (1st Reading) and April 4, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Approved

02/24/2022: The following comments are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees

- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Dumpster area to drain to an oil/water separator and then to the storm lines.
- Detention is required. Manning's C Value is per zoning type.
- Detention/Flood Study required for modifications to floodplain, review fees apply.
- No retaining walls in detention easement.

Roadway Paving Items:

- Parking to be 20'x9' minimum.
- All drive isles to be 24' wide minimum.
- Fire lane radii depends on the height of the building. If the building height is 30' or more, the radii must be 30'. If shorter than 30', the radii can be 20' min.
- No dead-end parking
- Must build 5' wide sidewalk along Corporate Crossing

Water and Wastewater Items:

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must loop min 8" water line on site.
- Sewer pro-rata of \$2,773.07/acre.
- Public sewer lines must be 8" minimum.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/24/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

02/22/2022: No comments

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Dumpster area to drain to an oil/water separator and then to the storm lines.
- Detention is required. Manning's C Value is per zoning type.
- Detention/Flood Study required for modifications to floodplain, review fees apply.
- No retaining walls in detention easement.

Roadway Paving Items:

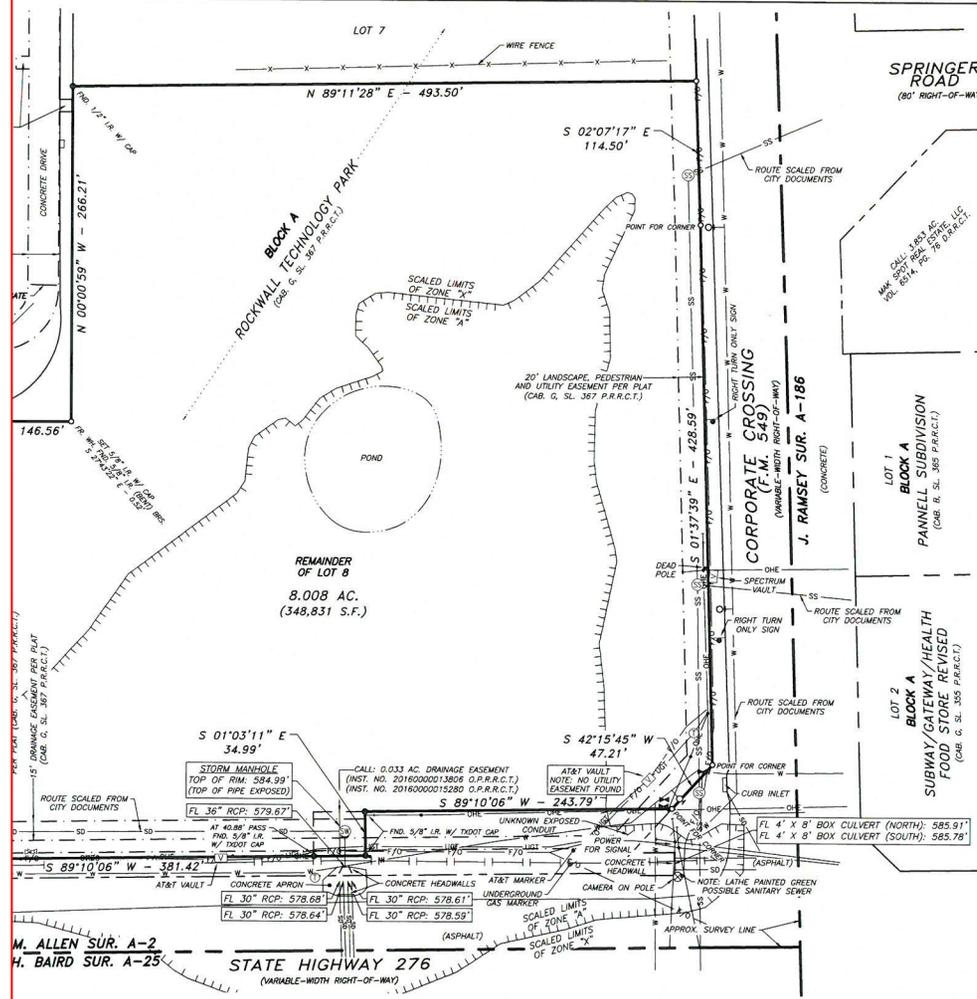
- Parking to be 20'x9' minimum.
- All drive isles to be 24' wide minimum.
- Fire lane radii depends on the height of the building. If the building height is 30' or more, the radii must be 30'. If shorter than 30', the radii can be 20' min.
- No dead-end parking
- Must build 5' wide sidewalk along Corporate Crossing

Water and Wastewater Items:

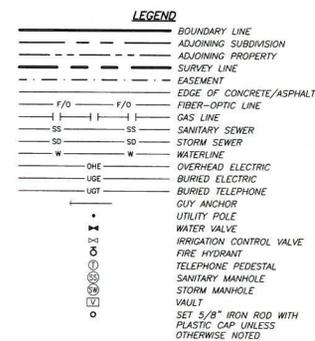
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
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- Sewer pro-rata of \$2,773.07/acre.
- Public sewer lines must be 8" minimum.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



- NOTES:**
1. BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD83 (2011), EPOCH 2010, ZONE 4202 (TX-N). DIMENSIONS SHOWN ARE GRID AND EXPRESSED IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED.
 2. EASEMENTS AND ENCUMBRANCES WHICH ARE NOT RECORDED IN PUBLIC RECORDS AND CANNOT BE DETERMINED BY THIS SURVEY MAY EXIST AND ENCUMBER TRACT SHOWN.
 3. THE SUBJECT PROPERTY FALLS WITHIN ZONE A (BASE FLOOD ELEVATION NOT DETERMINED) AND ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS INDICATED BY FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD MAPS. SEE PANEL 48397 C 0045 L, DATED SEPTEMBER 26, 2008.
 4. NO ZONING REPORT OR LETTER WAS PROVIDED TO THE SURVEYOR.
 5. NO ADDRESS FOR SUBJECT TRACT WAS PROVIDED OR OBSERVED.
 6. NO PARKING SPACES PRESENT AT TIME OF SURVEY.
 7. STATE HIGHWAY 276 UNDER CONSTRUCTION AT TIME OF SURVEY.



TO THE AFORESAID PARTIES, AS OF THE DATE SET FORTH BELOW THAT I OR MY LAND DESCRIBED HEREON, I FURTHER CERTIFY THAT:

IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS THIS SURVEY INCLUDES ITEMS 1, 2, 3, 4, 7(A), 8, 9, 13, 16, 17, 19, AND 20 (\$1,000,000)

I, THE SURVEYOR, AM A MEMBER OF THE BOARD OF PROFESSIONAL LAND SURVEYING.

RESEARCH WAS LIMITED TO THE FOLLOWING, PROVIDED BY OTHERS (A COMMITMENT FOR TITLE INSURANCE UNDER G.F. NO. R181978R DATED SEPTEMBER 19, 2018, FROM RANGER TITLE COMPANY)

ITEM	RECORDING	FINDING
10.a	VOL. 75, PG. 571	TOO VAGUE, MAY AFFECT
10.b	VOL. 75, PG. 572	TOO VAGUE, MAY AFFECT
10.c	VOL. 1967, PG. 20	DOES AFFECT, IS SHOWN
10.d	C&B, G. S.L. 367	DOES AFFECT, IS SHOWN
10.f	VOL. 35, PG. 370	MINERAL RESERVATION
10.i	INST. NO. 2016000013806	DOES AFFECT, IS SHOWN
10.l	INST. NO. 2016000015280	DOES AFFECT, IS SHOWN

ALTA/NSPS TITLE SURVEY
SHOWING
REMAINDER OF LOT 5, BLOCK A
ROCKWALL TECHNOLOGY PARK
J. M. ALLEN SURVEY A-2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

JOB: 18-060 DRAWN BY: GDF DATE: 12/5/18 REV: 1

PIONEER MAPPING
SURVEYING | CONSULTING | GEOSPATIAL
PO Box 136978 - Fort Worth, TX 76136 - P: 882.233.2550
www.pioneermapping.com - info@pioneermapping.com
TX-FIRM# 1019488

STUART L. WARNOCK
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6579

STUART L. WARNOCK
6579
PROFESSIONAL
LAND SURVEYOR

DATED: DECEMBER 3, 2018.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION Rockwall Technology Park Phase I

LOT 8 BLOCK A

GENERAL LOCATION NWC of State Highway 276 & Corporate Crossing

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-73

CURRENT USE Vacant

PROPOSED ZONING Light Industrial

PROPOSED USE Regional Detention Pond

ACREAGE 8.008

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Economic Development Corporation

APPLICANT same as owner

CONTACT PERSON Matt Wavering

CONTACT PERSON

ADDRESS 2610 Observation Trl
Suite 104

ADDRESS

CITY, STATE & ZIP Rockwall, TX 75032

CITY, STATE & ZIP

PHONE 972-772-0025

PHONE

E-MAIL mwavering@rockwalledc.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt Wavering [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$320.12 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

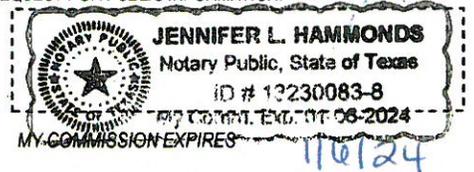
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF February, 2022

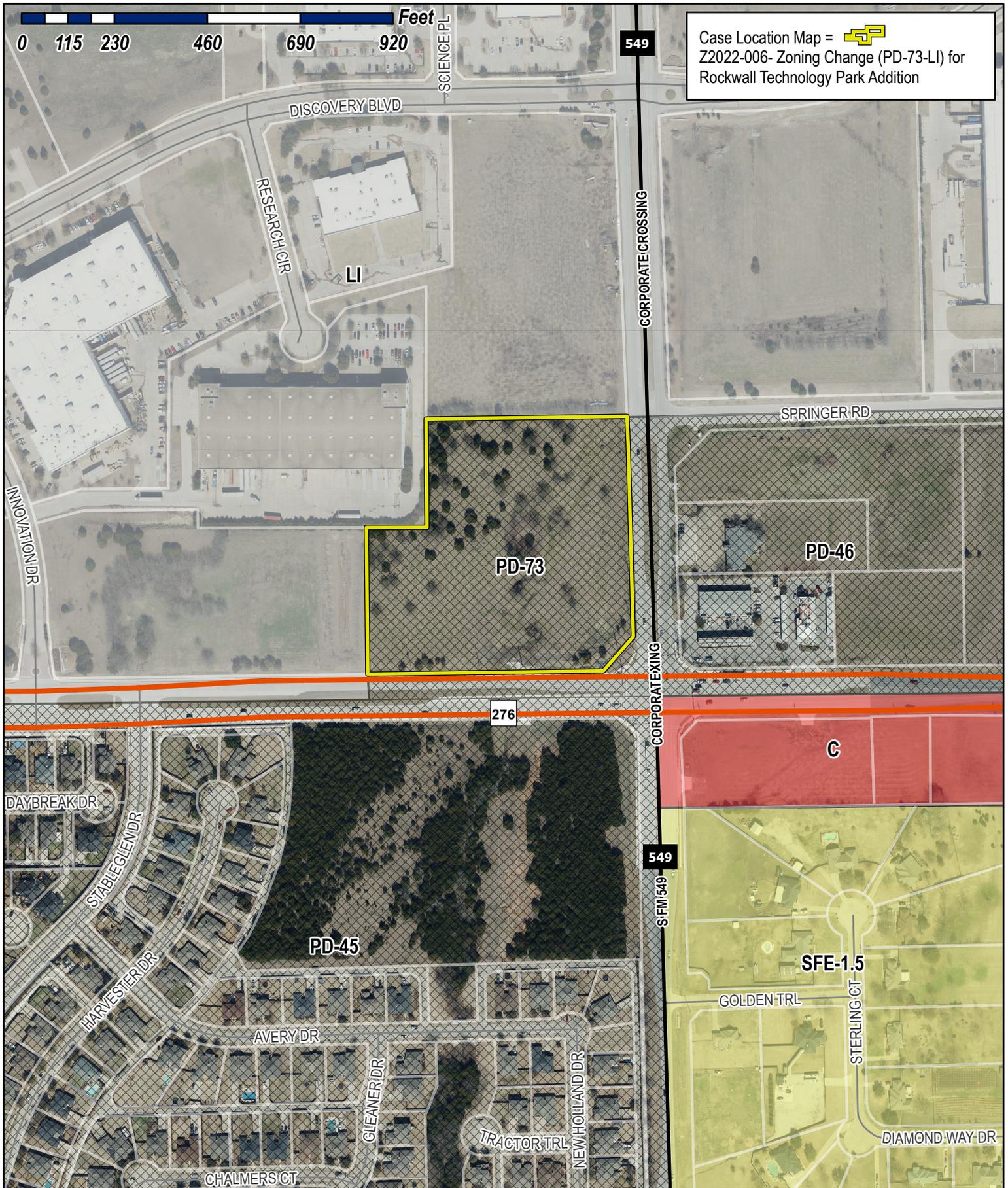
OWNER'S SIGNATURE

Matt Wavering

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jennifer L. Hammonds





Case Location Map = 
 Z2022-006- Zoning Change (PD-73-LI) for
 Rockwall Technology Park Addition



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

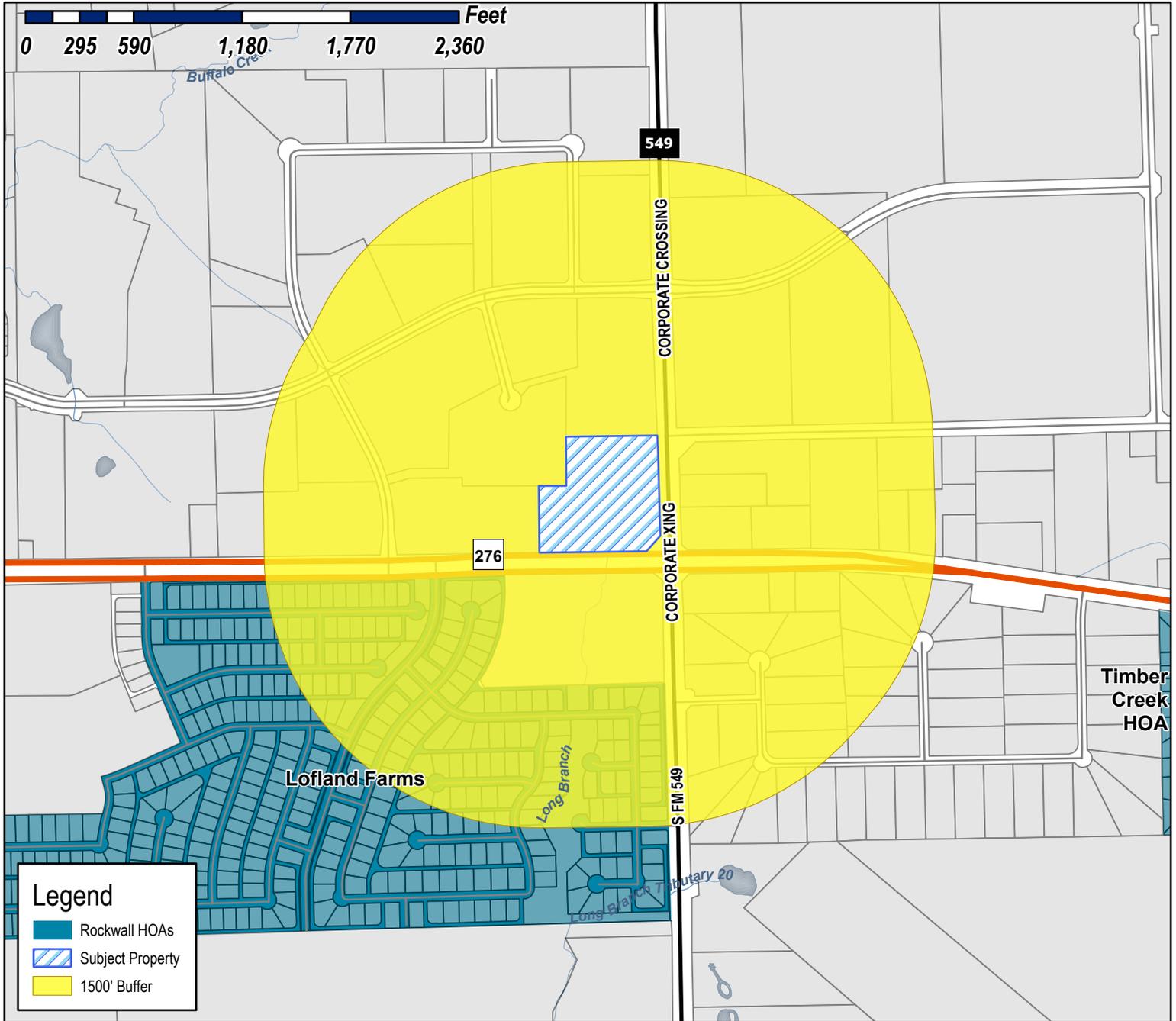




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Case Number: Z2022-006
Case Name: Zoning Change from PD-73 to LI
Case Type: Zoning
Zoning: Planned Development District 73 (PD-73)
Case Address: NWC of SH276 & Corporate Crossing

Date Saved: 2/17/2022
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, February 23, 2022 2:25 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2022-006]
Attachments: Public Notice (02.23.2022).pdf; HOA Map (02.17.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *February 25, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-006 Zoning Change from PD-73 to LI

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation for the approval of a *Zoning Change* from Planned Development District 73 (PD-73) to a Light Industrial (LI) District for a 8.008-acre parcel of land identified as Lot 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 73 (PD-73) for Commercial (C) District land uses, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Corporate Crossing and SH-276, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

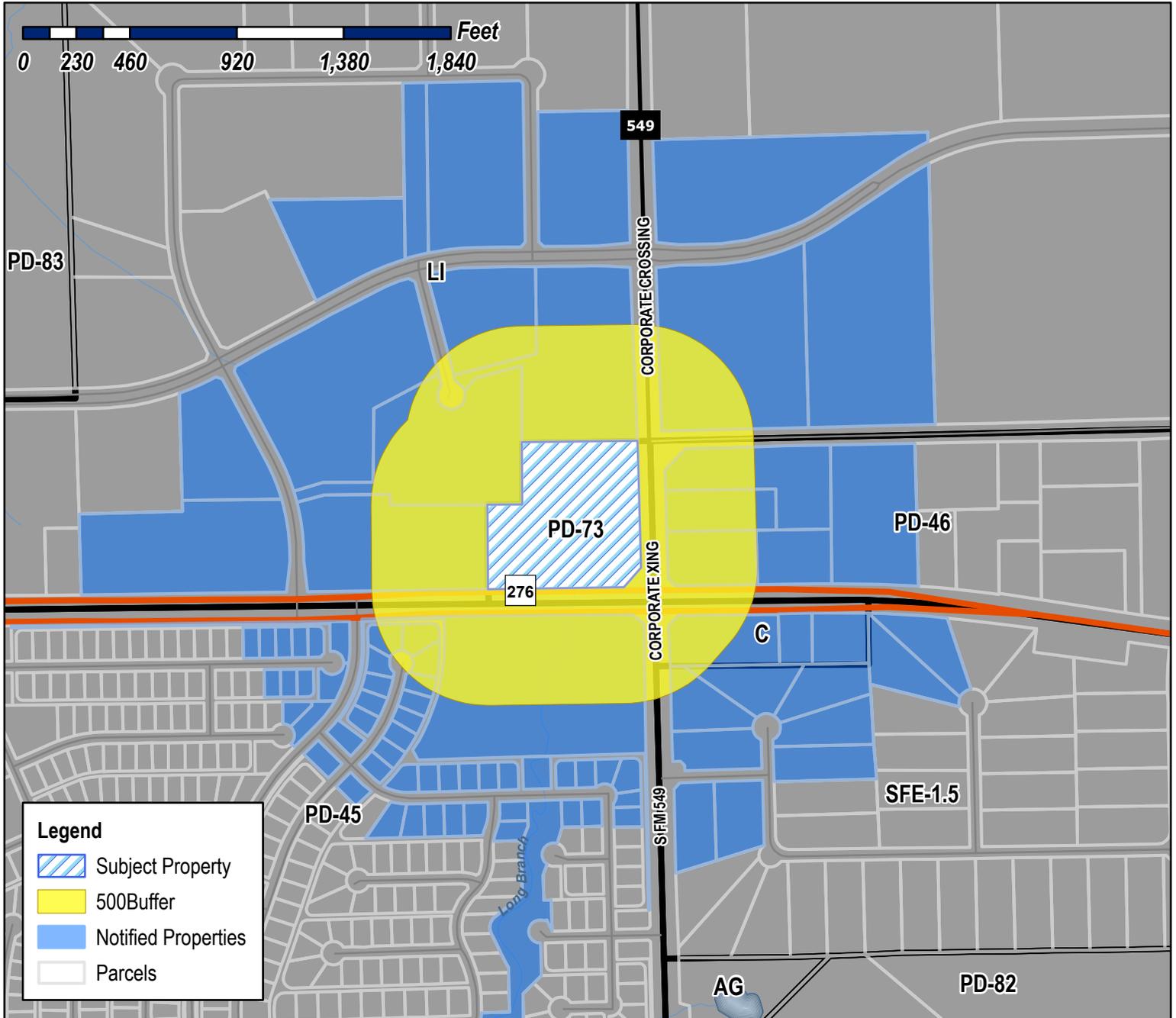
This email was scanned by Bitdefender



City of Rockwall

Planning & Zoning Department
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Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2022-006
Case Name: Zoning Change from PD-73 to LI
Case Type: Zoning
Zoning: Planned Development District 73 (PD-73)
Case Address: NWC of SH276 & Corporate Crossing



Date Saved: 2/17/2022

For Questions on this Case Call (972) 771-7745

EXETER 2975 DISCOVERY, LP
101 WEST ELM STREET SUITE 600
CONSHOHOCKEN, PA 19428

AINO DALLAS LLC
103 FOULK ROAD, SUITE 900
WILMINGTON, DE 19803

DFW DISTRIBUTOR PETROLEUM INC
1111 N BELTLINE RD STE #100
GARLAND, TX 75040

JOHNSON ARTHUR JR
1124 CLARENDON CRES
OAKLAND, CA 94610

COAST VILLAGE CAPITAL LLC
1225 COAST VILLAGE ROAD SUITE C
SANTA BARBARA, CA 93108

GOLDBERG MICHAEL
12405 VENICE BLVD #175
LOS ANGELES, CA 90066

STATE OF TEXAS
125 E 11TH STREET
AUSTIN, TX 78701

KELLER JACQUELYN
1275 CORPORATE CROSSING
ROCKWALL, TX 75032

SOON HERALD
14300 CERVANTES AVE
GERMANTOWN, MD 20874

HENG JIA
147 VISTA DR
CEDAR KNOLLS, NJ 75032

SENG TRUST
1602 MONTELLANO CT
SAN JOSE, CA 95120

LAHLOUH FAMILY LIMITED PARTNERSHIP
1605 RESEARCH CIR
ROCKWALL, TX 75032

LINDOP DUSTIN & AMANDA
1672 HOLLOW WAY LN
QUINLAN, TX 75474

BELLE HAVEN REALTY CO
A CALIFORNIA CORPORATION
1690 WOODSIDE RD STE 120
REDWOOD CITY, CA 94061

BELLE HAVEN REALTY CO
A CALIFORNIA CORPORATION
1700 SCIENCE PL
ROCKWALL, TX 75032

BELLE HAV/TEX LP
1701 SCIENCE PLACE
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
1717 MAIN S ST SUITE 2000
DALLAS, TX 75201

LOFLAND FARMS OWNERS ASSOC.
C/O SPECTRUM ASSOCIATION MANAGEMENT
17319 SAN PEDRO SUITE 318
SAN ANTONIO, TX 78232

JOHNSON DAVID A AND PHYLLIS D
1890 COPPER RIDGE CIR
ROCKWALL, TX 75032

ARCHER RANDY G & YOWAREE
1900 COPPER RIDGE CIR
ROCKWALL, TX 75032

MINOR MORRIS & NORA A
1908 STERLING CT
ROCKWALL, TX 75032

BAILEY GARY AND JOY L
1910 HARVESTER DR
ROCKWALL, TX 75032

GARZA CESAR AND ANA MARIE
1913 STERLING CT
ROCKWALL, TX 75032

SANCHEZ JOSE L
1918 STERLING CT
ROCKWALL, TX 75032

LINDOP DUSTIN & AMANDA
1920 HARVESTER DR
ROCKWALL, TX 75032

MEJIA BLAS & LUISA
1921 STERLING CT
ROCKWALL, TX 75032

LARA ANITA
1921 HARVESTER DR
ROCKWALL, TX 75032

DOWDEY RACHEL AND
DAVID DOWDEY
1930 STERLING COURT
ROCKWALL, TX 75032

HUANG CHENGUANG AND
CHEN XIE
1930 HARVESTER DR
ROCKWALL, TX 75032

MCMILLIAN SUSAN S
1931 HARVESTER DR
ROCKWALL, TX 75032

AMH 2014-1 BORROWER LLC
1935 STERLING CT
ROCKWALL, TX 75032

WEAVER GREGORY L & DEBRA RENEE
1940 HARVESTER DRIVE
ROCKWALL, TX 75032

ML VENTURES, LLC
1941 HARVESTER DR
ROCKWALL, TX 75032

HENG JIA
1950 HARVESTER DR
ROCKWALL, TX 75032

YARBROUGH JEFFREY ALLEN & KIMBERLY ANN
1951 HARVESTER DR
ROCKWALL, TX 75032

STANLEY GARY ROSS
1960 HARVESTER DRIVE
ROCKWALL, TX 75032

MALDANIS CHERYL AND MICHAEL
1961 HARVESTOR DRIVE
ROCKWALL, TX 75032

WELK STEPHEN SCOTT
1970 HARVESTER DRIVE
ROCKWALL, TX 75032

GOLDBERG MICHAEL
1980 HARVESTER DR
ROCKWALL, TX 75032

BLOYS SHANE K & MELISSA D
1981 HARVESTER DRIVE
ROCKWALL, TX 75032

JONES DENNIS W AND RANAI L TRUSTEES
JONES FAMILY LIVING TRUST
2000 HARVESTER DR
ROCKWALL, TX 75032

ROCHELLE MICHAEL
2000 NEW HOLLAND DR
ROCKWALL, TX 75032

WILLIAMS ROGER D & SALLY M
2001 HARVESTER DR
ROCKWALL, TX 75032

SMITH BART A & DONNA R
2010 GLEANER DR
ROCKWALL, TX 75032

SPENCE KEATON
2020 GLEANER DR
ROCKWALL, TX 75032

PADILLA ELIZABETH
AND PETE RODRIGUEZ
2020 NEW HOLLAND DRIVE
ROCKWALL, TX 75032

ALMO INVESTMENT II LTD
2205 HWY 276
ROCKWALL, TX 75032

DFW DISTRIBUTOR,
PETROLEUM INC.
2210 STATE HWY 276
ROCKWALL, TX 75032

PRBS PROPERTIES LLC
2245 HWY 276
ROCKWALL, TX 75032

PRISM LEASING LTD
A TEXAS LIMITED PTNRSHIP
2301HWY276
ROCKWALL, TX 75032

HUANG CHENGUANG AND
CHEN XIE
235 BOULEVARD
MOUNTAIN LAKES, NJ 7046

AMH 2014-1 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

HATFIELD AND COMPANY INC
C/O GEORGE HATFIELD
2475 DISCOVERY BLVD
ROCKWALL, TX 75032

BAIN STEVEN & JONI
2550 DAYBREAK DRIVE
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
2560 DAYBREAK DR
ROCKWALL, TX 75032

BUNIN DAVID K & BETHANY A
2561 DAYBREAK DR
ROCKWALL, TX 75032

<Null>
2570 DAYBREAK DR
ROCKWALL, TX 75032

CARSON BROOKE
2571 DAYBREAK DRIVE
ROCKWALL, TX 75032

STACY BRYAN COLIN AND HEATHER
2580 DAYBREAK DRIVE
ROCKWALL, TX 75032

JONES HAROLD E III
2580 WAGONWHEEL DR
ROCKWALL, TX 75032

WELMAKER SALLY
2581 DAYBREAK DRIVE
ROCKWALL, TX 75032

HENSON TAYLOR P & ANGELA M
2590 DAYBREAK DRIVE
ROCKWALL, TX 75032

COAST VILLAGE CAPITAL LLC
2590 WAGON WHEEL DR
ROCKWALL, TX 75032

SMITH DANIEL J AND ALLISON LANE
2591 DAYBREAK DR
ROCKWALL, TX 75032

BARKLEY PATRICK D & SHERRI D
2600 DAYBREAK DR
ROCKWALL, TX 75032

ROCKWALL ECONOMIC DEVELOPMENT CORP
2610 OBSERVATION TRAIL STE 104
ROCKWALL, TX 75032

SPECIAL PRODUCTS REALTY LTD
2625 DISCOVERY BLVD
ROCKWALL, TX 75032

HARDING TERRY W
2750 AVERY
ROCKWALL, TX 75032

LAHLOUH FAMILY LIMITED PARTNERSHIP
2750 E MISSION BLVD
ONTARIO, CA 91761

PIERCE CHRISTOPHER JOSEPH & JENNIFER L
2751 AVERY
ROCKWALL, TX 75032

ARMSTRONG VICKIE
2761 AVERY DR
ROCKWALL, TX 75032

COATS JOSEPH JEROME AND ANNETTE
MICHELLE
2770 AVERY DR
ROCKWALL, TX 75032

JOHNSON ARTHUR JR
2771 AVERY DR
ROCKWALL, TX 75032

NICHOLSON NGAI Q AND MELVIN M
2780 AVERY
ROCKWALL, TX 75032

AINO DALLAS LLC
2781 AVERY DR
ROCKWALL, TX 75032

TURCK BETHANY
2790 AVERY DR
ROCKWALL, TX 75032

FAVILA CESAR G II
2791 AVERY
ROCKWALL, TX 75032

KIELBUS PAWEL & KATARZYNA
2800 AVERY
ROCKWALL, TX 75032

TREADWELL FAMILY TRUST AND
JANIEKS FAMILY TRUST
2800 DISCOVERY BLVD
ROCKWALL, TX 75032

LUONG SIMON
2810 AVERY DR
ROCKWALL, TX 75032

WILSON TIMOTHY JOHN & STEPHANIN M
2850 AVERY
ROCKWALL, TX 75032

SOON HERALD
2851 AVERY DR
ROCKWALL, TX 75032

SENG TRUST
2860 AVERY DR
ROCKWALL, TX 75032

BAUMANN REBECCA NICOLE AND KAISER LYN
2861 AVERY DRIVE
ROCKWALL, TX 75032

BARTLEET MURRAY PAUL
2870 AVERY DRIVE
ROCKWALL, TX 75032

ROCKWALL ECONOMIC DEVELOPMENT
2935 OBSERVATION TRAIL
ROCKWALL, TX 75032

EXETER 2975 DISCOVERY, LP
2975 DISCOVERY BLVD
ROCKWALL, TX 75032

SHANE PATRICK RYAN
3055 GOLDEN TRL
ROCKWALL, TX 75032

TARRANT CHRISTOPHER D AND KATHY D
3075 GOLDEN TRAIL
ROCKWALL, TX 75032

LARA ANITA
318 LAKE TEXOMA DRIVE
WYLIE, TX 75098

PRBS PROPERTIES LLC
3216 HUNTER LANE
PLANO, TX 75093

XCELON DEVELOPEMENT LLC
3225 MCLEOD DR SUITE 100
LAS VEGAS, NV 89121

LUONG SIMON
4018 138TH ST SW
LYNNWOOD, WA 98087

TREADWELL FAMILY TRUST AND
JANIEKS FAMILY TRUST
5161 VISTA MIGUEL DR
LA CANADA, CA 91011

PRISM LEASING LTD
A TEXAS LIMITED PTNRSHIP
625 SUNSET HILL DR
ROCKWALL, TX 75087

ML VENTURES, LLC
7908 BOULDER RIVER TRAIL
MCKINNEY, TX 75070

KELLER JACQUELYN
8522 GARLAND RD
DALLAS, TX 75218

ROCKWALL ECONOMIC DEVELOPMENT
CORPORATION
P O BOX 968
ROCKWALL, TX 75087

ALMO INVESTMENT II LTD
PO BOX 2599
WAXAHACHIE, TX 75168

LOFLAND FARMS LTD
C/O QHR INC
PO BOX 360399
DALLAS, TX 75336

MAK SPOT REAL ESTATE LLC
PO BOX 496585
GARLAND, TX 75049

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-006: Zoning Change from PD-73 to LI

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation for the approval of a Zoning Change from Planned Development District 73 (PD-73) to a Light Industrial (LI) District for a 8.008-acre parcel of land identified as Lot 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 73 (PD-73) for Commercial (C) District land uses, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Corporate Crossing and SH-276, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 15, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 21, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 21, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-006: Zoning Change from PD-73 to LI

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



February 16, 2022

Mr. Ryan Miller
Planning Director
City of Rockwall
385 S. Goliad
Rockwall, TX 75087

Re: Zoning Change for Lot 8, Block A Rockwall Technology Park Addition

Mr. Miller:

The Rockwall Economic Development Corporation (REDC) requests a zoning change for Lot 8, Block A of the Rockwall Technology Park Addition ("Lot A-8") from PD-073 to Light Industrial (LI). Lot A-8 was originally zoned LI, but was changed to PD-073 in 2009. The lot is mostly encumbered by an existing floodplain which makes development of the property difficult and cost prohibitive. The REDC plans to build a regional stormwater detention pond on the lot in the near future, which will add developable land and serve the adjacent lots.

The lots within all phases of the Rockwall Technology Park are zoned LI, therefore this request is consistent with the zoning and land use in the surrounding area. This change will facilitate more contiguous LI zoned land coupled with the lot immediately adjacent to the north (Lot A-7), where the REDC is currently courting a corporate relocation.

We respectfully ask that the Planning & Zoning Commission and the Rockwall City Council consider approval of our zoning request.

Sincerely,

Matt Wavering
Director of Project Development

attachments

EXHIBIT A
METES AND BOUNDS DESCRIPTION
8.008 ACRES
J. M. ALLEN SURVEY, A-2
ROCKWALL COUNTY, TEXAS

Being 8.008 acres (348,831 square feet) of land, situated in the J. M. Allen Survey, Abstract Number 2, Rockwall County, Texas, being part of that certain Lot 8, Block A, Rockwall Technology Park, according to the plat thereof recorded in Cabinet G, Slide 367, Plat Records, Rockwall County, Texas. Said 8.008 acres of land being more particularly described as follows, to wit:

BEGINNING at a 5/8-inch iron rod with a pink TXDOT cap found at the northwest corner of that certain called 0.392 acre tract conveyed to the State of Texas according to the Correction Affidavit recorded under Instrument Number 20160000015279, Official Public Records, Rockwall County, Texas, being in the west line of the above mentioned Lot 8 and the east line of Lot 5, Block A, Rockwall Technology Park according to the plat thereof recorded in Cabinet E, Slide 262, Plat Records, Rockwall County, Texas, from which a 5/8-inch iron rod with a pink TXDOT cap found at the southwest corner of the above mentioned 0.392 acre tract bears South 00 degrees 00 minutes 59 seconds East, a distance of 15.60 feet;

THENCE North 00 degrees 00 minutes 59 seconds West, along the most southerly west line of said Lot 8 and the east line of the above mentioned Lot 5, a distance of 348.62 feet to a 5/8-inch iron rod with plastic cap stamped "Pioneer Mapping" set for the most westerly northwest corner of said Lot 8, same being the northeast corner of said Lot 5, and being in the south line of Lot 4, Block A, Rockwall Technology Park according to the plat thereof recorded in Cabinet E, Slide 262, Plat Records, Rockwall County, Texas;

THENCE North 89 degrees 59 minutes 01 second East, along the most westerly north line of said Lot 8 and the south line of the above mentioned Lot 4, a distance of 146.56 feet to a 5/8-inch iron rod with plastic cap stamped "Pioneer Mapping" set for an inner ell corner of said Lot 8, same being the southeast corner of said Lot 4, from which a 5/8-inch iron rod found bent bears South 27 degrees 43 minutes 22 seconds East, a distance of 0.52 feet;

THENCE North 00 degrees 00 minutes 59 seconds West, along the most northerly west line of said Lot 8 and the east line of said Lot 4, a distance of 266.21 feet to a 1/2-inch iron rod with plastic cap found for the most northerly northwest corner of said Lot 8, same being the most southerly southwest corner of Lot 7, Block A, Rockwall Technology Park according to the plat thereof recorded in Cabinet G, Slide 367, Plat Records, Rockwall County, Texas;

THENCE North 89 degrees 11 minutes 28 seconds East, along the most northerly north line of said Lot 8 and the most southerly south line of the above mentioned Lot 7, a distance of 493.50 feet to a 5/8-inch iron rod with plastic cap stamped "Pioneer Mapping" set for the northeast corner of said Lot 8, same being the southeast corner of said Lot 7, and being in the west Right-of-Way line of Farm to Market Road 549, also known as Corporate Crossing (variable-width Right-of-Way);

THENCE along the east line of said Lot 8 and the west line of Farm to Market Road 549 the following two (2) courses and distances:

South 02 degrees 07 minutes 17 seconds East, a distance of 114.50 feet to a point;

and South 01 degree 37 minutes 39 seconds East, a distance of 428.59 feet to a point for the most easterly southeast corner of said Lot 8, same being at the intersection of Farm to Market Road 549 and State Highway 276 (variable-width Right-of-Way);

THENCE South 42 degrees 15 minutes 45 seconds West, along the southeast line of said Lot 8 and the north line of State Highway 276, a distance of 47.21 feet to a point for the northeast corner of said 0.392 acre State of Texas tract;

THENCE South 89 degrees 10 minutes 06 seconds West, along the most easterly north line of said 0.392 acre tract, a distance of 243.79 feet to a 5/8-inch iron rod with a pink TXDOT cap found at the most northerly northwest corner of said 0.392 acre tract;

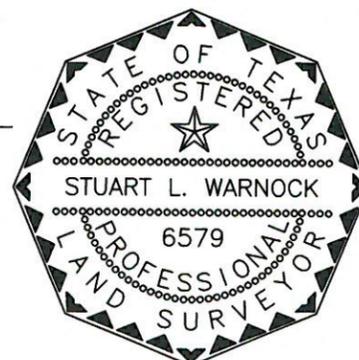
THENCE South 01 degree 03 minutes 11 seconds East, along the most northerly west line of said 0.392 acre tract, a distance of 34.99 feet to a 5/8-inch iron rod with a pink TXDOT cap found for an inner ell corner of said 0.392 acre tract;

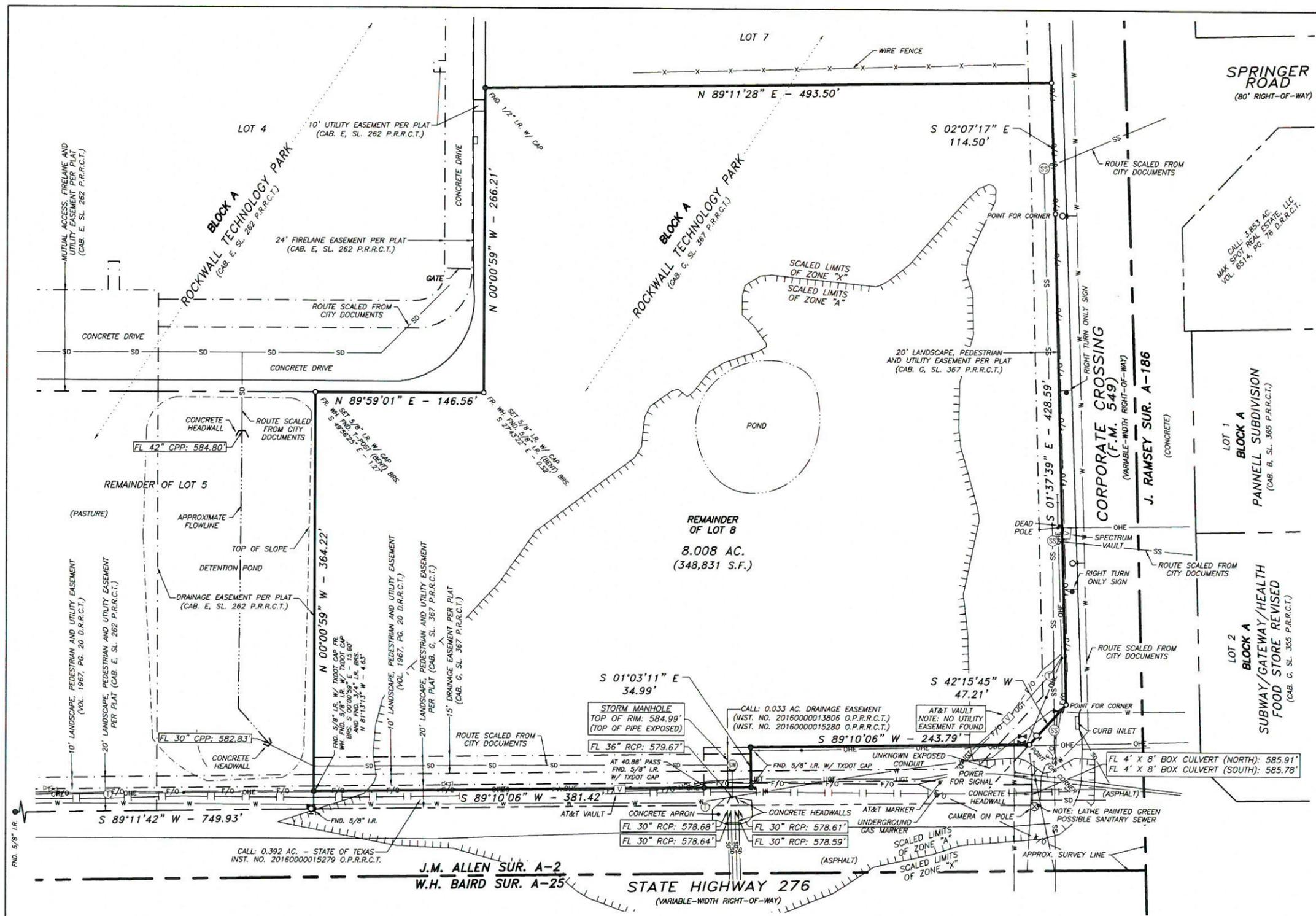
THENCE South 89 degrees 10 minutes 06 seconds West, along the most westerly north line of said 0.392 acre tract, a distance of 381.42 feet to the **POINT OF BEGINNING**, containing 8.008 acres of land, more or less.

Bearings based on the Texas State Plane Coordinate System, NAD83 (2011), Epoch 2010, Texas North Central Zone 4202. Distances are in U.S. Survey feet and decimal parts thereof.


 Stuart L. Warnock, RPLS, GISP
 Texas Registration Number 6579

12-3-18
 Date





- NOTES:**
1. BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD83 (2011), EPOCH 2010, ZONE 4202 (TX-NC). DIMENSIONS SHOWN ARE GRID AND EXPRESSED IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED.
 2. EASEMENTS AND ENCUMBRANCES WHICH ARE NOT RECORDED IN PUBLIC RECORDS AND CANNOT BE DETERMINED BY THIS SURVEY MAY EXIST AND ENCUMBER TRACT SHOWN.
 3. THE SUBJECT PROPERTY FALLS WITHIN ZONE A (BASE FLOOD ELEVATION NOT DETERMINED) AND ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS INDICATED BY FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD MAPS. SEE PANEL 48397 C 0045 L, DATED SEPTEMBER 26, 2008.
 4. NO ZONING REPORT OR LETTER WAS PROVIDED TO THE SURVEYOR.
 5. NO ADDRESS FOR SUBJECT TRACT WAS PROVIDED OR OBSERVED.
 6. NO PARKING SPACES PRESENT AT TIME OF SURVEY.
 7. STATE HIGHWAY 276 UNDER CONSTRUCTION AT TIME OF SURVEY.

LEGEND

	BOUNDARY LINE
	ADJOINING SUBDIVISION
	ADJOINING PROPERTY
	SURVEY LINE
	EASEMENT
	EDGE OF CONCRETE/ASPHALT
	FIBER-OPTIC LINE
	GAS LINE
	SANITARY SEWER
	STORM SEWER
	WATERLINE
	OVERHEAD ELECTRIC
	BURIED ELECTRIC
	BURIED TELEPHONE
	GUY ANCHOR
	UTILITY POLE
	WATER VALVE
	IRRIGATION CONTROL VALVE
	FIRE HYDRANT
	TELEPHONE PEDESTAL
	SANITARY MANHOLE
	STORM MANHOLE
	VAULT
	SET 5/8\"/>

THIS SURVEY IS MADE FOR THE BENEFIT OF:
 ROCKWALL ECONOMIC DEVELOPMENT CORPORATION AND RANGER TITLE COMPANY

I, STUART L. WARNOCK, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY TO THE AFORESAID PARTIES, AS OF THE DATE SET FORTH BELOW THAT I OR OTHERS UNDER MY DIRECT SUPERVISION, HAVE MADE A CAREFUL SURVEY OF THE TRACT OF LAND DESCRIBED HEREON. I FURTHER CERTIFY THAT:

1. THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 8, 9, 13, 16, 17, 19, AND 20 (\$1,000,000) OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON OCTOBER 18TH, 2018.
2. THIS PLAT SUBSTANTIALLY COMPLIES WITH THE RULES AND REGULATIONS OF THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING.

DATED DECEMBER 3, 2018.



Stuart L. Warnock
 STUART L. WARNOCK
 REGISTERED PROFESSIONAL LAND SURVEYOR
 TEXAS REGISTRATION NO. 6579

RESEARCH WAS LIMITED TO THE FOLLOWING, PROVIDED BY OTHERS
 (A COMMITMENT FOR TITLE INSURANCE UNDER G.F. NO. R181978R
 DATED SEPTEMBER 19, 2018, FROM RANGER TITLE COMPANY)

ITEM	RECORDING	FINDING
10.a	VOL. 75, PG. 571	TOO VAGUE, MAY AFFECT
10.b	VOL. 75, PG. 572	TOO VAGUE, MAY AFFECT
10.c	VOL. 1967, PG. 20	DOES AFFECT, IS SHOWN
10.d	CAB. G, SL. 367	DOES AFFECT, IS SHOWN
10.f	VOL. 36, PG. 370	MINERAL RESERVATION
10.i	INST. NO. 2016000013806	DOES AFFECT, IS SHOWN
10.l	INST. NO. 2016000015280	DOES AFFECT, IS SHOWN



ALTA/NSPS TITLE SURVEY
 SHOWING
REMAINDER OF LOT 5, BLOCK A
ROCKWALL TECHNOLOGY PARK
 J. M. ALLEN SURVEY A-2
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

JOB: 18-060 DRAWN BY: GDF DATE: 12/3/18 REV: 1

PIONEER MAPPING
 SURVEYING | CONSULTING | GEOSPATIAL
 PO Box 136878 - Fort Worth, TX 76136 - P: 682.233.2550
 www.pioneermapping.com - info@pioneermapping.com
 TX-FIRM# 10194188

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 73 (PD-73) [ORDINANCE NO. 09-09] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM PLANNED DEVELOPMENT DISTRICT 73 (PD-73) TO A LIGHT INDUSTRIAL (LI) DISTRICT FOR AN 8.008-ACRE PARCEL OF LAND IDENTIFIED AS LOT 8, BLOCK A, ROCKWALL TECHNOLOGY PARK ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND FURTHER DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Matt Wavering of the Rockwall Economic Development Corporation for the approval of a *Zoning Change* from Planned Development District 73 (PD-73) [Ordinance No. 09-09] to a Light Industrial (LI) District for an 8.008-acre parcel of land identified as Lot 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 73 (PD-73) for Commercial (C) District land uses, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Corporate Crossing and SH-276, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 73 (PD-73) [Ordinance No. 09-09] and the Unified Development Code (UDC) [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the adoption of this ordinance shall supersede *Ordinance No. 09-09*;

SECTION 2. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Planned Development District 73 (PD-73) [Ordinance No. 09-09] to a Light Industrial (LI) District;

SECTION 3. That the *Subject Property* shall be used only in the manner and for the purposes

provided for a Light Industrial (LI) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*; Section 05.01, *General Industrial District Standards*; and Section 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 7. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF APRIL, 2022.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 21, 2022

2nd Reading: April 4, 2022

Exhibit 'A'
Legal Description

BEING 8.008 acres (348,831 square feet) of land, situated in the J. M. Allen Survey, Abstract Number 2, Rockwall County, Texas, being part of that certain Lot 8, Block A Rockwall Technology Park, according to the plat thereof recorded in Cabinet G, Slide 367, Plat Records, Rockwall County, Texas. Said 8.008 acres of land being more particularly described as follows, to wit:

BEGINNING at a 5/8-inch iron rod with a pink TXDOT cap found at the northwest corner of that certain called 0.392 acre tract conveyed to the State of Texas according to the Correction Affidavit recorded under Instrument Number 20160000015279, Official Public Records, Rockwall County, Texas, being in the west line of the above mentioned Lot 8 and the east line of Lot 5, Block A Rockwall Technology Park according to the plat thereof recorded in Cabinet E, Slide 262, Plat Records, Rockwall County, Texas, from which a 5/8-inch iron rod with a pink TXDOT cap found at the southwest corner of the above mentioned 0.392 acre tract bears South 00 degrees 00 minutes 59 seconds East, a distance of 15.60 feet;

THENCE North 00 degrees 00 minutes 59 seconds West, along the most southerly west line of said Lot 8 and the east line of the above mentioned Lot 5, a distance of 348.62 feet to a 5/8-inch iron rod with plastic cap stamped "Pioneer Mapping" set for the most westerly northwest corner of said Lot 8, same being the northeast corner of said Lot 5, and being in the south line of Lot 4, Block A Rockwall Technology Park according to the plat thereof recorded in Cabinet E, Slide 262, Plat Records, Rockwall County, Texas;

THENCE North 89 degrees 59 minutes 01 second East, along the most westerly north line of said Lot 8 and the south line of the above mentioned Lot 4, a distance of 146.56 feet to a 5/8-inch iron rod with plastic cap stamped "Pioneer Mapping" set for an inner ell corner of said Lot 8, same being the southeast corner of said Lot 4, from which a 5/8-inch iron rod found bent bears South 27 degrees 43 minutes 22 seconds East, a distance of 0.52 feet;

THENCE North 00 degrees 00 minutes 59 seconds West, along the most northerly west line of said Lot 8 and the east line of said Lot 4, a distance of 266.21 feet to a 1/2-inch iron rod with plastic cap found for the most northerly northwest corner of said Lot 8, same being the most southerly southwest corner of Lot 7, Block A Rockwall Technology Park according to the plat thereof recorded in Cabinet G, Slide 367, Plat Records, Rockwall County, Texas;

THENCE North 89 degrees 11 minutes 28 seconds East, along the most northerly north line of said Lot 8 and the most southerly south line of the above mentioned Lot 7, a distance of 493.50 feet to a 5/8-inch iron rod with plastic cap stamped "Pioneer Mapping" set for the northeast corner of said Lot 8, same being the southeast corner of said Lot 7, and being in the west Right-of-Way line of Farm to Market Road 549, also known as Corporate Crossing (variable-width Right-of-Way);

THENCE along the east line of said Lot 8 and the west line of Farm to Market Road 549 the following two (2) courses and distances:

South 02 degrees 07 minutes 17 seconds East, a distance of 114.50 feet to a point;

and South 01 degree 37 minutes 39 seconds East, a distance of 428.59 feet to a point for the most easterly southeast corner of said Lot 8, same being at the intersection of Farm to Market Road 549 and State Highway 276 (variable-width Right-of-Way);

THENCE South 42 degrees 15 minutes 45 seconds West, along the southeast line of said Lot 8 and the north line of State Highway 276, a distance of 47.21 feet to a point for the northeast corner of said 0.392-acre State of Texas tract;

THENCE South 89 degrees 10 minutes 06 seconds West, along the most easterly north line of said 0.392-acre tract, a distance of 243.79 feet to a 5/8-inch iron rod with a pink TXDOT cap found at the most northerly northwest corner of said 0.392-acre tract;

THENCE South 01 degree 03 minutes 11 seconds East, along the most northerly west line of said 0.392-acre tract, a distance of 34.99 feet to a 5/8-inch iron rod with a pink TXDOT cap found for an inner ell corner

Exhibit 'A'
Legal Description

of said 0.392-acre tract;

THENCE South 89 degrees 10 minutes 06 seconds West, along the most westerly north line of said 0.392-acre tract, a distance of 381.42 feet to the **POINT OF BEGINNING**, containing 8.008 acres of land, more or less.

DRAFT
ORDINANCE
02.28.2022

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: Z2022-007
PROJECT NAME: SUP for Residential Infill at 514 Yvonne Drive
SITE ADDRESS/LOCATIONS: 514 YVONNE DR, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	02/25/2022	Approved w/ Comments

02/25/2022: Z2022-007; Specific Use Permit (SUP) for Residential Infill for 514 Yvonne Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive.
- I.2 For questions or comments concerning this case please contact Angelica Gamez in the Planning Department at (972) 772-6438 or email agamez@rockwall.com.
- M.3 For reference, include the case number (Z2022-007) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estate Subdivision, which is 90% or more developed and has been in existence for more than 10 years.
- I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."
- I.6 The garage is required to meet the standards established in Subsection 07.04, Accessory Structure Development Standards of Article 04, of the Unified Development Code (UDC). This section requires that a garage be situated a minimum of 20-feet behind the front façade of the single-family home. In the current request, the garage is setback approximately two (2) feet from the front façade of the homes. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.
- M.7 Please review the attached Draft Ordinance prior to the February 28, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than March 7, 2022.
- I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on February 28, 2022.

I.9 The projected City Council meeting dates for this case will be March 21, 2022 (1st Reading) and April 4, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review
02/24/2022: Show a 10' utility easement along the front and back property lines. Property will need to be replatted.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/25/2022	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments
02/22/2022: No comments			

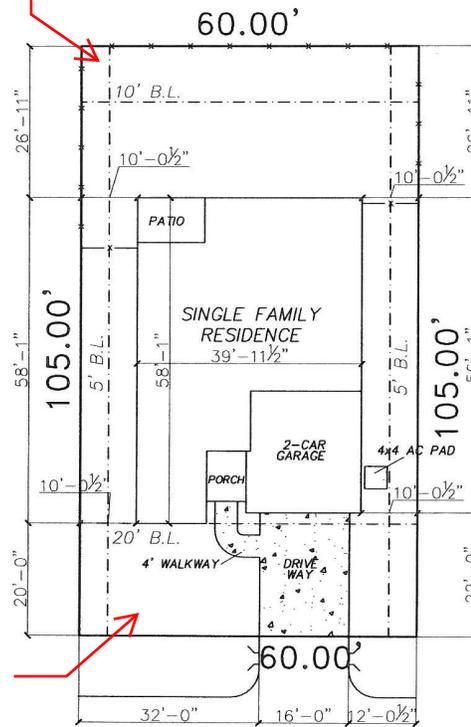


NORTH
SCALE: 1" = 20'-0"

AREA CALCULATIONS	
LOT AREA	6300 SF
SLAB COVERAGE	2252 SF
% BUILDING COVERAGE	35.7 % COVERAGE
TOTAL IMP. COVERAGE	2670 SF
% TOTAL IMP. COVERAGE	42.4 % COVERAGE
DRIVEWAY COVERAGE	351 SF
% DRIVEWAY COVERAGE	5.6 % COVERAGE
WALKWAY COVERAGE	51 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4' X 4' A.C. PAD COVERAGE	16 SF
% 4' X 4' A.C. PAD COVERAGE	0.25 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	455 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	183 SF
LOT FRONTAGE	647 SF
FENCE	143 LINEAR SF

* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.

10' Utility Easement



Will need to replat lot

10' Utility Easement

YVONNE DRIVE

CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

LEGEND	
	DRAINAGE FLOW
	PROPOSED FENCE
	EXISTING FENCE
	CURLEX
	RETAINING WALL
	REQUIRED TREE PLANTING
	REQUIRED BUSH

B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
P.A.E. - PEDESTRIAN ACCESS EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
T.E. - TRANSFORMER EASEMENT
U.E. - UTILITY EASEMENT
W.M.E. - WALL MAINT. EASEMENT
M.E. - MAINTENANCE EASEMENT
V.E. - VISIBILITY EASEMENT
* * * - EXPOSED AGGREGATE CONCRETE

BUILDER: H ENTERPRISE	DATE: 10/07/2020
ADDITION: ROCKWALL	DRAWN BY: DDSG-AA
ADDRESS: 514 YVONNE DR.	CITY: ROCKWALL
LOT: 1096 BLOCK: N/A	PLAN: N/A ELEVATION: N/A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

DDS GROUP

PLOT PLAN SP1

NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. FLATWORK IS ONLY A REPRESENTATION.

CALL BEFORE YOU DIG
 TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.

CAUTION - CONTRACTOR'S NOTE
 THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.



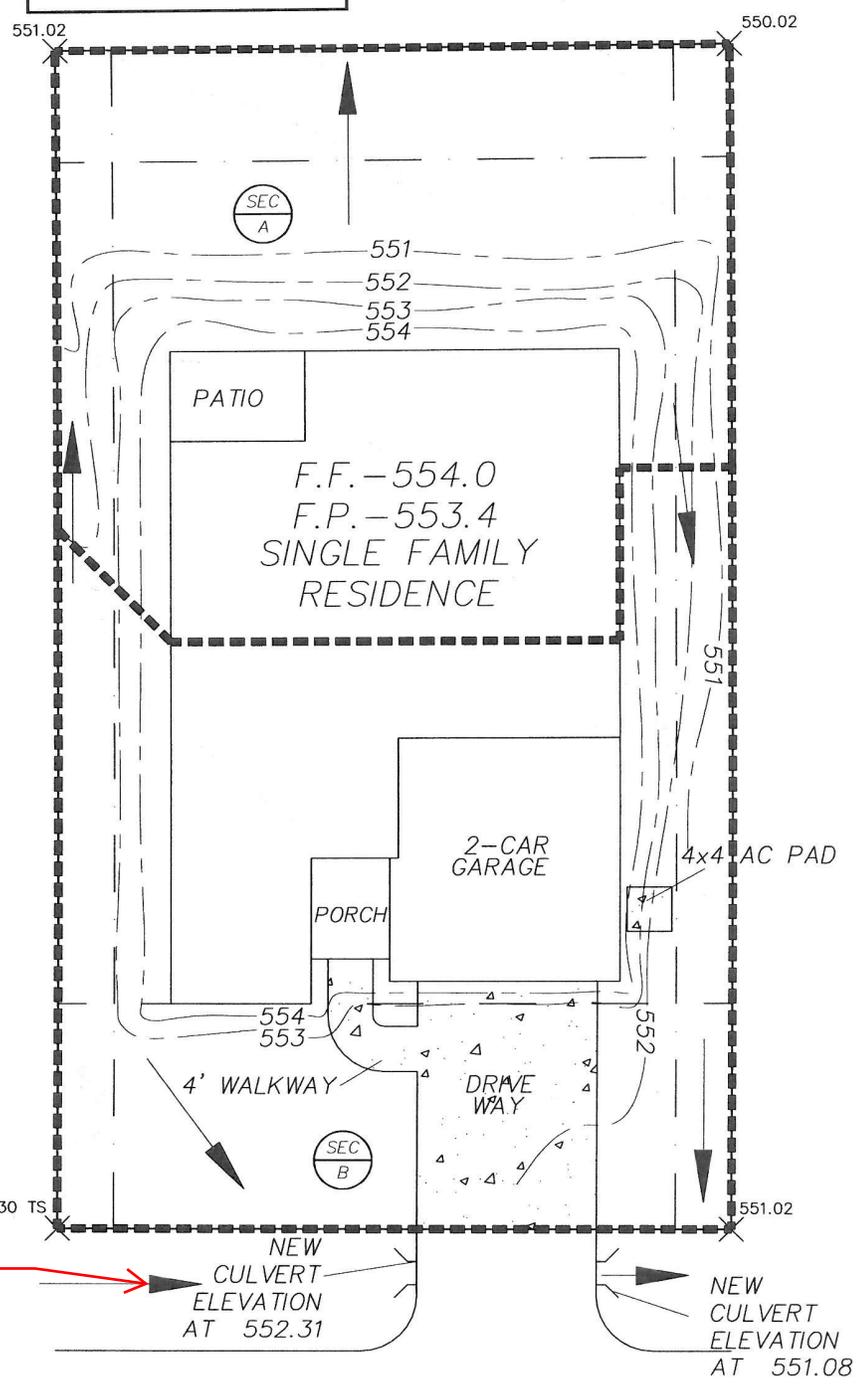
10/31/2020
 JSB [Signature]
 F-25738

- LEGEND**
- - - PROPOSED DRAINAGE
 - - - PROPOSED FENCE
 - EXISTING FENCE
 - ▨ CURLEX
 - RETAINING WALL
 - - - EXISTING GRADING
 - 625- PROPOSED GRADING

- L.E. - LANDSCAPE EASEMENT
- D.E. - DRAINAGE EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- T.E. - TRANSFORMER EASEMENT
- U.E. - UTILITY EASEMENT
- W.M.E. - WALL MAINT. EASEMENT
- M.E. - MAINTENANCE EASEMENT
- B.E. - BUFFERING EASEMENT

SPOT ELEVATION KEY:
 X_{102,000.0} - SPOT ELEVATION
 TP - TOP OF SWALE
 TW - TOP OF WALL
 BW - BOTTOM OF WALL

CULVERT PIPE CALCS			
SECTION	HARD SURFACE	RAINFALL INTENSITY	CONTRIBUTING AREA
A	0.500	9.800	0.068
B	0.500	9.800	0.076
			0



Culvert design (for building permit) must account for offsite drainage as well. How much water is draining in the ditch?

NORTH

SCALE: 1" = 10'-0"

YVONNE DRIVE

ADDRESS: 514 YVONNE DR.		DDS GROUP
ROCKWALL, TX.		
DRAWN BY: DDSG		
DATE: 12-17-2020		GRADING PLAN



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 27022-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 514 Yvonne Dr.

SUBDIVISION

LOT

1096

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Black Toro Custom Homes LLC
Jose A Contreras

APPLICANT

Juan Aguilar

CONTACT PERSON

CONTACT PERSON

ADDRESS 1210 Creek Valley

ADDRESS

1210 Creek Valley Rd.

CITY, STATE & ZIP Mesquite TX 75181

CITY, STATE & ZIP

Mesquite TX 75181

PHONE 214-991-2329

PHONE

214-538-6401

E-MAIL blacktoro customhomes@gmail.com

E-MAIL

blacktoro customhomes@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jose A Contreras / Juan Aguilar [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

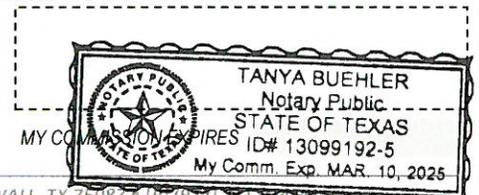
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022

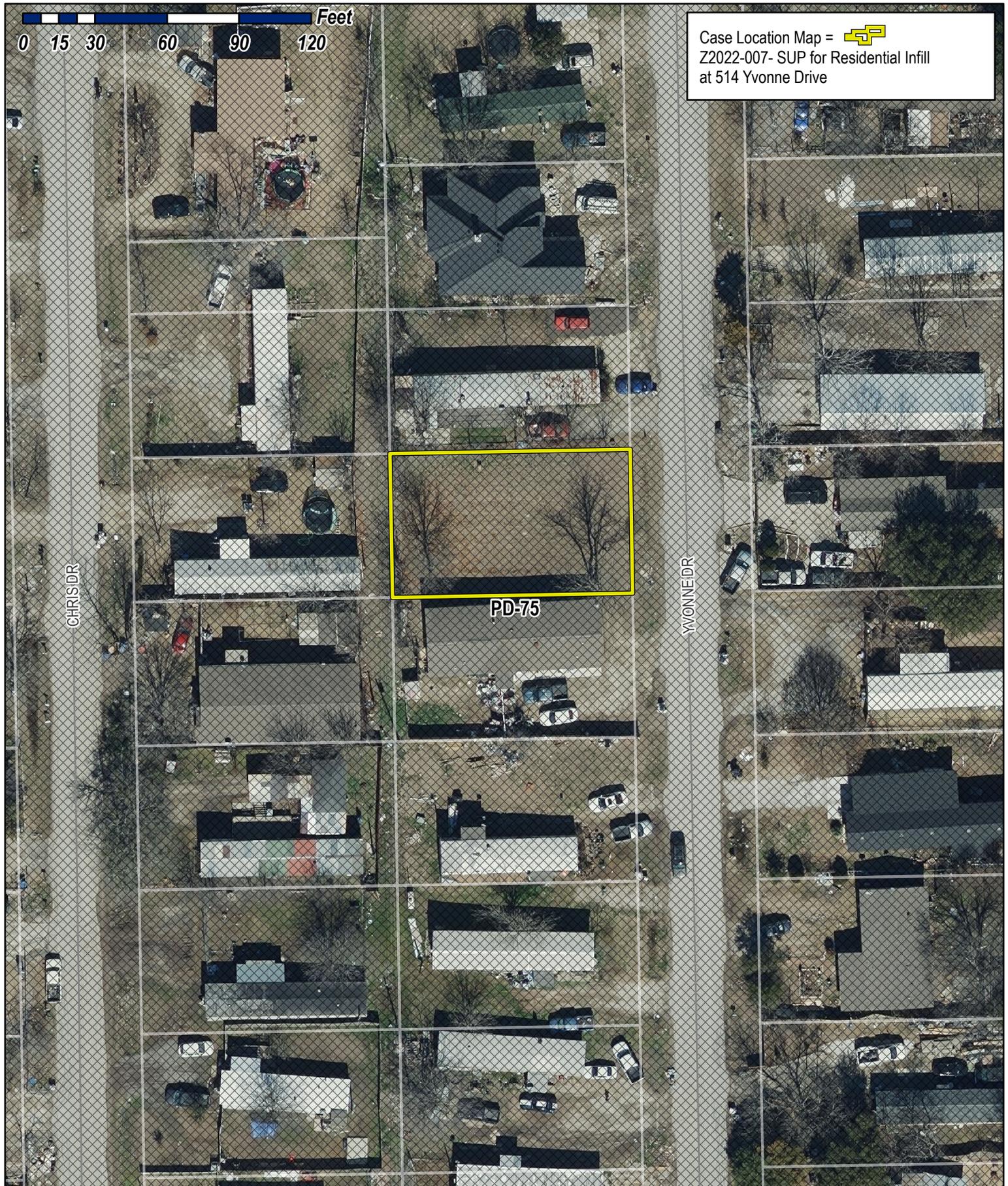
OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jayne Beech





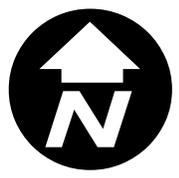
Case Location Map = 
 Z2022-007- SUP for Residential Infill
 at 514 Yvonne Drive



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

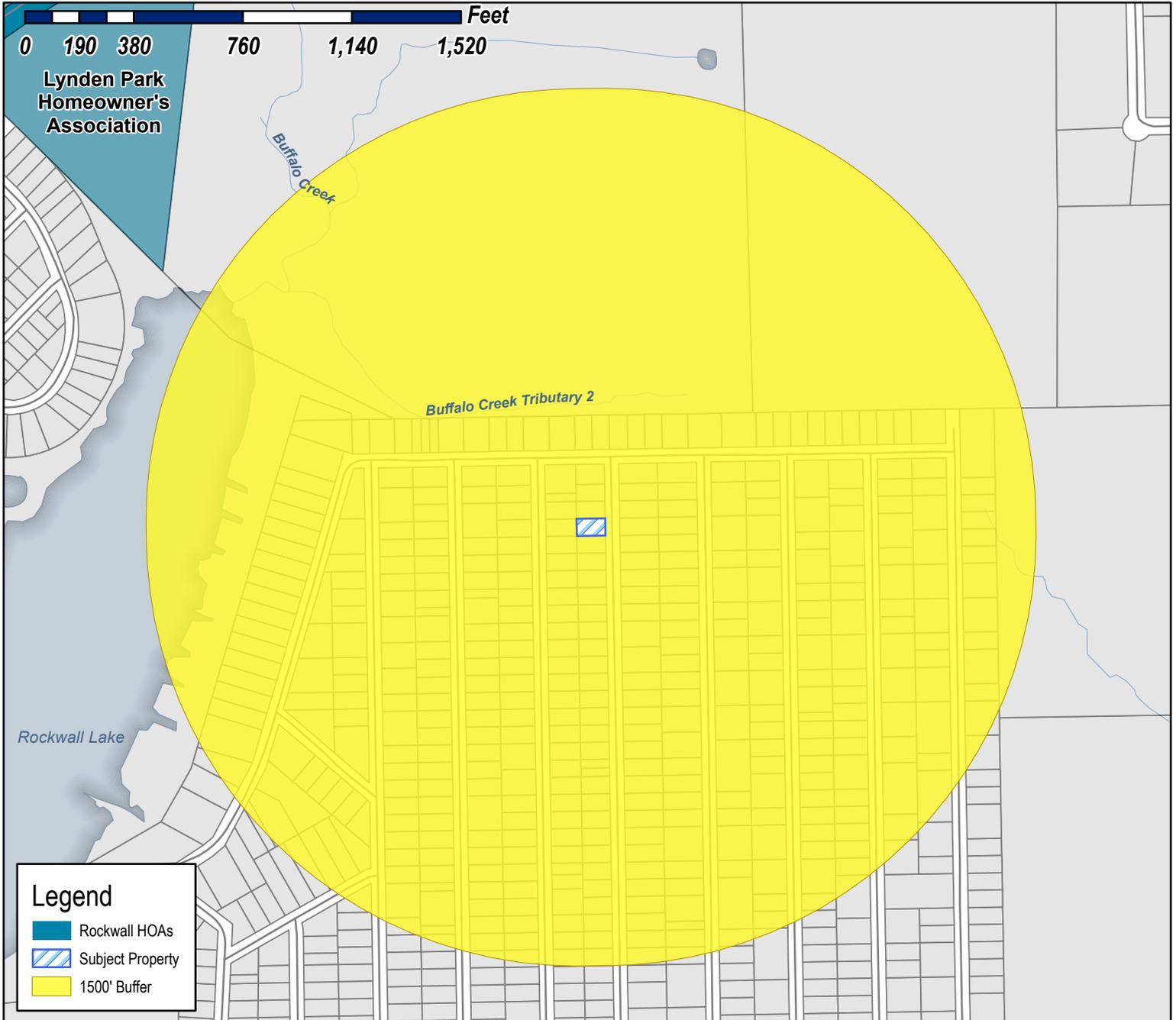




City of Rockwall

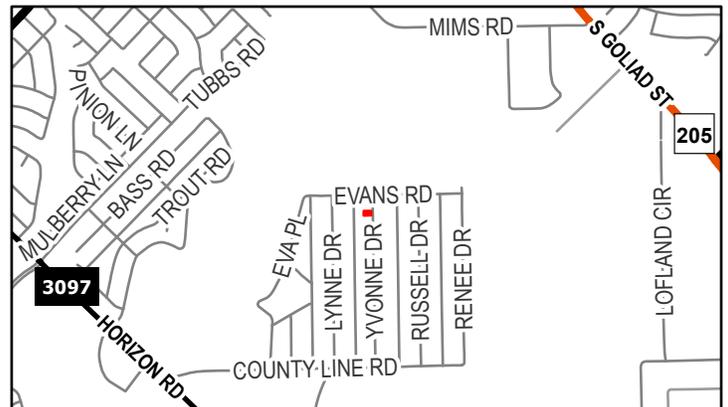
Planning & Zoning Department
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Rockwall, Texas 75087
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Case Number: Z2022-007
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 514 Yvonne Drive

Date Saved: 2/17/2022
 For Questions on this Case Call (972) 771-7745

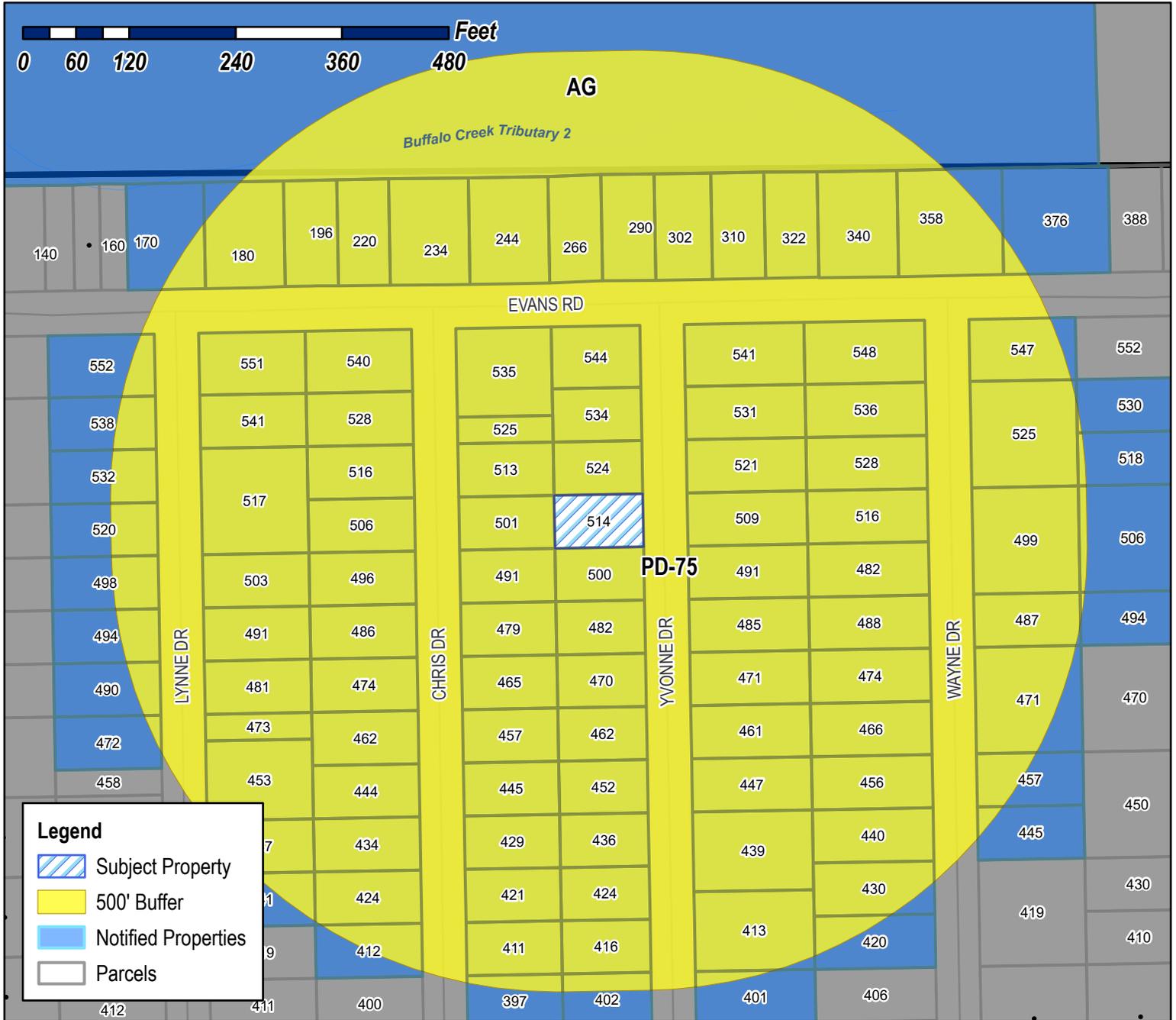




City of Rockwall

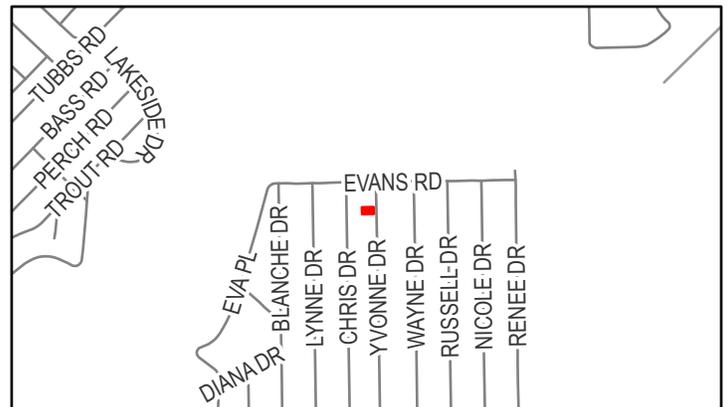
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2022-007
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 514 Yvonne Drive

Date Saved: 2/17/2022
 For Questions on this Case Call (972) 771-7745



THELWELL LINDA
1013 BLACKBERRY TRL <Null>
LANCASTER, TX 75134

SILVA BERTHA
1041 E FM 552 <Null>
ROCKWALL, TX 75087

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST <Null>
ROCKWALL, TX 75087

CHAPELA AARON
1188 YVONNE DR <Null>
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278 <Null>
QUINLAN, TX 75087

CASTILLO ARTURO & VICTORIA
151 PERCH RD <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS &
MARICELA ARREDONDO
170EVANSRD ROCKWALL
TX, 75032

DIAZ JUANA
1750 E FM 550 <Null>
ROCKWALL, TX 75032

HERREROS BERTOLDO
180 EVANS RD <Null>
ROCKWALL, TX 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
186 NICOLE DR <Null>
ROCKWALL, TX 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
186 NICOLE DR <Null>
ROCKWALL, TX 75032

HERREROS BERTOLDO
196 EVANS RD <Null>
ROCKWALL, TX 75032

ORELLANA JUAN C & MARICELA
220 CRAWFORD LN <Null>
ROYSE CITY, TX 75189

RODRIGUEZ ROMAN
220 EVANS RD <Null>
ROCKWALL, TX 75032

YANES MARIA TERESA
230 CHRIS DR <Null>
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA
234 EVANS RD <Null>
ROCKWALL, TX 75032

MEJIA RAMIRO
244 EVANS RD <Null>
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA
266 EVANS RD ROCKWALL
TX, 75032

SAULS AND BROS COMPANY LLC
2716 GREENHILL DRIVE <Null>
MESQUITE, TX 75150

PEREZ MARCOS AND MARIA ELVA GACHUZO
VELAZQUEZ
290 EVANS <Null>
ROCKWALL, TX 75032

SAULS AND BROS COMPANY LLC
302 EVANS RD ROCKWALL
TX, 75032

SILVA JORGE & ELIZABETH
3078 S FM 551 <Null>
ROYSE CITY, TX 75189

BALDERAS GREGORY
310 EVANS RD <Null>
ROCKWALL, TX 75032

ACOSTA FABIAN AND GLADYS CELENE
QUINONEZ
322 EVANS RD <Null>
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
3248 BLACKLAND RD <Null>
ROYSE CITY, TX 75189

RAMIRES RAUL
358 EVANS RD <Null>
ROCKWALL, TX 75032

BROTZE MARGARET
373 YVONNE DR <Null>
ROCKWALL, TX 75032

LUMPKINS JOHN E & STEPHANIE L
376 EVANS RD <Null>
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
397 CHRIS DR <Null>
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA
400 EVANS RD <Null>
ROCKWALL, TX 75032

BROTZE MARGARET
401 YVONNE DR ROCKWALL
TX, 75032

JARAMILLO JOSE A
402 YVONNE DR <Null>
ROCKWALL, TX 75032

CARMONA ROBERTO
411 CHRIS DR <Null>
ROCKWALL, TX 75032

OLGUIN CIRILO
412 CHRIS DR <Null>
ROCKWALL, TX 75032

GONZALEZ FELIPE GOVEA
413 YVONNE DR <Null>
ROCKWALL, TX 75032

CRUZ JOSE AND
ADRIANA GUERRERO
416 YVONNE DR <Null>
ROCKWALL, TX 75032

MERKEL JAMES
420 WAYNE DR <Null>
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
421CHRISDR ROCKWALL
TX, 75032

CARDENAS RODOLFO
424 CHRIS DR <Null>
ROCKWALL, TX 75032

RAMIREZ MAXIMINO SIERRA
424 YVONNE DR ROCKWALL
TX, 75032

RAMIREZ ZACARIAS
429 CHRIS DR ROCKWALL
TX, 75032

DELGADO DONNY
430 WAYNE DRIVE <Null>
ROCKWALL, TX 75032

HERNANDEZ GREGORIA HERNANDEZ
434 CHRIS <Null>
ROCKWALL, TX 75032

HERRERA JUAN E
436 YVONNE DR ROCKWALL
TX, 75032

ANAYA JUAN C & RAUL
439 PERCH RD <Null>
ROCKWALL, TX 75032

GONZALEZ FELIPE GOVEA
439 YVONNE DR ROCKWALL
TX, 75032

RODRIGUEZ MARICELA
440 WAYNE DR ROCKWALL
TX, 75032

TORRES ALONSO
441 LYNNE DR <Null>
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
441 LYNNE DRIVE <Null>
ROCKWALL, TX 75402

GOMEZ MIGUEL URBINA AND LILIA GARCIA
RANGEL
444 CHRIS DR <Null>
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
445 CHRIS DR ROCKWALL
TX, 75032

GARCIA JOSE NOE
445 WAYNE DR <Null>
ROCKWALL, TX 75150

TORRES ALONSO & MARIA DEL ROSARIO YANEZ
447 LYNNE DR ROCKWALL
TX, 75032

PRUET JAMES D
447 YVONNE DR <Null>
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR <Null>
ROCKWALL, TX 75032

CHAPELA AARON
452YVONNEDR ROCKWALL
TX, 75032

CASTILLO ARTURO & VICTORIA
453 LYNNE DR ROCKWALL
TX, 75032

RODRIGUEZ MARICELA
456 WAYNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ ANTONIO & ANNA MARIA
456 WAYNE DR <Null>
ROCKWALL, TX 75032

ORELLANA JUAN C & MARICELA
457 CHRIS DR ROCKWALL
TX, 75032

GARCIA JOSE NOE
457 WAYNE DR ROCKWALL
TX, 75032

MARTINEZ MARIO CRUZ
461 YVONNE DR <Null>
ROCKWALL, TX 75032

RANGEL LUIS GERARDO AND
MARIA DEL ROCIO ZARATE
462 CHRIS DR ROCKWALL
TX, 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
462 YVONNE DR ROCKWALL
TX, 75032

YANES MARIA TERESA
465 CHRIS DR ROCKWALL
TX, 75032

MORENO LUIS NOE
466 WAYNE DR ROCKWALL
TX, 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
470 YVONNE DR ROCKWALL
TX, 75032

SOTO DOMINGO
471 WAYNE DR <Null>
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA
471 YVONNE DR ROCKWALL
TX, 75032

LICEA DELFINO
472 LYNNE DR ROCKWALL
TX, 75032

CASTILLO IGNACIO
473 LYNNE DR ROCKWALL
TX, 75032

MORENO ORALIA SOLIS
474 BASS ROAD <Null>
ROCKWALL, TX 75032

MORENO LUIS NOE
474 BASS ROAD <Null>
ROCKWALL, TX 75032

TORRES ALONSO
474 CHRIS DR ROCKWALL
TX, 75032

NEVAREZ LUIS E & ALMA
479 CHRIS DR <Null>
ROCKWALL, TX 75032

CASTILLO IGNACIO
481 LYNNE DR <Null>
ROCKWALL, TX 75032

CASTILLO IGNACIO
481 LYNNE DR <Null>
ROCKWALL, TX 75032

ALONSO ELEASAR &
BENITO GAMEZ
482 WAYNE DR <Null>
ROCKWALL, TX 75032

GUEVARA MARIA
482 YVONNE DRIVE <Null>
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS
MARTINEZ-AGUILAR
485 YVONNE DR <Null>
ROCKWALL, TX 75032

SMITH HELEN A
486 CHRIS DR <Null>
ROCKWALL, TX 75032

PAYNE MILDRED IRENE
487 WAYNE DR <Null>
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
488 WAYNE DR ROCKWALL
TX, 75032

CASTRO MATEO IBARRA & ADELA SIERRA
IBARRA
490 LYNNE DRIVE <Null>
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA
491 CHRIS DR <Null>
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
491 YVONNE DR ROCKWALL
TX, 75032

DIAZ JOSE LUIS
494 LYNNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND
FANIA GARCIA
494 RUSSELL <Null>
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
496 CHRIS DR ROCKWALL
TX, 75032

LICEA JOSE DELFINO
498 LYNNE DR ROCKWALL
TX, 75032

PARRISH KENNETH LEE JR AND
JUDITH GAIL WOOD
499 WAYNE DR <Null>
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI
500 YVONNE DR <Null>
ROCKWALL, TX 75032

VELASQUEZ LORENA
501 CHRIS DRIVE <Null>
ROCKWALL, TX 75033

DIAZ MARIA L FLORES
503 LYNNE DR <Null>
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
506 CHRIS DR ROCKWALL
TX, 75032

MARTINEZ PEDRO & MARIA CELIA
506 RUSSELL DR <Null>
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN
509 YVONNE DR <Null>
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT <Null>
GARLAND, TX 75043

SILVA JORGE & ELIZABETH
513CHRISDR ROCKWALL
TX, 75032

DIAZ JUANA
514 YVONNE DR ROCKWALL
TX, 75032

SANCHEZ GERARDO RAFAEL AND LILIA
GALLEGOS
516 CHRIS DR <Null>
ROCKWALL, TX 75032

MARTINEZ DAVID
516 WAYNE DR <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS
517 LYNNE DR ROCKWALL
TX, 75032

GRANADOS CASTULO & NANCY
518 RUSSELL DR ROCKWALL
TX, 75032

FLORES JAIME W &
MARLENE CASTRO
520 LYNNE DR <Null>
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
521 YVONNE DR ROCKWALL
TX, 75032

GANUS HUGH
524 SESAME DR <Null>
MESQUITE, TX 75149

VASQUEZ JAVIER AND LILIANA
524 YVONNE DR <Null>
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ
525 WAYNE DR <Null>
ROCKWALL, TX 75032

SILVA BERTHA
528 CHRIS DR ROCKWALL
TX, 75032

DIAZ MANUEL & ROSARIO
528 WAYNE DR <Null>
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR <Null>
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR <Null>
ROCKWALL, TX 75032

SAFRA PROPERTIES INC
531 YVONNE DR ROCKWALL
TX, 75032

ANAYA JUAN C & RAUL
532 LYNNE DR ROCKWALL
TX, 75032

MARTINEZ MARIO CRUZ
534 YVONNE DR ROCKWALL
TX, 75032

RETANA JUAN &
YENY RUBIO
535 CHRIS DR <Null>
ROCKWALL, TX 75032

STRICKLAND TARA
536 WAYNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ LUIS ENRIQUE VALDEZ
538 LYNNE DR ROCKWALL
TX, 75032

RODRIGUEZ ROMAN
540 CHRIS DR <Null>
ROCKWALL, TX 75032

DELGADO JUAN E & MARIA L
541 EVANS RD <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS
541 LYNNE DR ROCKWALL
TX, 75032

ALVARADO HERALD DAVID CORDOVA
544 YVONNE DR ROCKWALL
TX, 75032

ANDREWS TRESIA AND KENNETH
547 WAYNE DR <Null>
ROCKWALL, TX 75032

ARRIAGA GREGORIA
548 WAYNE ST <Null>
ROCKWALL, TX 75032

THELWELL LINDA
551 LYNNE DR ROCKWALL
TX, 75032

GONZALEZ LUIS ENRIQUE VALDEZ
552 LYNNE DRIVE <Null>
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
703 T L TOWNSEND DR <Null>
ROCKWALL, TX 75087

RAMIREZ MAXIMINO SIERRA
774 EUGENE RD <Null>
MEMPHIS, TN 38116

HUERTA JOSE AND MARIA
848 SMITH ACRES DR <Null>
ROYSE CITY, TX 75189

RANGEL LUIS GERARDO AND
MARIA DEL ROCIO ZARATE
907 WILLOW RIDGE <Null>
ROCKWALL, TX 75032

HERRERA JUAN E
926 BLACKLAND RD <Null>
ROYSE CITY, TX 75189

SAFRA PROPERTIES INC
PO BOX 69 <Null>
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-007: SUP for a Residential Infill at 514 Yvonne Drive

Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 15, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 21, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Gamez
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 21, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-007: SUP for a Residential Infill at 514 Yvonne Drive

Please place a check mark on the appropriate line below:

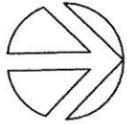
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

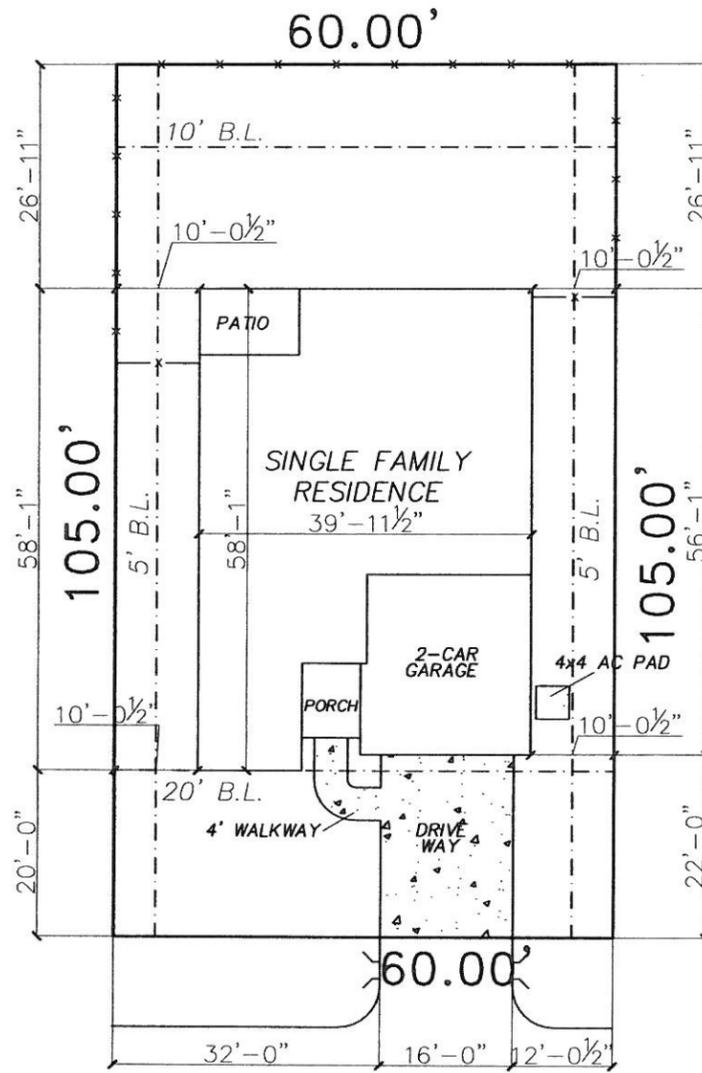
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NORTH
SCALE: 1' = 20'-0"

AREA CALCULATIONS	
LOT AREA	6300 SF
SLAB COVERAGE	2252 SF
% BUILDING COVERAGE	35.7 % COVERAGE
TOTAL IMP. COVERAGE	2670 SF
% TOTAL IMP. COVERAGE	42.4 % COVERAGE
DRIVEWAY COVERAGE	351 SF
% DRIVEWAY COVERAGE	5.6 % COVERAGE
WALKWAY COVERAGE	51 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4'X4' A.C. PAD COVERAGE	16 SF
% 4'X4' A.C. PAD COVERAGE	0.25 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	455 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	183 SF
LOT FRONTAGE	64.7 SF
FENCE	143 LINEAR SF

*THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



YVONNE DRIVE

CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

LEGEND	
	- DRAINAGE FLOW
	- PROPOSED FENCE
	- EXISTING FENCE
	- CURLEX
	- RETAINING WALL
	- REQUIRED TREE PLANTING
	- REQUIRED BUSH

B.L. - BUILDING LINE	
D.E. - DRAINAGE EASEMENT	
P.A.E. - PEDESTRIAN ACCESS EASEMENT	
S.S.E. - SANITARY SEWER EASEMENT	
T.E. - TRANSFORMER EASEMENT	
U.E. - UTILITY EASEMENT	
W.M.E. - WALL MAINT. EASEMENT	
M.E. - MAINTENANCE EASEMENT	
V.E. - VISIBILITY EASEMENT	
	- EXPOSED AGGREGATE CONCRETE

BUILDER: H ENTERPRISE	DATE: 10/07/2020	DDS GROUP
ADDITION: ROCKWALL	DRAWN BY: DDSG-AA	
ADDRESS: 514 YVONNE DR.	CITY: ROCKWALL	PLOT PLAN SP1
LOT: 1096 BLOCK: N/A	PLAN: N/A ELEVATION: N/A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. FLATWORK IS ONLY A REPRESENTATION.	

CALL BEFORE YOU DIG

TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.

CAUTION - CONTRACTOR'S NOTE

THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.



10/30/2020
J.S.B. Engineer
F-20338

LEGEND

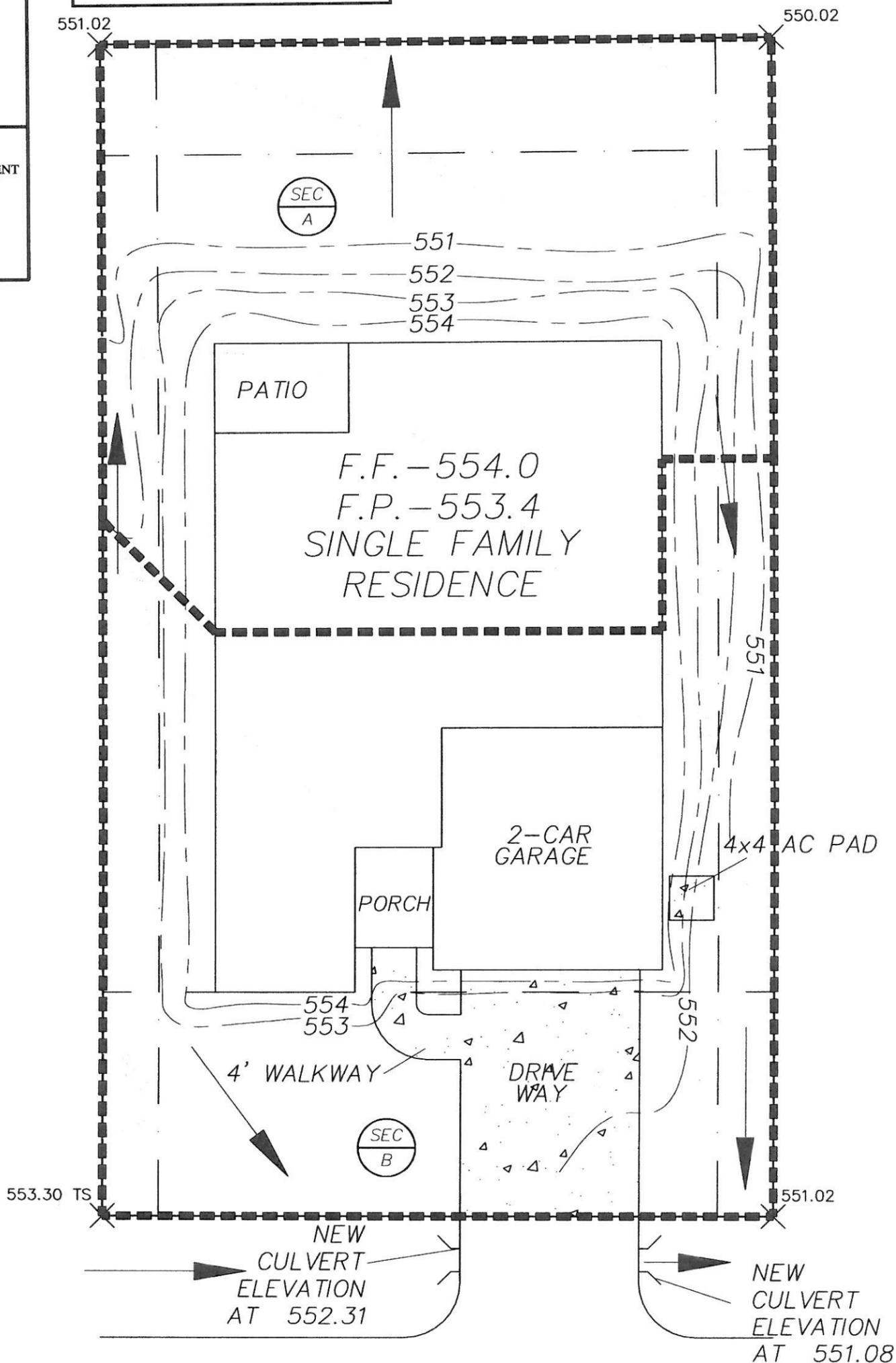
- - PROPOSED DRAINAGE
- - PROPOSED FENCE
- - EXISTING FENCE
- ▨ - CURLEX
- - RETAINING WALL
- - - - - EXISTING GRADING
- 625- - PROPOSED GRADING

- L.E. - LANDSCAPE EASEMENT
- D.E. - DRAINAGE EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- T.E. - TRANSFORMER EASEMENT
- U.E. - UTILITY EASEMENT
- W.M.E. - WALL MAINT. EASEMENT
- M.E. - MAINTENANCE EASEMENT
- B.E. - BUFFERING EASEMENT

SPOT ELEVATION KEY:

- 102,000.0 X = SPOT ELEVATION
- TP - TOP OF SWALE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

CULVERT PIPE CALCS				
SECTION	HARD SURFACE	RAINFALL INTENSITY	CONTRIBUTING AREA	CFS
A	0.500	9.800	0.068	0.333200
B	0.500	9.800	0.076	0.372400



NORTH

SCALE: 1" = 10'-0"

YVONNE DRIVE

ADDRESS: 514 YVONNE DR.

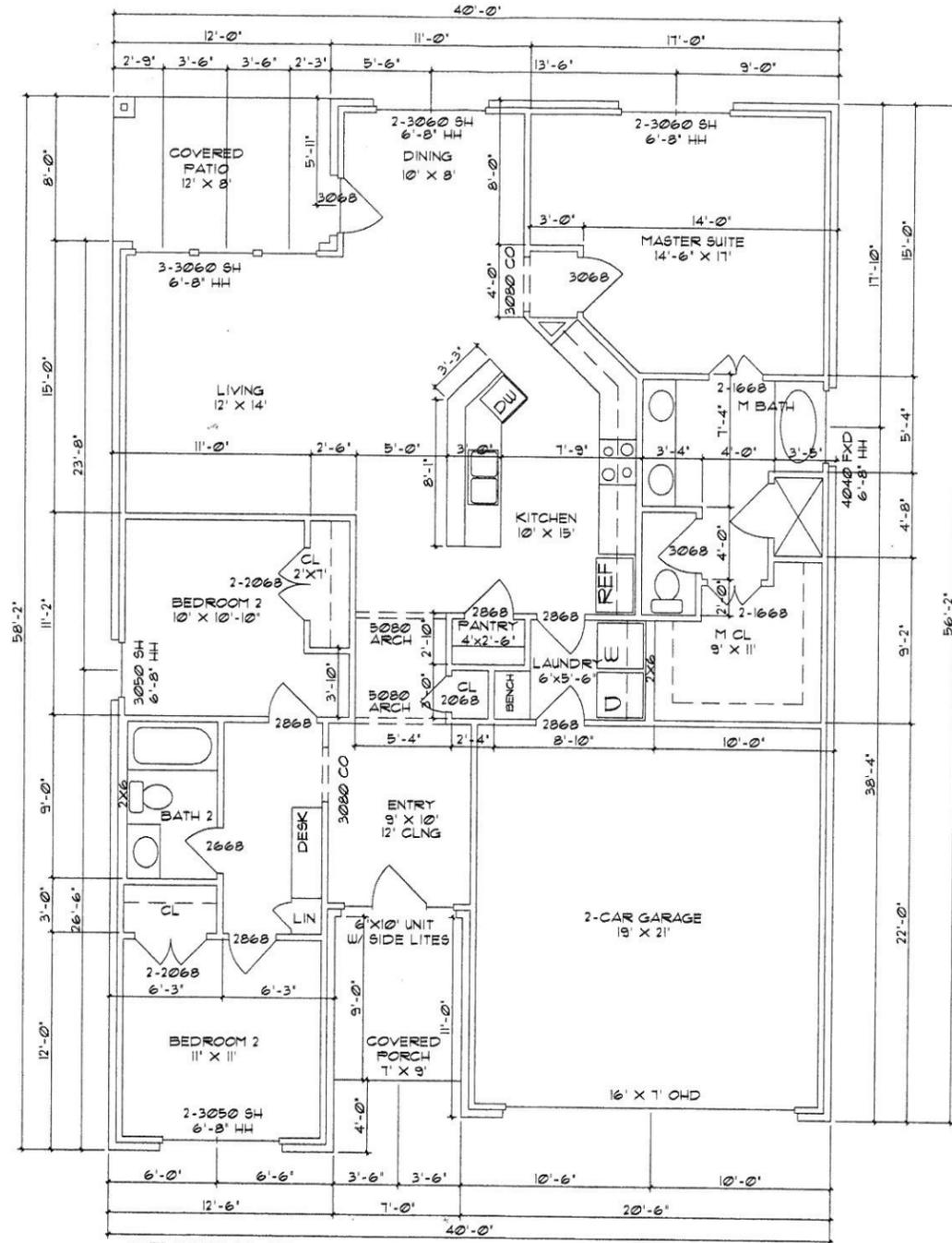
ROCKWALL, TX.

DRAWN BY: DDSG

DATE: 12-17-2020

DDS GROUP

GRADING PLAN



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

2030 SH
AT DORMER

AREAS	
FIRST FLOOR LIVING	1663#
2-CAR GARAGE	436#
COVERED PORCH	63#
COVERED PATIO	96#
TOTAL AREA	2258#



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSDGLUS 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

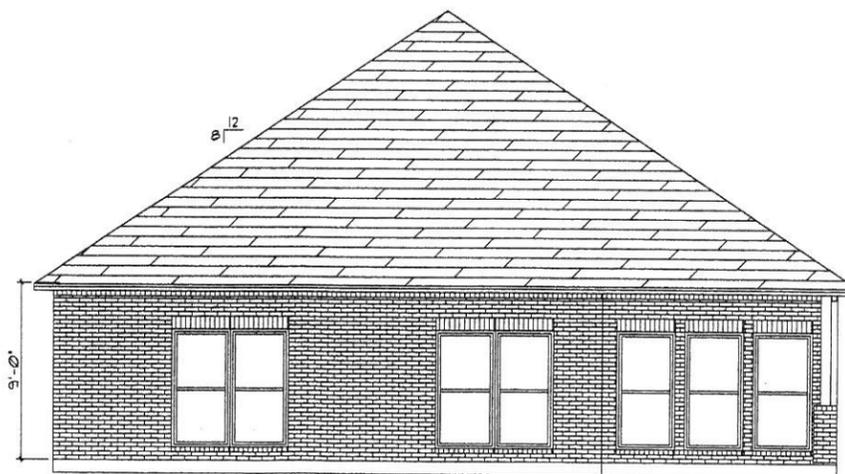
514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:
A

SHEET NUMBER:
A2



③ FRONT ELEVATION
SCALE: 1/4" = 1'-0"



② REAR ELEVATION
SCALE: 1/4" = 1'-0"

DDS GROUP

DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSG.US 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

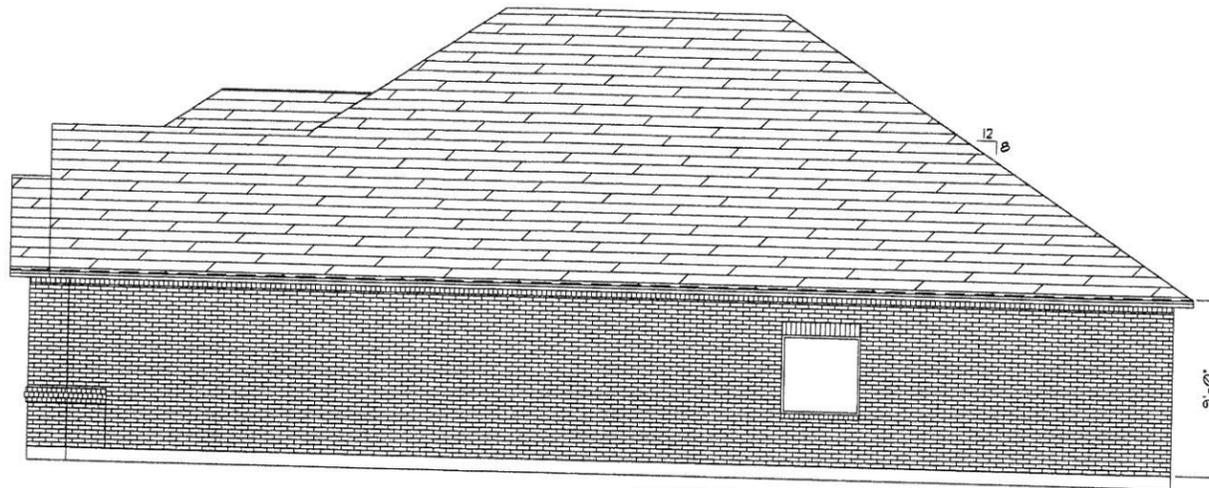
514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:

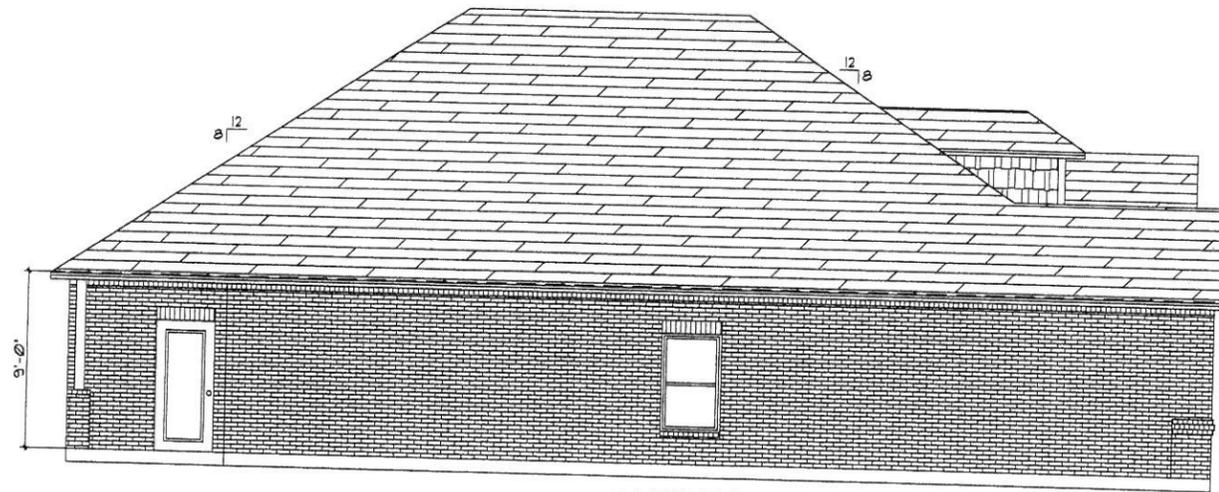
A

SHEET NUMBER:

A3



① RIGHT ELEVATION
SCALE: 1/4"=1'-0"



③ LEFT ELEVATION
SCALE: 1/4"=1'-0"



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.US 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:

A

SHEET NUMBER:

A4

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1096, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 1096, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF APRIL, 2022.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 21, 2022

2nd Reading: April 4, 2022

Exhibit 'A'
Location Map and Survey

Address: 514 Yvonne Drive

Legal Description: Lot 1096, Rockwall Lake Estates #2 Addition

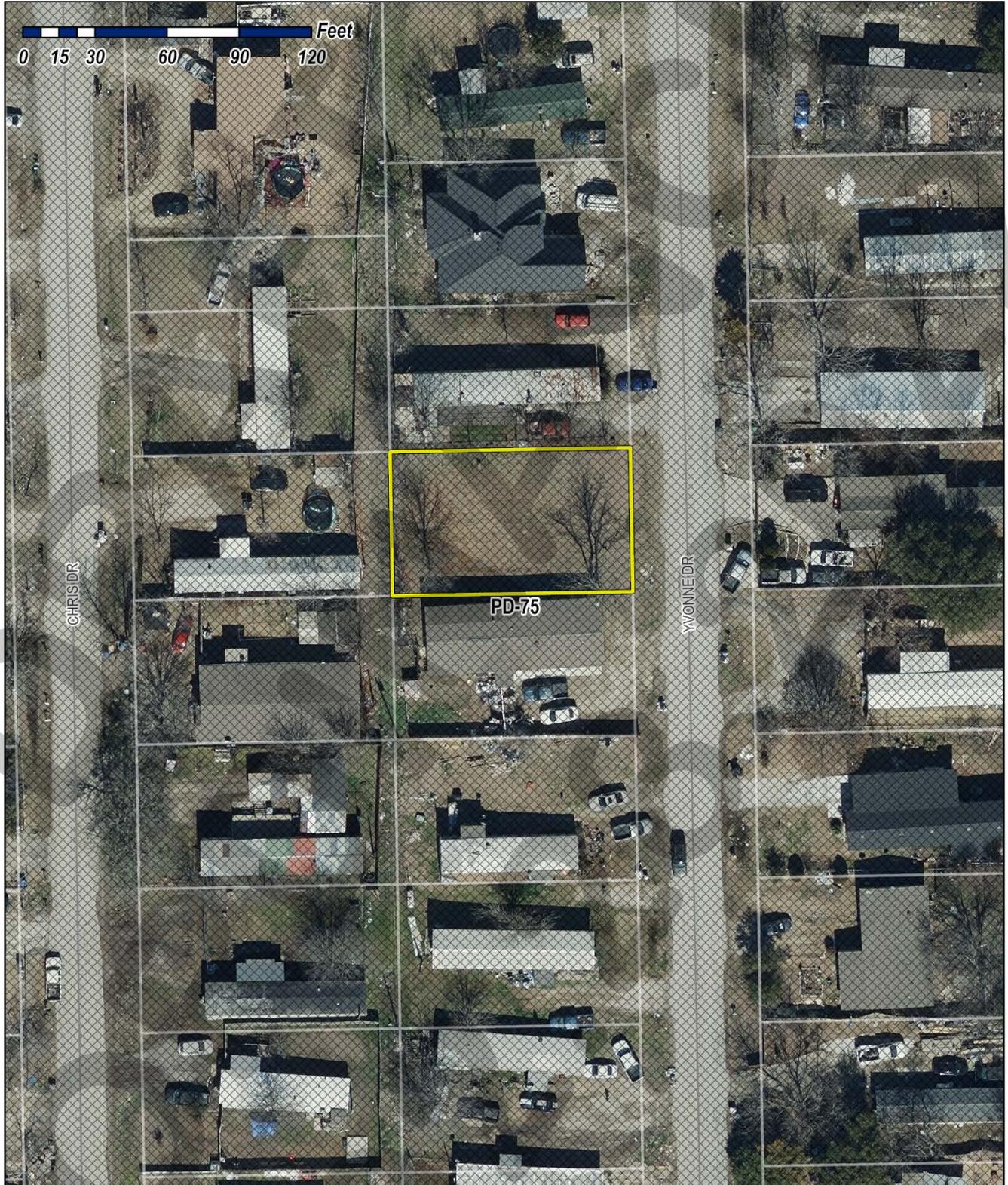
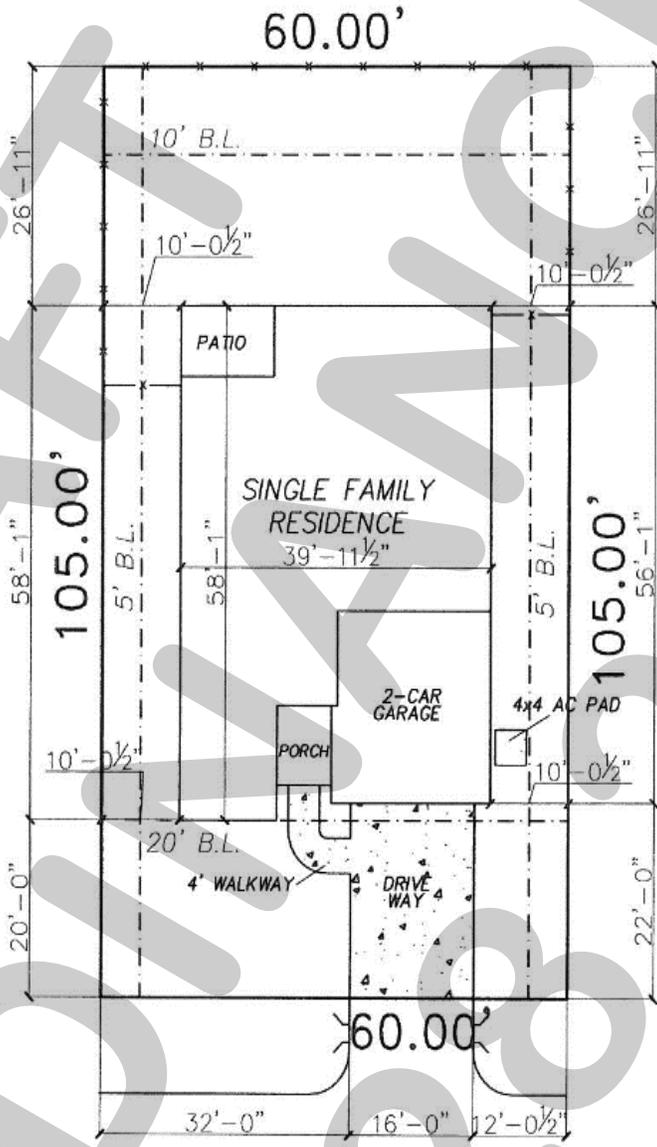
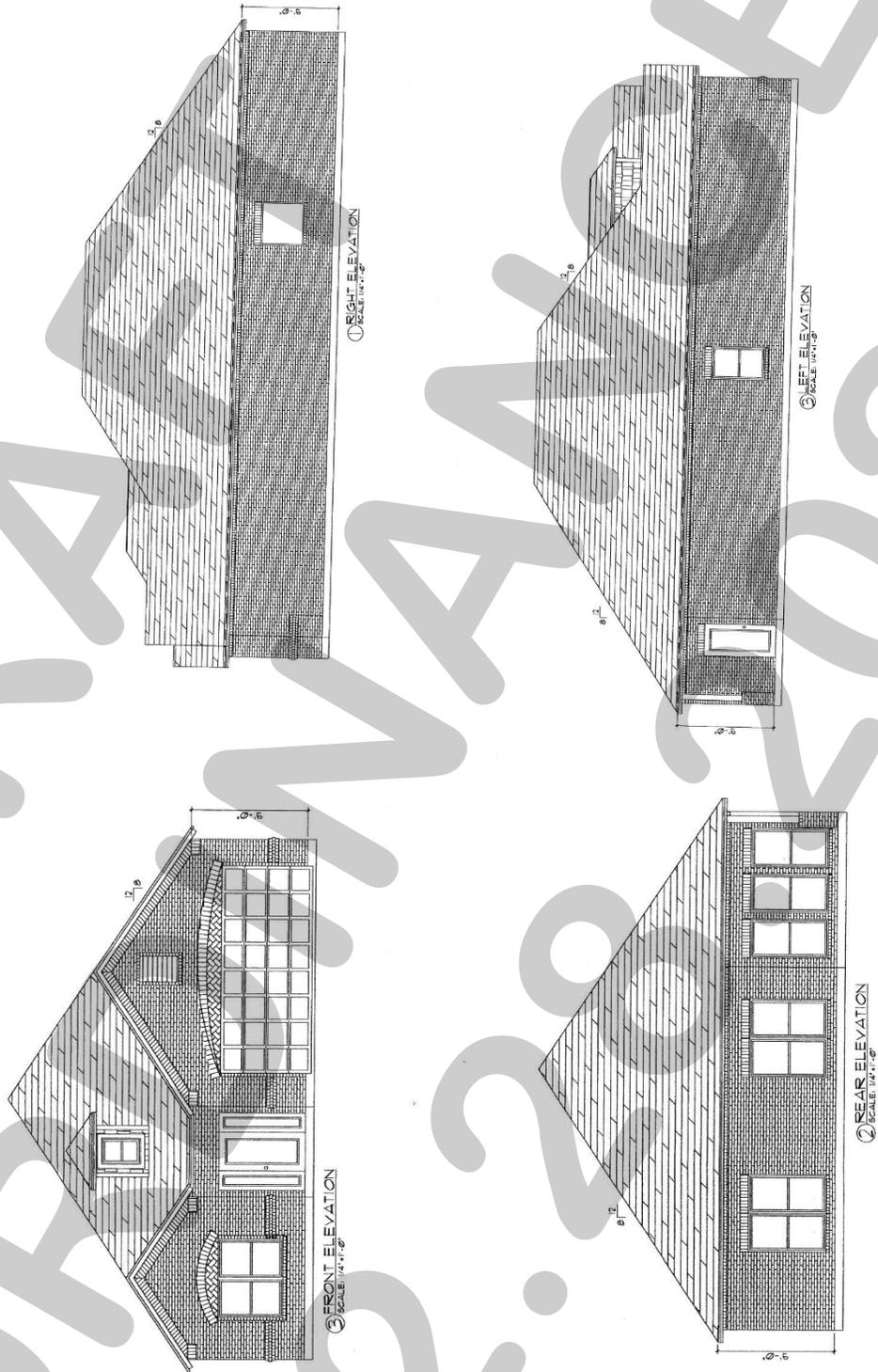


Exhibit 'B':
Residential Plot Plan



YVONNE DRIVE

Exhibit 'C':
Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: Z2022-008
PROJECT NAME: SUP for Residential Infill at 7106 Odell Avenue
SITE ADDRESS/LOCATIONS: 7106 ODELL AVE, ROCKWALL, 75087

CASE MANAGER: Bethany ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Valerie Valdez of DDS Group on behalf of Blanca Canales of JCK Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.3990-acre parcel of land identified as Lot 7, Block A, Heritage Heights Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 7106 Odell Avenue, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	02/25/2022	Approved w/ Comments

02/25/2022: Z2022-008; Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for 7106 Odell Avenue
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.3990-acre parcel of land identified as Lot 7, Block A, Heritage Heights Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 7106 Odell Avenue.
- I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. March 7, 2022 is the deadline to have all comments; please provide staff revised plans before March 7, 2022 to ensure all comments are addressed.
- M.3 For reference, include the case number (Z2022-008) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is the last vacant parcel located within the Heritage Heights Subdivision, which consists of 78 lots and was established on February 1, 1970.
- I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."
- I.6 In this case, the proposed request appears to meet all of the requirements for Residential Infill Adjacent to an Established Subdivision, and the zoning requirements for a property in a Single-Family 10 (SF-10) District.
- M.7 Please review the attached Draft Ordinance prior to the February 28, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than March 7, 2022. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.
- I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on February 28, 2022.
- I.9 The projected City Council meeting dates for this case will be March 21, 2022 (1st Reading) and April 4, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------

ENGINEERING	Amy Williams	02/24/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/25/2022	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments
02/22/2022: No comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 27072-008

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 7106 Odell Avenue

SUBDIVISION Heritage Heights Addition

LOT 7

BLOCK A

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING X

CURRENT USE None

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE 17,102 sf

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Jck Concrete Inc.

APPLICANT Design & Drafting Serv Group

CONTACT PERSON Blanca Canales

CONTACT PERSON Valerie Valdez

ADDRESS P.O. Box 311

ADDRESS 123 W. Main St

CITY, STATE & ZIP Fate TX. 75132

CITY, STATE & ZIP Grand Prairie, TX 75052

PHONE 214 803 9043

PHONE 469 999-0800

E-MAIL blanca@jckcorporate.net

E-MAIL Valerie@ddsgrp.us

NOTARY VERIFICATION [REQUIRED]

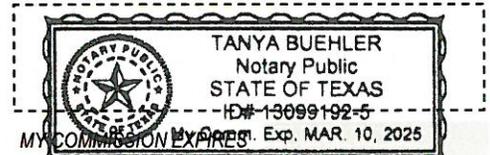
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Blanca Canales [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

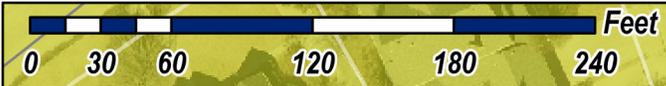
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF February, 2022

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





Case Location Map = 
Z2022-008- SUP for Residential Infill
at 7106 Odell Avenue



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

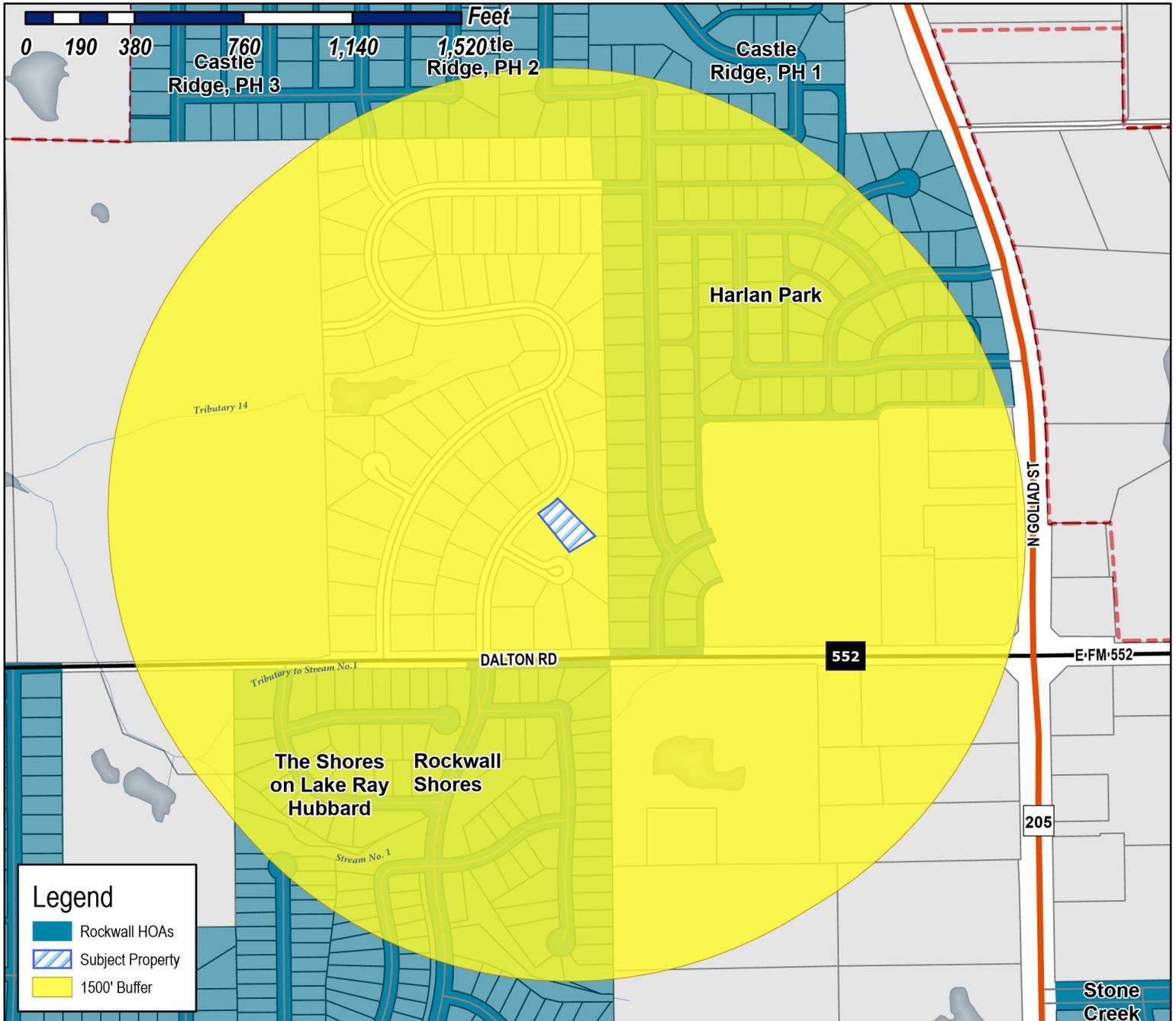




City of Rockwall

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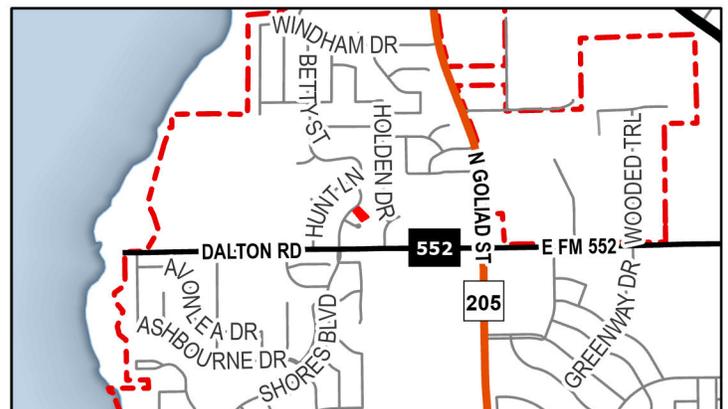
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Case Number: Z2022-008
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 7106 Odell Avenue

Date Saved: 2/17/2022

For Questions on this Case Call (972) 771-7745

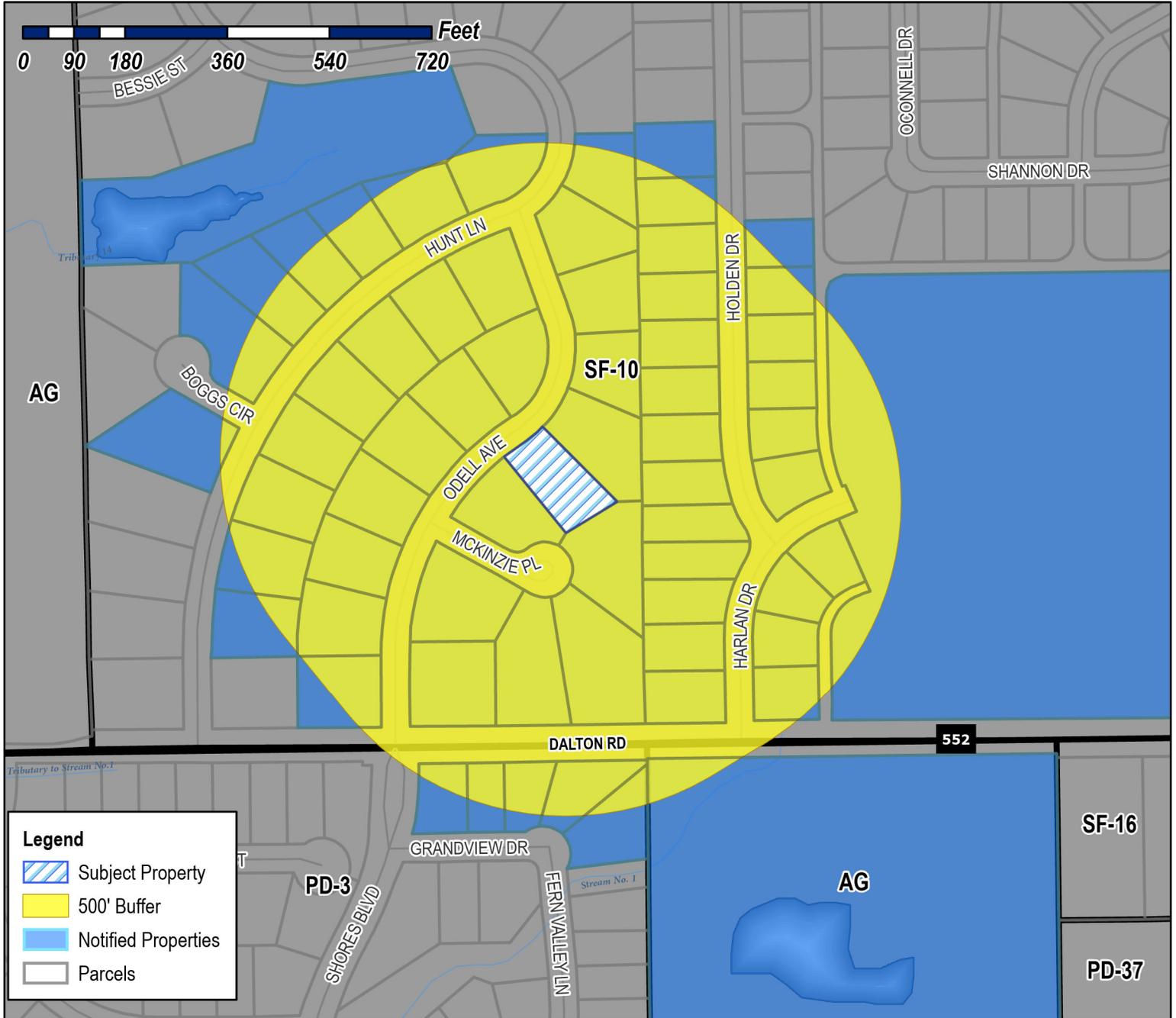




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Case Address: 7106 Odell Avenue

Date Saved: 2/17/2022
 For Questions on this Case Call (972) 771-7745



HOLMES NILES W & LINDA F
122 JAMES DR
ROCKWALL, TX 75032

YANG BO AND
YUE HU
1265 GRANDVIEW DR
ROCKWALL, TX 75087

ARDEN JOSEPH R AND
LISA M STEWART ARDEN
1275 GRANDVIEW DR
ROCKWALL, TX 75087

GONZALEZ FERNANDO
1285 GRANDVIEW
ROCKWALL, TX 75087

ARDEN JOSEPH R AND
LISA M STEWART ARDEN
1292 HIGHLAND DR
ROCKWALL, TX 75087

VENETO HOLDINGS LLC
1295 GRANDVIEW DR
ROCKWALL, TX 75087

CAMPOS BENJAMIN & TRACY
139 WAGON TRAIL
ROCKWALL, TX 75032

HOLLAND REBECCA E AND PAUL
2534 CR 3419
HAWKINS, TX 75765

HODGES BARBARA
2800 FERN VALLEY LANE
ROCKWALL, TX 75087

ROCKWALL I S D
350 DALTON ROAD
ROCKWALL, TX 75087

CARTER RICHARD W AND JODY
406 MCKINZIE PL
ROCKWALL, TX 75087

CAMPOS BENJAMIN & TRACY
408 MCKINZIE PL
ROCKWALL, TX 75087

MASON KEITH AND
ANN MARIE MASON
410 MCKENZIE PLACE
ROCKWALL, TX 75087

TELLKAMP JOHN P AND RAQUEL
505 BOGGS CIR
ROCKWALL, TX 75087

YANG BO AND
YUE HU
707-8633 CAPSTAN WAY
RICHMOND CANADA, 98029

BULLARD JUSTIN
JOLIE DAY
7100 HARLAN DRIVE
ROCKWALL, TX 75087

7100 ODELL
ROCKWALL, TX 75087

SCHULZE DAVID J & CYNTHIA K
7101 HARLAN DR
ROCKWALL, TX 75087

DOOLEY BRIAN AND MICHELLE
7101 ODELL AVE
ROCKWALL, TX 75087

ANDERSON PATRICK STEVEN & ROSEANNE
7102 HARLAN DR
ROCKWALL, TX 75087

FRINK JOSEPH B & DIANA G
7102 HUNT LN
ROCKWALL, TX 75087

LAWRENCE KIMBERLY DALE LIVING TRUST
KIMBERLY DALE LAWRENCE TRUSTEE
7102 ODELL AVENUE
ROCKWALL, TX 75087

MCKINNEY TERRY L
7103 ODELL AVE
ROCKWALL, TX 75087

DOUPHRATE SHARON K
7103 HARLAN DR
ROCKWALL, TX 75087

PATLAN MARIO JR AND AMY
7104 HARLAN DR
ROCKWALL, TX 75087

KELSO JAMES P & BLYSON R
7104 HUNT LN
ROCKWALL, TX 75087

LUNA ERIC AND ANNABELL
7104 ODELL AVENUE
ROCKWALL, TX 75087

LOMBARD THOMAS E AND PAULA J
7105 HARLAN DRIVE
ROCKWALL, TX 75087

DREXLER PAUL E & TAMRA L
7105 ODELL AVE
ROCKWALL, TX 75087

HAMMERS MARIE
7106 HARLAN DRIVE
ROCKWALL, TX 75087

MCWHIRTER SATHINA ANJEANNETTE
7106 HUNT LN
ROCKWALL, TX 75087

JCK CUSTOM HOMES LLC
7106 ODELL AVE
ROCKWALL, TX 75087

SHORES SUSAN RUTH
7107 HARLAN DRIVE
ROCKWALL, TX 75087

CEGELSKI ERIC & ASHLEY DICKENS
7107 ODELL AVENUE
ROCKWALL, TX 75087

ROMERO JOE JR
7108 HUNT LN
ROCKWALL, TX 75087

SCHULTZ FREDERICK JR AND LORI
7108 ODELL AVE
ROCKWALL, TX 75087

THOMPSON THOMAS J &
PAIGE C TILEY
7109 HOLDEN DR
ROCKWALL, TX 75087

ROMANS STEPHEN WAYNE & BROOK CONAWAY
7109 ODELL AVENUE
ROCKWALL, TX 75087

DEWEES JAMES R & CLOMA J
7109 HUNT LN
ROCKWALL, TX 75087

GREENLEY MARY E TRUSTEE
MARY E GREENLEY REVOC LIVING TRUST
7110 HOLDEN DR
ROCKWALL, TX 75087

CRISWELL BARBARA GORE
7110 HUNT LN
ROCKWALL, TX 75087

VEAZEY KERMIT L JR AND REBECCA M
7110 ODELL AVENUE
ROCKWALL, TX 75087

SMITH DANIEL C AND KASIE I
7111 HUNT LANE
ROCKWALL, TX 75087

COURSON MARTHA SUE
7111 ODELL AVE
ROCKWALL, TX 75087

CORY CLAYTON M & KATHLEEN A
7111 HOLDEN DR
ROCKWALL, TX 75087

EWALD PATRICIA
7112 HUNT LN
ROCKWALL, TX 75087

MCKNIGHT BRIAN KEITH AND CHRISTI A
7112 ODELL AVENUE
ROCKWALL, TX 75087

HOLMES NILES W & LINDA F
7112 HOLDEN DR
ROCKWALL, TX 75087

JONES BRADLEY R
7113 HOLDEN DR
ROCKWALL, TX 75087

KOREN FAMILY TRUST
SHAHAR KOREN AND ORLY KOREN- COTRUSTEES
7113 HUNT LANE
ROCKWALL, TX 75087

HILL HAROLD RAYBURN & NANCY J
7113 ODELL AVE
ROCKWALL, TX 75087

CIMO CAMILLE AND
CHARLES CATTO CHASTAIN JR
7114 HOLDEN DR
ROCKWALL, TX 75087

COUCH PHILLIP R & PATTI J
7114 HUNT LN
ROCKWALL, TX 75087

STEPHENSON RONNIE R & JOHNNA
7114 ODELL AVE
ROCKWALL, TX 75087

LLEWELLYN BRIAN & SUE
7115 HUNT LAND
ROCKWALL, TX 75087

TAYLOR ROBERT C & LINDA J
7115 HOLDEN DR
ROCKWALL, TX 75087

PARISH DANNY JOE & MARI KAY
7116 HOLDEN DR
ROCKWALL, TX 75087

KENNEALY JENNIFER L AND DANIEL R
7116 HUNT LN
ROCKWALL, TX 75087

WORMSBAKER JOSHUA M AND DAWN M
7117 HOLDEN DRIVE
ROCKWALL, TX 75087

COOK JOHN M
7117 HUNT LN
ROCKWALL, TX 75087

VAUGHN FLOSSIE L &
CAROLYN WILLIS COX
7118 HOLDEN DR
ROCKWALL, TX 75087

BIGHAM BRIAN GARRETT & COURTNEY ANN
7118 HUNT LN
ROCKWALL, TX 75087

ROBERTSON RYAN L & MARCI L
7119 HOLDEN DR
ROCKWALL, TX 75087

CITY OF ROCKWALL
7119 HUNT LN
ROCKWALL, TX 75087

BLYTHE PAUL M
7120 HOLDEN DR
ROCKWALL, TX 75087

HOLLAND REBECCA E AND PAUL
7121 HOLDEN DR
ROCKWALL, TX 75087

WALL CHRISTOPHER D AND ROBIN A
7123 HOLDEN DR
ROCKWALL, TX 75087

CORY CLAYTON M & KATHLEEN A
7125 HOLDEN DR
ROCKWALL, TX 75087

CORY CLAYTON M & KATHLEEN A
7125 HOLDEN DR
ROCKWALL, TX 75087

CITY OF ROCKWALL
7131HUNT LN
ROCKWALL, TX 75087

PETERSEN SANDRA E
803 DALTON RD
ROCKWALL, TX 75087

VENETO HOLDINGS LLC
P. O. BOX 2379
CHANDLER, AZ 85244

TAYLOR ROBERT C & LINDA J
PO BOX 236
ROCKWALL, TX 75087

DOUPHRADE SHARON K
PO BOX 2561
ROCKWALL, TX 75087

JCK CUSTOM HOMES LLC
PO BOX 311
FATE, TX 75132

DEWEES JAMES R & CLOMA J
PO BOX 609
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-008: SUP for a Residential Infill at 7106 Odell Avenue

Hold a public hearing to discuss and consider a request by Valerie Valdez of DDS Group on behalf of Blanca Canales of JCK Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.3990-acre parcel of land identified as Lot 7, Block A, Heritage Heights Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 7106 Odell Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 15, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 21, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 21, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

— . . . PLEASE RETURN THE BELOW FORM — . . .

Case No. Z2022-008: SUP for a Residential Infill at 7106 Odell Avenue

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [text box]
Address: [text box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE DONE IN STRICT CONFORMANCE OF THESE PLANS AND ALL APPLICABLE MUNICIPAL CODES AND STANDARDS.
2. ALL SITE PAVING TO BE DONE IN ACCORDANCE WITH THE APPROVED PAVING PLAN BY THE CITY FOR THE PROJECT.
3. ALL SITE GRADING AND SUBGRADE PREPARATION SHALL BE DONE IN ACCORDANCE TO THE RECOMMENDATIONS AS OUTLINED IN THE SOILS REPORT FOR THE SITE.
4. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF PERMITTING. AT THE REQUEST OF THE CLIENT, GRADING PLAN WAS ASKED TO BE PREPARED BASED ON PUBLIC TOPOGRAPHIC INFORMATION OBTAINED FROM NCTCOG MAP. OKM ENGINEERING, INC. CANNOT BE HELD LIABLE FOR ANY INCONSISTANCIES ASSOCIATED WITH THE USAGE OF SUCH TOPOGRAPHIC MAP. CONTRACTOR SHALL ENGAGE THE SERVICES OF A REGISTERED PROFESSIONAL SURVEYOR TO VERIFY ALL SPOT ELEVATIONS REFLECTED ON THIS DRAWING, INCLUDING THE TOP OF CURB, TOP OF ASPHALT OR PAVEMENT AND EXISTING GRADES. DESIGN ENGINEER SHALL BE CONTACTED IF THERE IS ANY INFORMATION OBTAINED FROM THE ABOVE MENTIONED SURVEY THAT IN THE OPINION OF THE CONTRACTOR WOULD AFFECT THE RECOMMENDED DESIGN ON THIS PLAN FOR CLARIFICATION, PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.
5. THE CONTRACTOR SHALL MEET OSHA STANDARDS FOR TRENCH SAFETY.
6. THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. IN THE EVENT OF ANY CONFLICT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. MINOR ADJUSTMENTS OF FINISHED GRADES TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER.
7. PRIOR TO PLACING FILL, THE SUBGRADE SHALL BE SCARIFIED TO A DEPTH OF SIX INCHES AND RECOMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR AT OR SLIGHTLY ABOVE THE MOISTURE CONTENT AS DETERMINED BY ASTM D-698. FILL MATERIAL SHALL BE PLACED IN SIX TO NINE INCH LIFTS AND COMPACTED IN A SIMILAR MANNER.
8. COLLECT ROOF STORMWATER AND DISCHARGE WITH ROOF PERIMETER DRAIN AND DOWN SPROUT THROUGH THE EAST SIDE OF THE BLDG.
9. MAXIMUM EARTH GRADE = 25%. MINIMUM EARTH GRADE = 1%.
10. NO TREE SHALL BE PLANTED WITHIN 20 FEET OF THE BUILDING FOUNDATION.
11. SERVICES OF STRUCTURAL ENGINEER MUST BE ENGAGED FOR DESIGN OF RETAINING WALL WITH OVER FOUR FEET IN HEIGHT, BASED ON ALL HEIGHT AS MEASURED FROM BOTTOM OF WALL (B.W.) TO TOP OF WALL (T.W.).

EXISTING UTILITY NOTES:

1. THE LOCATION OF ALL UNDERGROUND FACILITIES AS INDICATED ON THE PLANS ARE TAKEN FROM PUBLIC RECORDS. OKM ENGINEERING, INC. (OKM) ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SUCH RECORDS AND DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ARE SHOWN OR ARE LOCATED PRECISELY AS INDICATED.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
3. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND FACILITIES FOUND.
4. NOTIFY IF ANY UNDERGROUND UTILITIES ARE NOT IN THE LOCATIONS INDICATED ON THESE PLANS (HORIZONTALLY AND VERTICALLY) OR CONFLICT WITH ANY PROPOSED IMPROVEMENTS ASSOCIATED WITH THESE PLANS.
5. ANY EXISTING UTILITY APPURTENANCES (MH, VALVES, METER BOXES, ETC.) TO BE ADJUSTED TO MATCH THE PROPOSED FINISHED GRADES AS INDICATED ON THESE PLANS. NOTIFY IF THERE IS A PROBLEM MAKING SAID ADJUSTMENTS.

SPOT ELEVATION KEY:

- 102.000.0 - SPOT ELEVATION
- TP - TOP OF SWALE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL



*J.S.B. Engineer
E-20338*



NORTH

SCALE: 1" = 20'-0"

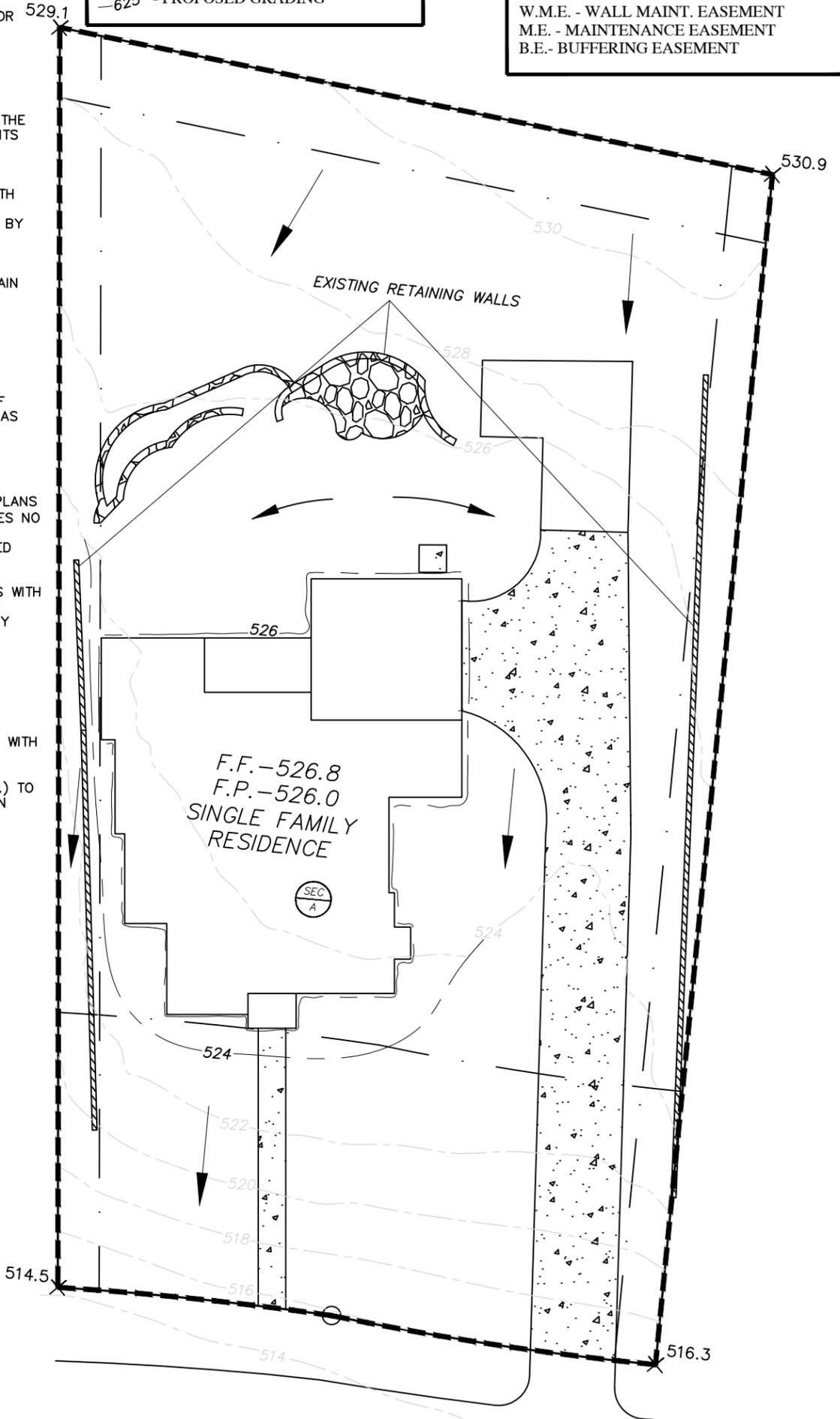
CALL BEFORE YOU DIG
TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.

LEGEND

- > - PROPOSED DRAINAGE
- — — - PROPOSED FENCE
- - EXISTING FENCE
- ▨ - CURLEX
- - RETAINING WALL
- 625 - EXISTING GRADING
- 625 - PROPOSED GRADING

CAUTION - CONTRACTOR'S NOTE
THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.

- L.E. - LANDSCAPE EASEMENT
- D.E. - DRAINAGE EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- T.E. - TRANSFORMER EASEMENT
- U.E. - UTILITY EASEMENT
- W.M.E. - WALL MAINT. EASEMENT
- M.E. - MAINTENANCE EASEMENT
- B.E. - BUFFERING EASEMENT



ODELL AVE
GRADING TYPE "A"

STORM WATER CALCS

SECTION	HARD SURFACE	RAINFALL INTENSITY	CONTRIBUTING AREA	CFS
A	0.500	9.800	0.392	1.920800

ADDRESS: 7106 ODELL AVE.

ROCKWALL, TX.

DRAWN BY: DDSG

DATE: 01-13-2022



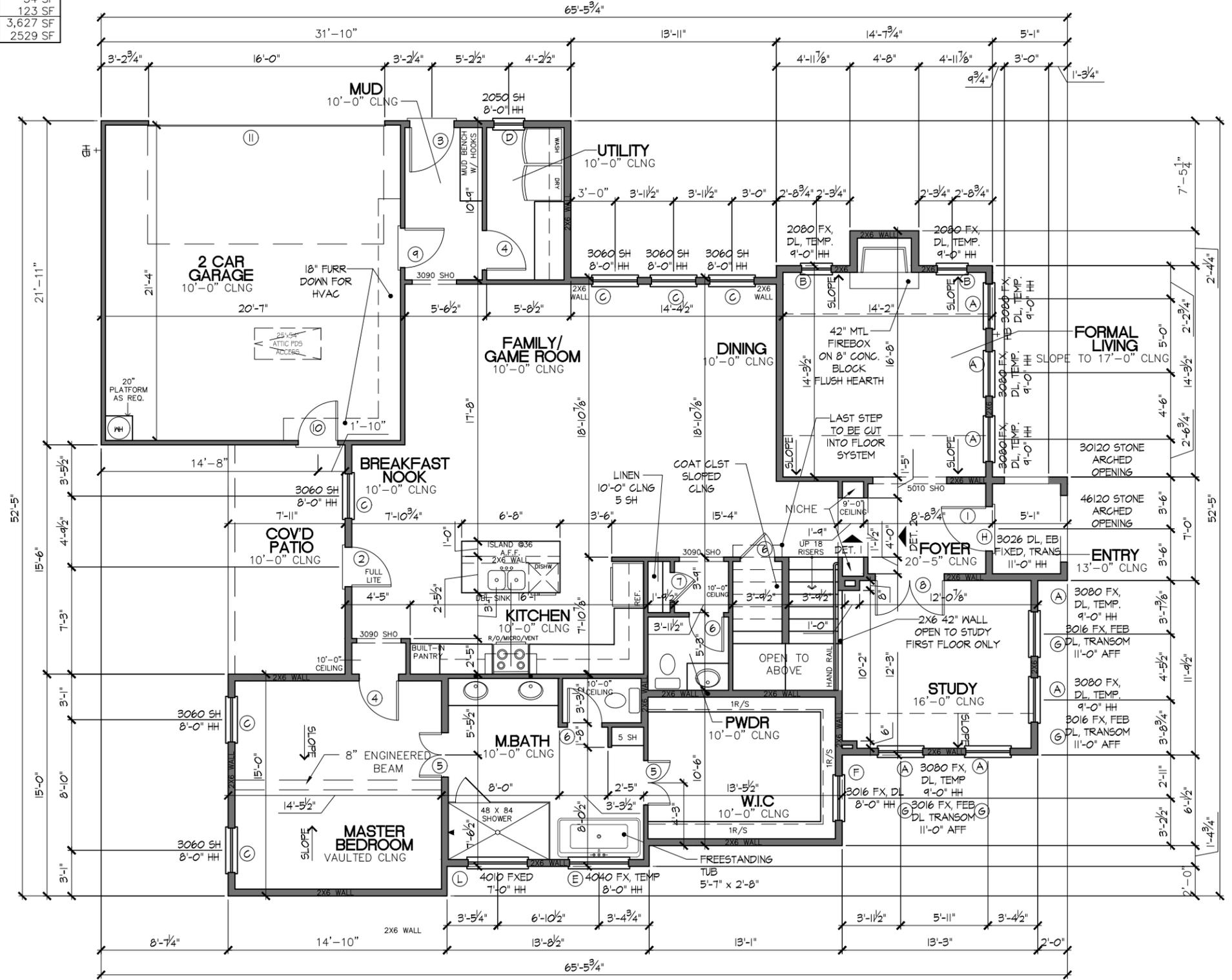
GRADING PLAN

GENERAL NOTES

- REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
- ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
- SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
- DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
- WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
- U.N.O. ALL DOORS TO BE 6"-8."
- U.N.O. ALL ANGLED WALLS TO BE AT 45' DEGREES.
- FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
- ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED) TO BE UNDER TREADS (WATERFALL STYLE).
- U.N.O. HEADER HEIGHTS SHALL BE AS FOLLOWS: 8' PLATE: 6'-10", 9' PLATE: 7'-10", 10' PLATE: 8'-10"
- "CORNERS" AND "T'S" SHALL BE TRUE, NOT CALIFORNIA STYLE.
- ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
- PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
- ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
- PROVIDE FIRE-RATED SHEETROCK AT UTILITY/GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
- SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ 20" DEEP FLUSH HEARTH THAT EXTENDS 12" MIN. BEYOND OPENING AS REQUIRED BY CODE.

SQUARE FOOTAGE TABLE		
AREA	MASONRY	
FIRST FLOOR		1,928 SF
SECOND FLOOR		1,098 SF
TOTAL LIVING		3,026 SF
GARAGE		444 SF
FRONT PORCH		34 SF
COVERED PATIO		123 SF
TOTAL COMBINED		3,627 SF
TOTAL SLAB		2529 SF

MASONRY LEGEND	
	STONE
	BRICK



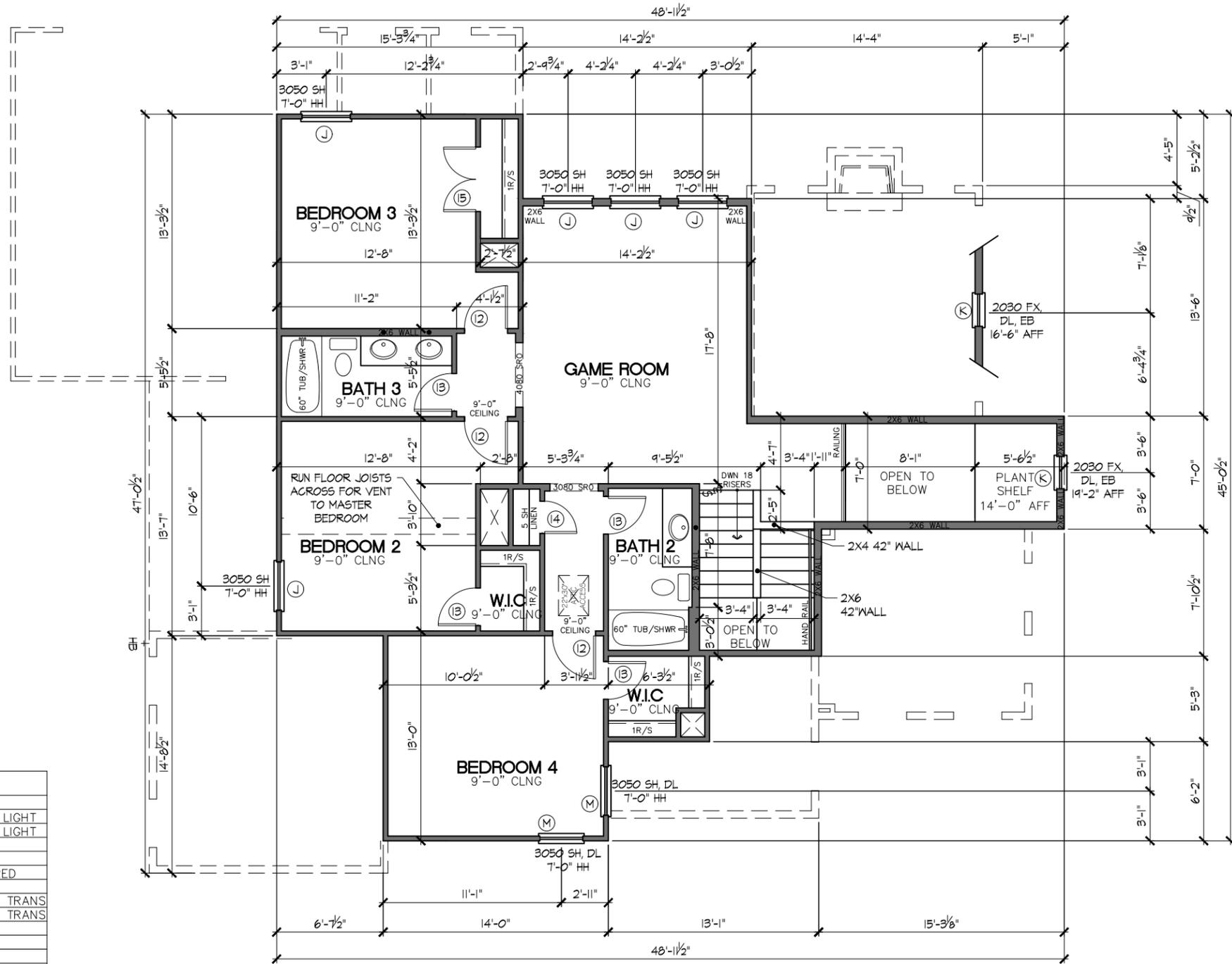
DOOR SCHEDULE - FIRST FLOOR

NUMBER	QUANTITY	TYPE	DESCRIP.
1	1	3080	EXTERIOR ENTRY DOOR W/ HALF DIVIDED LIGHT
2	1	2880	EXTERIOR 1' LT DOOR
3	1	2880	EXTERIOR W/ HALF DL
4	2	2880	INTERIOR
5	2	2-1680	INTERIOR
6	3	2480	INTERIOR
7	1	2080	INTERIOR
8	1	2-2480	INTERIOR - FRENCH DOORS
9	1	2880	INTERIOR SOLID CORE DOOR
10	1	2880	EXTERIOR SOLID CORE DOOR
11	1	16080	GARAGE OVERHEAD

WINDOW SCHEDULE

LETTER	QUANTITY	TYPE	DESCRIP.
A	7	3080	VINYL 3 STAR ENERGY - FIXED, DL, TEMPERED
B	2	2080	VINYL 3 STAR ENERGY - FIXED, DL, TEMPERED
C	6	3060	VINYL 3 STAR ENERGY - SINGLE HUNG
D	1	2050	VINYL 3 STAR ENERGY - SINGLE HUNG
E	1	4040	VINYL 3 STAR ENERGY - FIXED, TEMPERED
F	1	3016	VINYL 3 STAR ENERGY - FIXED, DL
G	5	3016	VINYL 3 STAR ENERGY - FIXED, DL, EB, TRANS
H	1	3026	VINYL 3 STAR ENERGY - FIXED, DL, EB, TRANS
J	5	3050	VINYL 3 STAR ENERGY - SINGLE HUNG, DL
K	2	2030	VINYL 3 STAR ENERGY - FIXED, DL, EB
L	1	4010	VINYL 3 STAR ENERGY - FIXED
M	2	3050	VINYL 3 STAR ENERGY - SH, DIVIDED LIGHT

1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



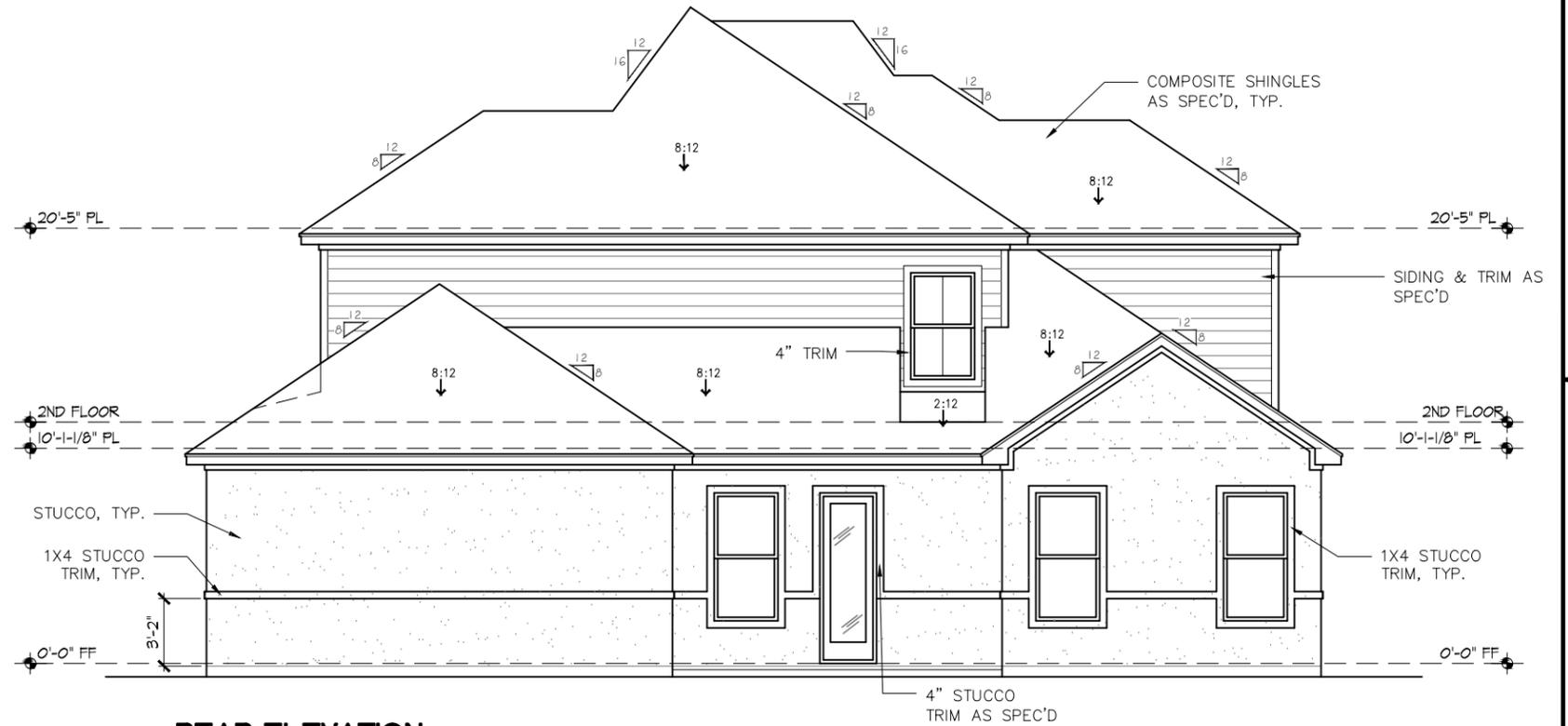
DOOR SCHEDULE - SECOND FLOOR

NUMBER	QUANTITY	TYPE	DESCRIP.
12	3	2868	INTERIOR
13	4	2468	INTERIOR
14	1	2068	INTERIOR
15	1	2-2068	INTERIOR

WINDOW SCHEDULE

LETTER	QUANTITY	TYPE	DESCRIP.
A	7	3080	VINYL 3 STAR ENERGY - FIXED, DIVIDED LIGHT
B	2	2080	VINYL 3 STAR ENERGY - FIXED, DIVIDED LIGHT
C	6	3060	VINYL 3 STAR ENERGY - SINGLE HUNG
D	1	2050	VINYL 3 STAR ENERGY - SINGLE HUNG
E	1	4050	VINYL 3 STAR ENERGY - FIXED, TEMPERED
F	1	3018	VINYL 3 STAR ENERGY - FIXED, DL
G	5	3216	VINYL 3 STAR ENERGY - FIXED, DL, EB, TRANS
H	1	3023	VINYL 3 STAR ENERGY - FIXED, DL, EB, TRANS
J	6	3050	VINYL 3 STAR ENERGY - SINGLE HUNG
K	2	2030	VINYL 3 STAR ENERGY - FIXED, DL, EB
L	1	4010	VINYL 3 STAR ENERGY - FIXED
M	1	3050	VINYL 3 STAR ENERGY - FIXED, DIVIDED LIGHT

1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

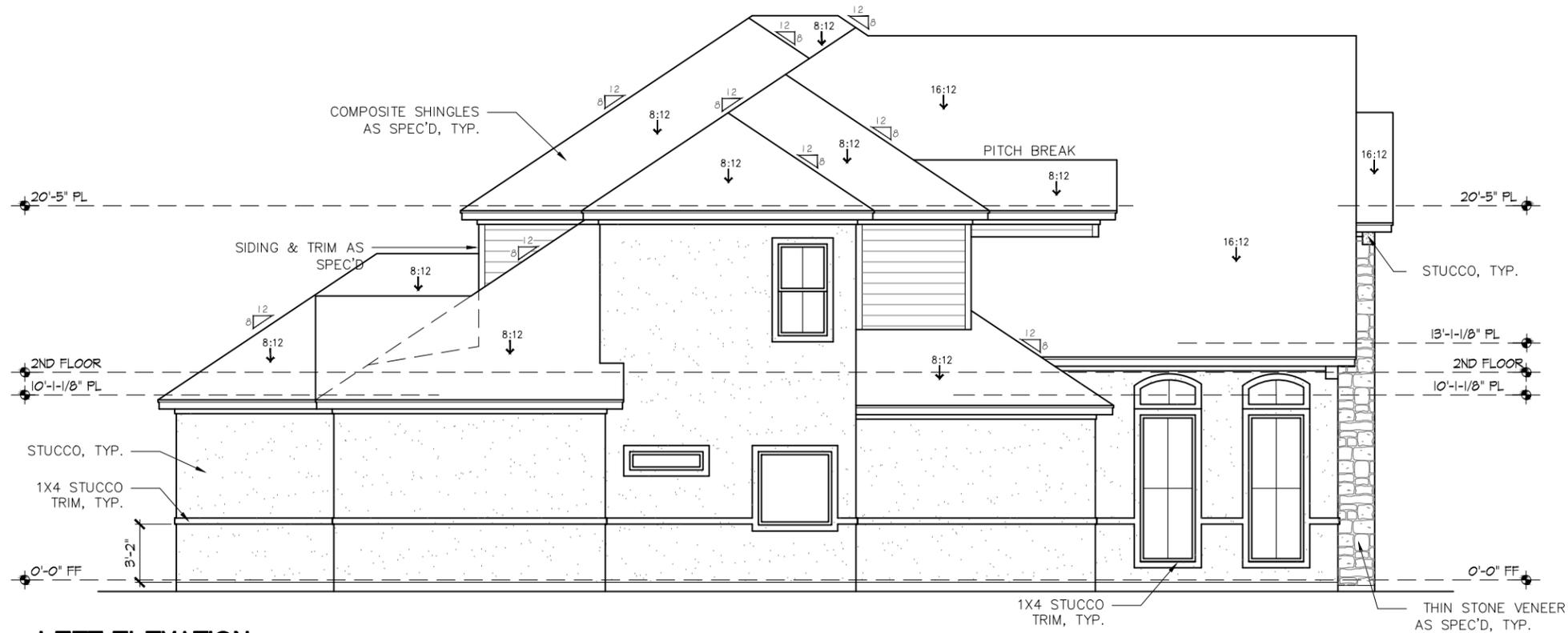


1 REAR ELEVATION
 SCALE: 1/8" = 1'-0"



2 FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

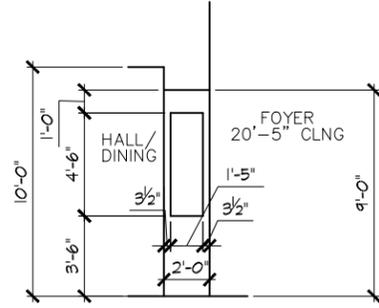
MASONRY CALCULATIONS				
AREA	SIDING	%SDNG.	MASON.	%MAS.
REAR	153 SF	25.3%	451 SF	74.7%
FRONT	0 SF	0.0%	780 SF	100.0%
LEFT	51 SF	6.8%	696 SF	93.2%
RIGHT	72 SF	10.3%	630 SF	89.7%
TOTAL	276 SF	9.7%	2,557 SF	90.3%
TOTAL THIN STONE VENEER 180 SF				
TOTAL STONE AREA IS INCLUDED IN MASONRY CALCULATIONS				



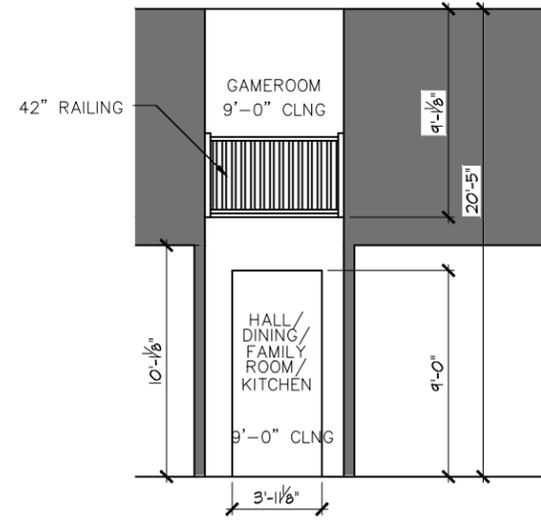
1 LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



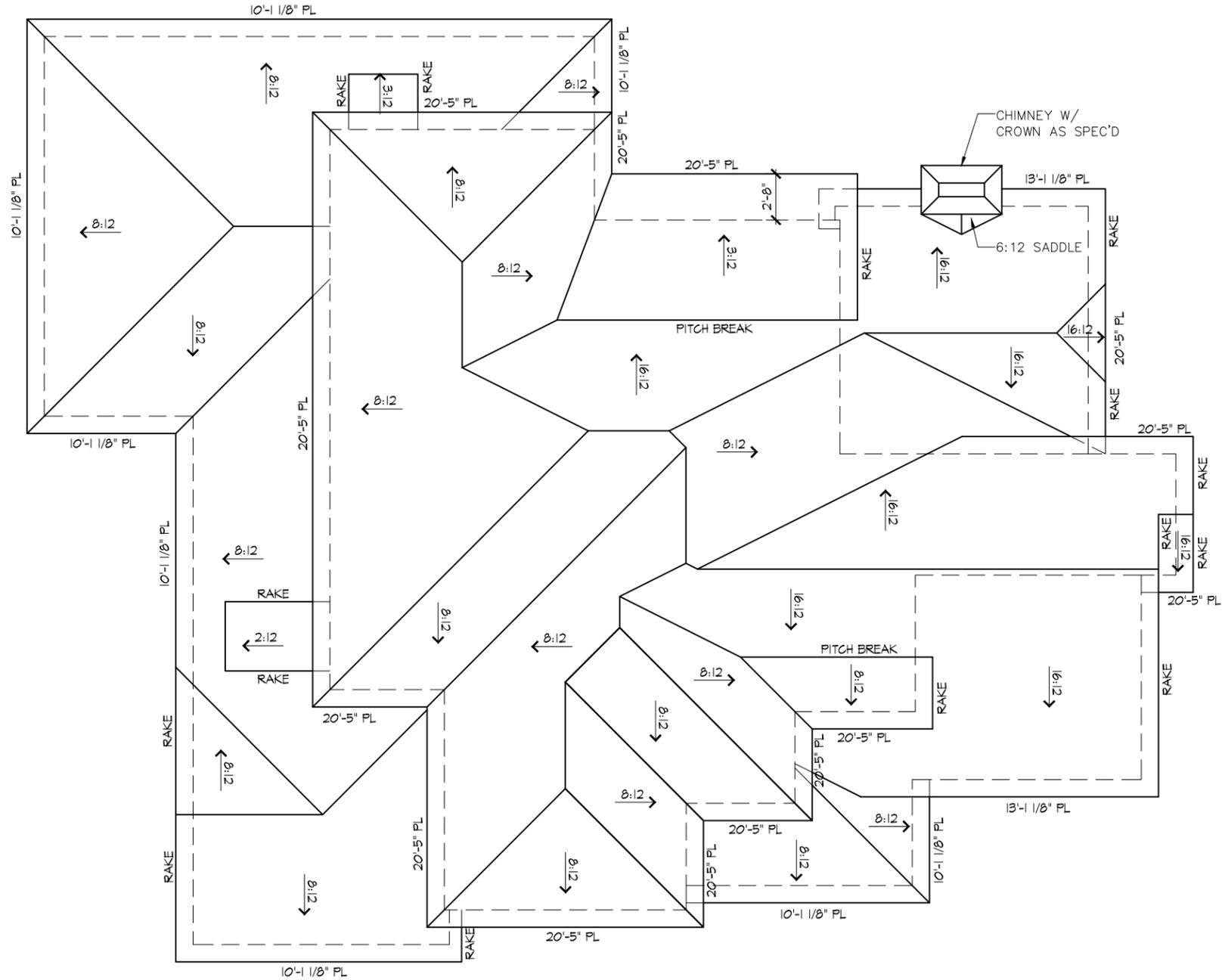
2 RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



1 NICHE ELEVATION, TYP.
SCALE: 1/8" = 1'-0"



2 FOYER/SECOND STORY LANDING
SCALE: 1/8" = 1'-0"



ATTIC VENT CALCULATIONS –(MINIMUM)	
TOTAL ROOF AREA (INCLUDING OVERHANG)	2,784 SF
TOTAL FREE AREA VENT REQD. (ROOF AREA / 300.00)	9 SF
TOTAL # OF ROOF VENTS REQD. (TOTAL FREE AREA / 2 / 1.0 SF)	5 VENTS
TOTAL # OF SOFFIT VENTS REQD. (TOTAL FREE AREA / 2 / .39 SF)	12 VENTS

- ROOF NOTES**
1. ARROWS INDICATE DOWNWARD SLOPE.
 2. VERIFY FREE AREA OF VENTS REQUIRED.
 3. OVERHANGS 12" MIN. FROM OUTSIDE FACE OF FRAME (UNLESS OTHERWISE NOTED ON ROOF PLAN.)

1 ROOF PLAN
 SCALE: 1/8" = 1'-0"



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-008

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
7100 Odell Ave	Single-Family Home		3,137	N/A	Brick
7101 Odell Ave	Single-Family Home	1983	2,654	160	Brick
7102 Odell Ave	Single-Family Home	1977	3,230	320	Brick
7103 Odell Ave	Single-Family Home	1994	2,318	240	Brick
7104 Odell Ave	Single-Family Home	1982	2,613	352	Brick
7105 Odell Ave	Single-Family Home	1978	2,161	100	Brick
7106 Odell Ave	Detached Garage	2005	N/A	N/A	N/A
7107 Odell Ave	Single-Family Home	1994	2,644	44	Brick
7108 Odell Ave	Single-Family Home	1990	1,941	N/A	Brick
7109 Odell Ave	Single-Family Home	1993	2,183	N/A	Brick
7110 Odell Ave	Single-Family Home	2001	2,406	64	Brick
7111 Odell Ave	Single-Family Home	1990	2,130	168	Brick
7112 Odell Ave	Single-Family Home	1998	2,697	256	Brick
7113 Odell Ave	Single-Family Home	1995	2,031	168	Brick
7114 Odell Ave	Single-Family Home	1996	3,052	240	Brick
7116 Hunt Lane	Single-Family Home	1994	3,281	116	Brick
	AVERAGES:	1991	2,565	186	



CITY OF ROCKWALL

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PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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7100 ODELL AVE



7101 ODELL AVE



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-008

PLANNING AND ZONING DEPARTMENT

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7102 ODELL AVE



7103 ODELL AVE



CITY OF ROCKWALL

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7104 ODELL AVE



7105 ODELL AVE



CITY OF ROCKWALL

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PLANNING AND ZONING DEPARTMENT

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7106 ODELL AVE



7107 ODELL AVE



CITY OF ROCKWALL

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7108 ODELL AVE



7109 ODELL AVE



CITY OF ROCKWALL

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7110 ODELL AVE



7111 ODELL AVE



CITY OF ROCKWALL

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7112 ODELL AVE



7113 ODELL AVE



CITY OF ROCKWALL

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385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



7114 ODELL AVE



7116 HUNT LANE

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.3990-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 7, BLOCK A, HERITAGE HIEGHTS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Valerie Valdez of DDS Group on behalf of Blanca Canales of JCK Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent in an Established Subdivision* to allow the construction of a single-family home on a 0.3990-acre parcel of land being described as Lot 7, Block A, Heritage Heights Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 7106 Odell Avenue, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family*

10 (SF-10) District, of Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- (3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF APRIL, 2022.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 21, 2022

2nd Reading: April 4, 2022

Exhibit 'A'
Location Map and Legal Description

Address: 7106 Odell Ave

Legal Description: Lot 7, Block A, Heritage Heights Addition

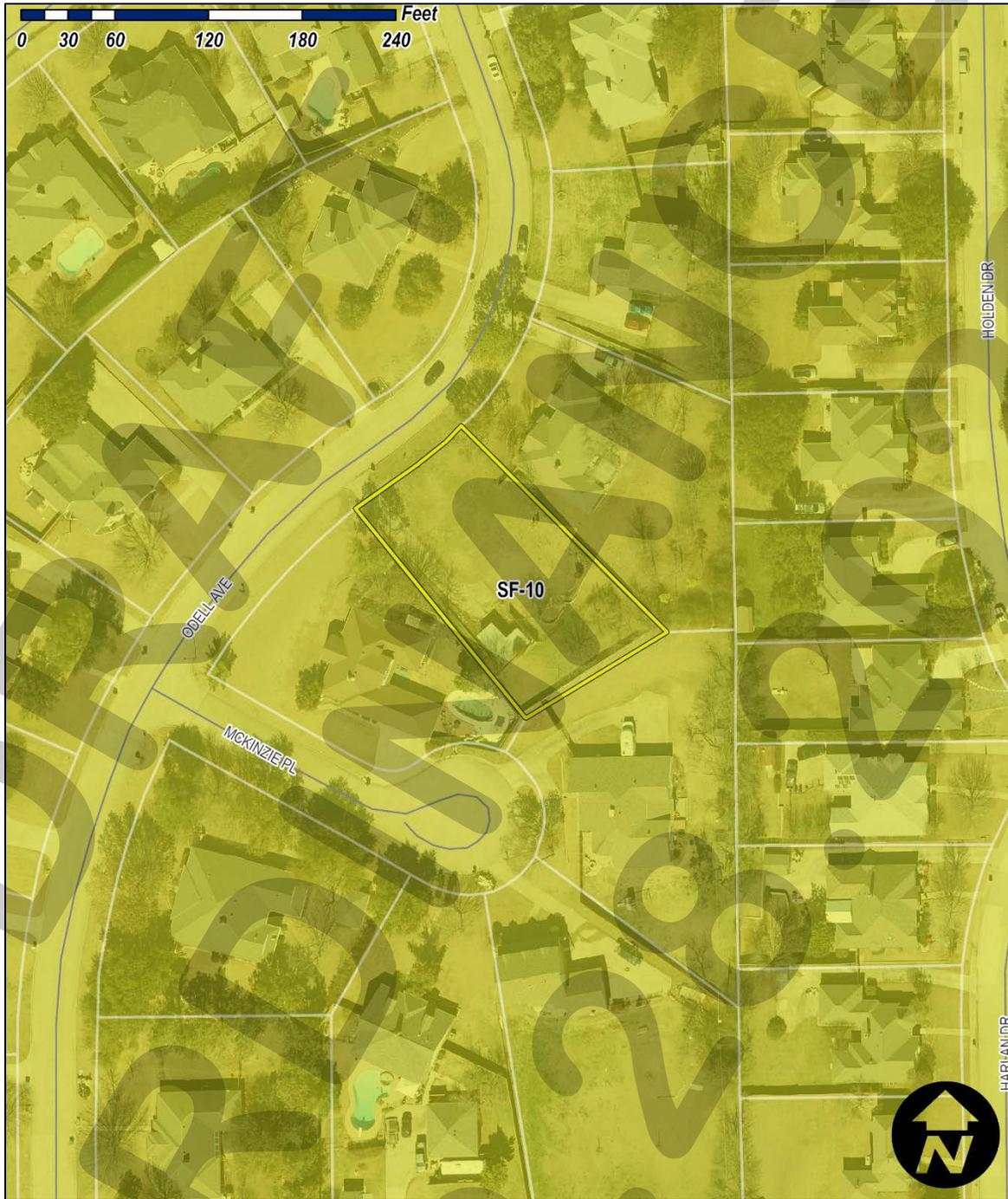


Exhibit 'B':
Residential Plot Plan

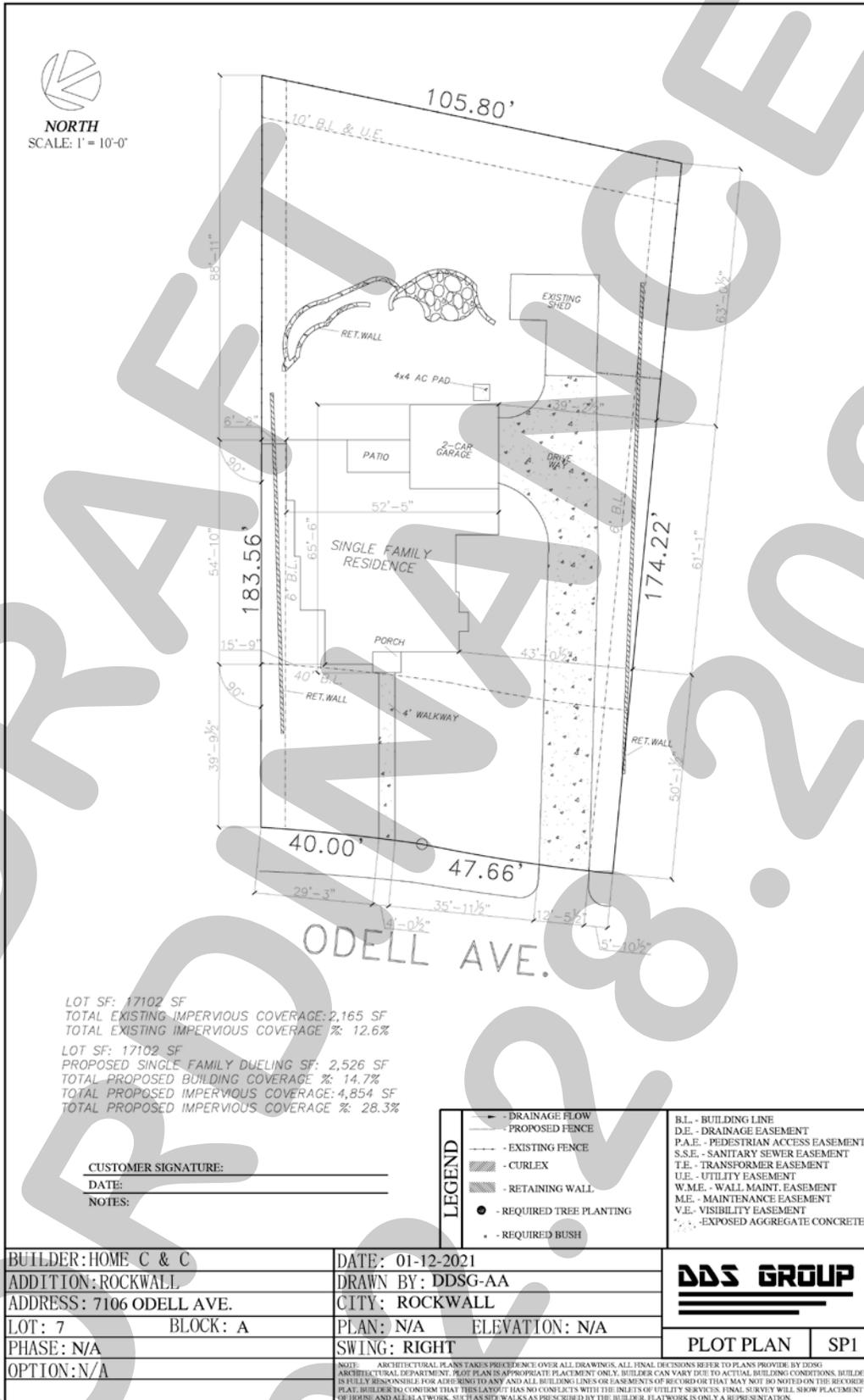
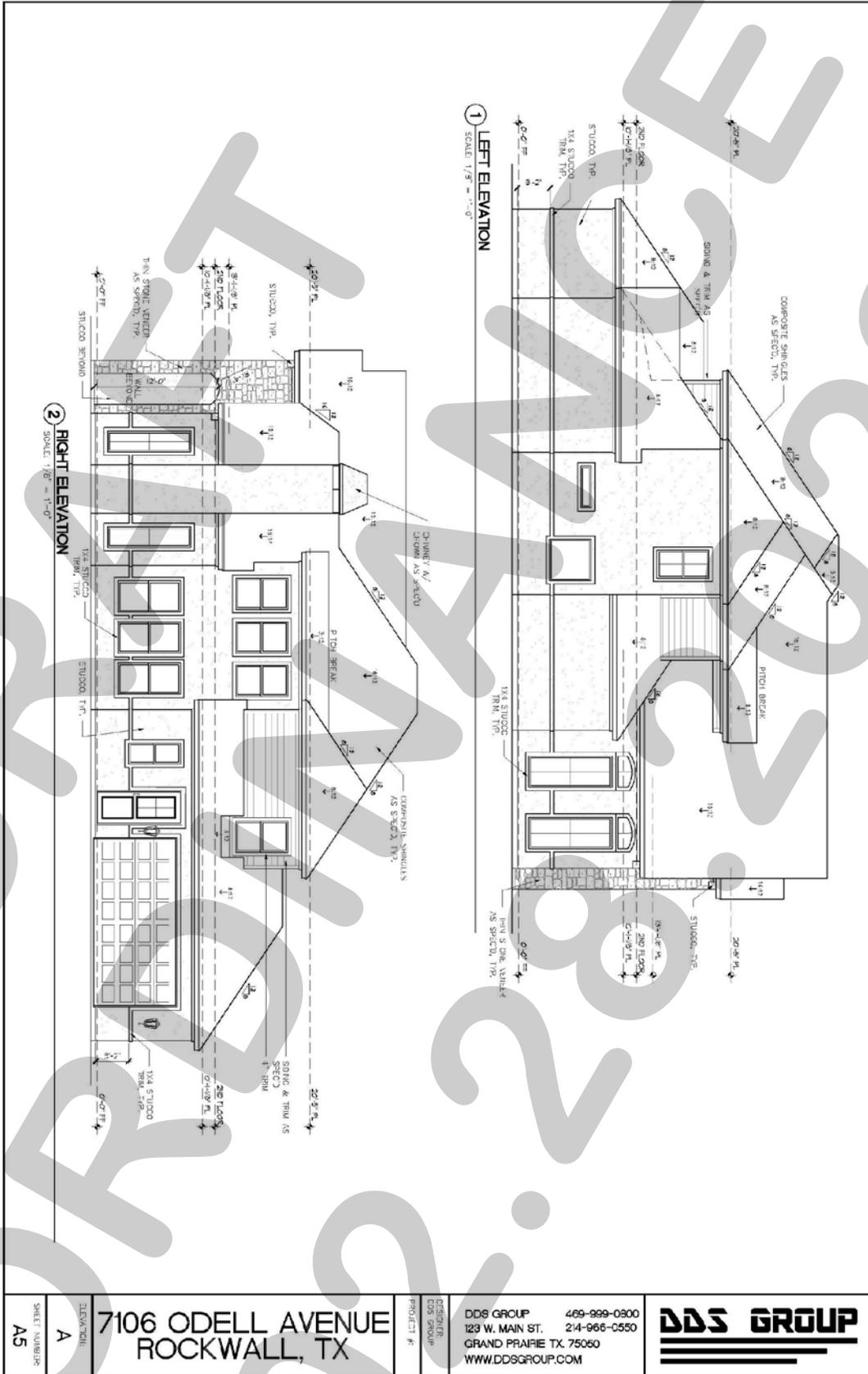


Exhibit 'C':
Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: Z2022-009
PROJECT NAME: SUP for Restaurant with less than 2,000 SF with a Drive Through/Drive In
SITE ADDRESS/LOCATIONS: 906 N GOLIAD ST, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	02/25/2022	Approved w/ Comments

02/25/2022: Z2022-009; Specific Use Permit (SUP) for Restaurant with Drive-Through or Drive-In
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205].
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (Z2022-009) in the lower right-hand corner of all pages on future submittals.
- M.4 Please indicate the point of order and if there are any individual speakers. According to Subsection 01.06, Residential Adjacency Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a)ny use containing individual speakers shall not be permitted within 150 feet of any residential district unless the speaker is appropriately screened and shall meet the standards established in Article IV, Noise, of Chapter 16, Environment, of the Municipal Code of Ordinances."
- I.5 According to Planned Development District 62 (PD-62) [Ordinance No. 05-42] the Subject Property shall be subject to the requirements and land uses permitted in the General Retail (GR) District. The Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC) states that the Restaurant with Less Than 2,000 SF with Drive Through or Drive-In land use requires a Specific Use Permit (SUP) in a General Retail (GR) District. In addition, the Conditional Land Use Standards contained in Article 04, Permissible Uses, of the Unified Development Code (UDC) stipulate the following conditions for this land use:
- (1) Drive-through lanes shall not have access to a local residential street. NON-CONFORMING
 - (2) Additional landscape screening shall be installed adjacent to the drive-through lanes to impair visibility and impact of head-lights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space. NON-CONFORMING
 - (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles. CONFORMING
- I.6 According to the conditional use standards for a Restaurant, 2,000 SF of More, with Drive-Through or Drive-In contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), "(d)rive-through lanes shall not have access to a local residential street."
- M.7 Currently, the concept plan shows the proposed business taking access off of either W. Bourn Street or S. Goliad Street. W. Bourn Street is considered a local residential street. It should also be noted that any access off of the residential alleyway or W. Bourn Street will not meet the requirements of the Unified Development Code (UDC) and will

require the City Council's discretionary approval.

M.8 Please indicate all screening on the concept plan. This should include the screening of the adjacent residential properties and headlight screening on to SH-205 and W. Bourn Street.

I.9 According to Subsection 01.06, Residential Adjacency Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(w)here adjacent to residential districts, off-street loading areas shall be fully screened from view of the residential district..."

M.10 Please indicate on the concept plan the proposed loading zone for all deliveries for the proposed restaurant.

I.11 The driveway depicted off of S. Goliad Street does not meet the City's or the Texas Department of Transportation's standards for driveways spacing; however, it is an existing driveway approach. When considering the proposed land use, this driveway is a safety issue, and will be pointed out as such in staff's case memo. In addition, staff will be requiring a Traffic Impact Analysis (TIA) for this project as part of the site plan process if the Specific Use Permit (SUP) is approved.

M.12 According to Subsection 05.02 (B), Screening from Residential, of Article 08, Landscape and Fence Standards, of the UDC states that:

"Screening from Residential. Any non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers..."

This screening shall be included in a 20-foot landscape buffer that is required along the West and South property lines, which is required per Subsection 05.01 (B)(2), of Article 08, of the UDC.

M.13 Staff has included a requirement in the draft ordinance that a 20-foot landscape buffer be provided along SH-205 to ensure that all headlights are screened from this roadway. In addition, a ten (10) foot landscape buffer shall be required W. Bourn Street. The buffers shall include a berm with shrubs, and one (1) canopy and one (1) accent tree per 50-linear feet of frontage. (Subsection 05.01 (B)(1), Article 08, UDC)

M.14 The remote cooler will be required to be fully screened on all sides at the time of site plan, and should look like a commercial building.

M.15 The dumpster enclosure shall not face public Right-of-Way (Applies to concept plan 2)

M.16 The subject property has two (2) frontages (i.e. along W. Bourn Street and S. Goliad Street) that are considered front yards (i.e. require a front yard building setback). According to Subsection 07.03, Non-Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), properties in a General Retail (GR) District are not permitted to have parking between the front façade of the building and property line. (Applies to concept plan 2)

M.17 Please provide staff with a letter outlining the operations of the proposed business and hours of operation.

M.18 Please make the following changes to the Concept Plan:

- (1) Choose one (1) concept plan by March 7, 2022.
- (2) Indicate the point of order and the location of any individual speakers.
- (3) Show conformance to comment I.5.2.
- (4) Indicate the loading zone.
- (5) Indicate all landscape buffers, with their subsequent landscape screening and masonry walls.
- (6) Indicate the use of shrubs and accents trees to screen the dumpster enclosure on W. Bourn Street. (Applies to concept plan 1)

I.19 Keep in mind at the time of site plan that for each variance requested you are required to provide 2 offsetting compensatory measures. (Subsection 09.01, Article 11, UDC)

M.20 Please review the attached Draft Ordinance prior to the February 28, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than March 7, 2022. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.21 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on February 28, 2022.

I.22 The projected City Council meeting dates for this case will be March 21, 2022 (1st Reading) and April 4, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

02/24/2022: Site option 1

- Dumpster area to drain to an oil/water separator and then to the storm lines.

- Must install a 5' wide sidewalk along Bourn.
- Parking to be 20x9' minimum.

Site option 2

- Move the driveway on SH 205 to the south, existing drive location. Driveway does not meet spacing requirements.
- The driveway on Bourn will need to be moved. It is too close to the existing alleyway.
- Dumpster area to drain to an oil/water separator and then to the storm lines.
- Must install a 5' wide sidewalk along Bourn.
- Parking to be 20x9' minimum.

The following comments are informational for the engineering design process.

General Items:

- 4% Engineering Inspection Fees.
- Impact Fees.
- Engineering plan review fees.
- No dead end parking allowed.
- TXDOT permits required.
- Minimum utility easement width is 20'.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.
- No trees within 10' of non-steel encased public utilities.
- Must meet City of Rockwall Standards of Design.
- 10' U.E. along all ROW frontage.

Drainage Items:

- Dumpster area to drain to oil/water separator or grease trap prior to storm line.
- Detention is required.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.

Roadway/Paving Items:

- Label distances between driveways. (measured from edge to edge)
- All parking 20'x9'.
- Minimum drive aisle width is 24'.
- TIA required for TXDOT including City review fees.
- \$2.50/sf of sidewalk pro-rata along SH 205 due to City.

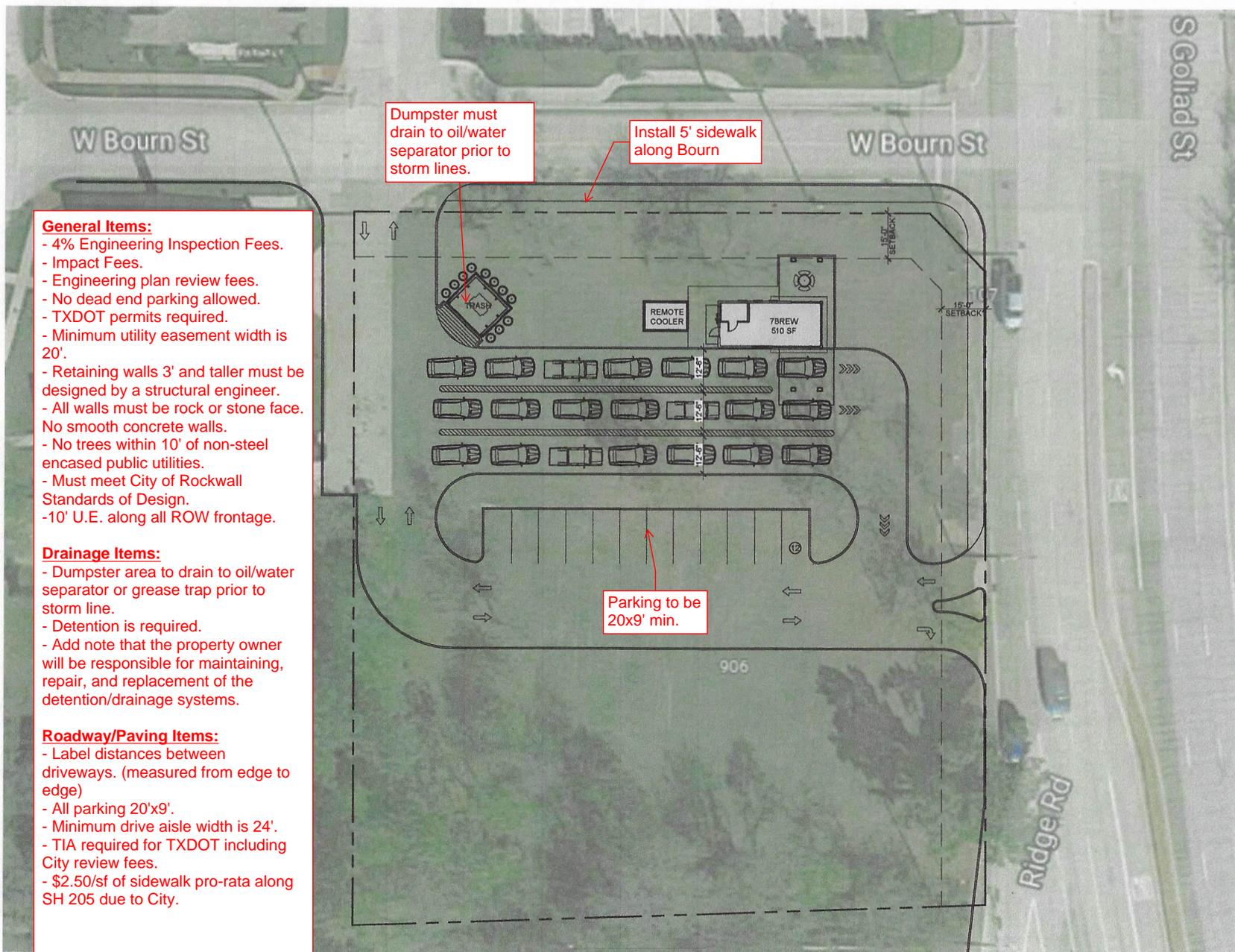
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved w/ Comments

02/22/2022: Please use *902 S GOLIAD ST, ROCKWALL, TX 75087* for the address.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/25/2022	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments
02/22/2022: No comments			



General Items:

- 4% Engineering Inspection Fees.
- Impact Fees.
- Engineering plan review fees.
- No dead end parking allowed.
- TXDOT permits required.
- Minimum utility easement width is 20'.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.
- No trees within 10' of non-steel encased public utilities.
- Must meet City of Rockwall Standards of Design.
- 10' U.E. along all ROW frontage.

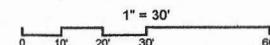
Drainage Items:

- Dumpster area to drain to oil/water separator or grease trap prior to storm line.
- Detention is required.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.

Roadway/Paving Items:

- Label distances between driveways. (measured from edge to edge)
- All parking 20'x9'.
- Minimum drive aisle width is 24'.
- TIA required for TXDOT including City review fees.
- \$2.50/sf of sidewalk pro-rata along SH 205 due to City.

906 SOUTH GOLIAD STREET
ROCKWALL, TEXAS



CONCEPTUAL SITE PLAN

FEBRUARY 17, 2022



General Items:

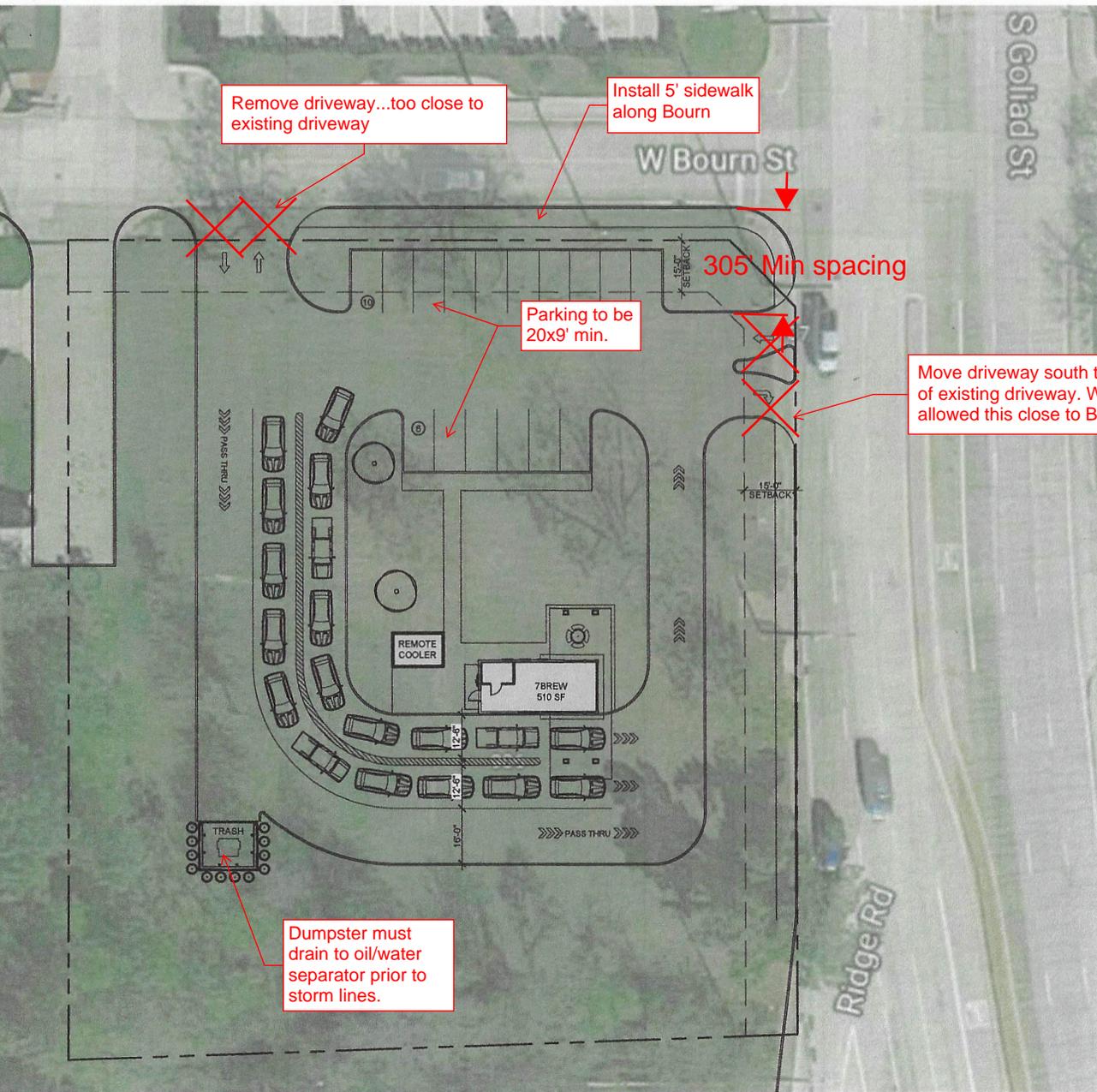
- 4% Engineering Inspection Fees.
- Impact Fees.
- Engineering plan review fees.
- No dead end parking allowed.
- TXDOT permits required.
- Minimum utility easement width is 20'.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face.
- No smooth concrete walls.
- No trees within 10' of non-steel encased public utilities.
- Must meet City of Rockwall Standards of Design.
- 10' U.E. along all ROW frontage.

Drainage Items:

- Dumpster area to drain to oil/water separator or grease trap prior to storm line.
- Detention is required.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.

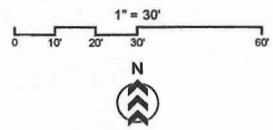
Roadway/Paving Items:

- Label distances between driveways. (measured from edge to edge)
- All parking 20'x9'.
- Minimum drive aisle width is 24'.
- TIA required for TXDOT including City review fees.
- \$2.50/sf of sidewalk pro-rata along SH 205 due to City.



Dumpster must drain to oil/water separator prior to storm lines.

906 SOUTH GOLIAD STREET
ROCKWALL, TEXAS



CONCEPTUAL SITE PLAN

FEBRUARY 17, 2022



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 906 S Goliad St, Rockwall TX

SUBDIVISION Jack Canup Addition LOT 1 BLOCK B

GENERAL LOCATION Goliad St & Brown St

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING GR/PP-62 CURRENT USE Vacant

PROPOSED ZONING GR w/SUP PROPOSED USE Drive thru coffee

ACREAGE 1.13 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER <u>ADLOR ENTERPRISES LLC</u>	<input checked="" type="checkbox"/> APPLICANT <u>Jack Kurz - RSDAP, LLC</u>
CONTACT PERSON <u>ALLEN ANDERSON</u>	CONTACT PERSON <u>Jack Kurz</u>
ADDRESS <u>1208 S. LAKE SHORE DR</u>	ADDRESS <u>1510 N. Dallas Pkwy Ste. 440</u>
CITY, STATE & ZIP <u>ROCKWALL, TX 75087</u>	CITY, STATE & ZIP <u>Dallas TX 75248</u>
PHONE <u>214-538-2209</u>	PHONE <u>(314) 578-8484</u>
E-MAIL <u>AAINTX@MSN.COM</u>	E-MAIL <u>jkurz@redskyholdings.com</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ALLEN ANDERSON [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

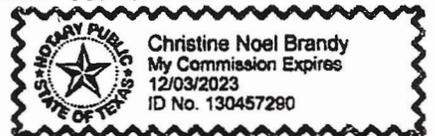
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

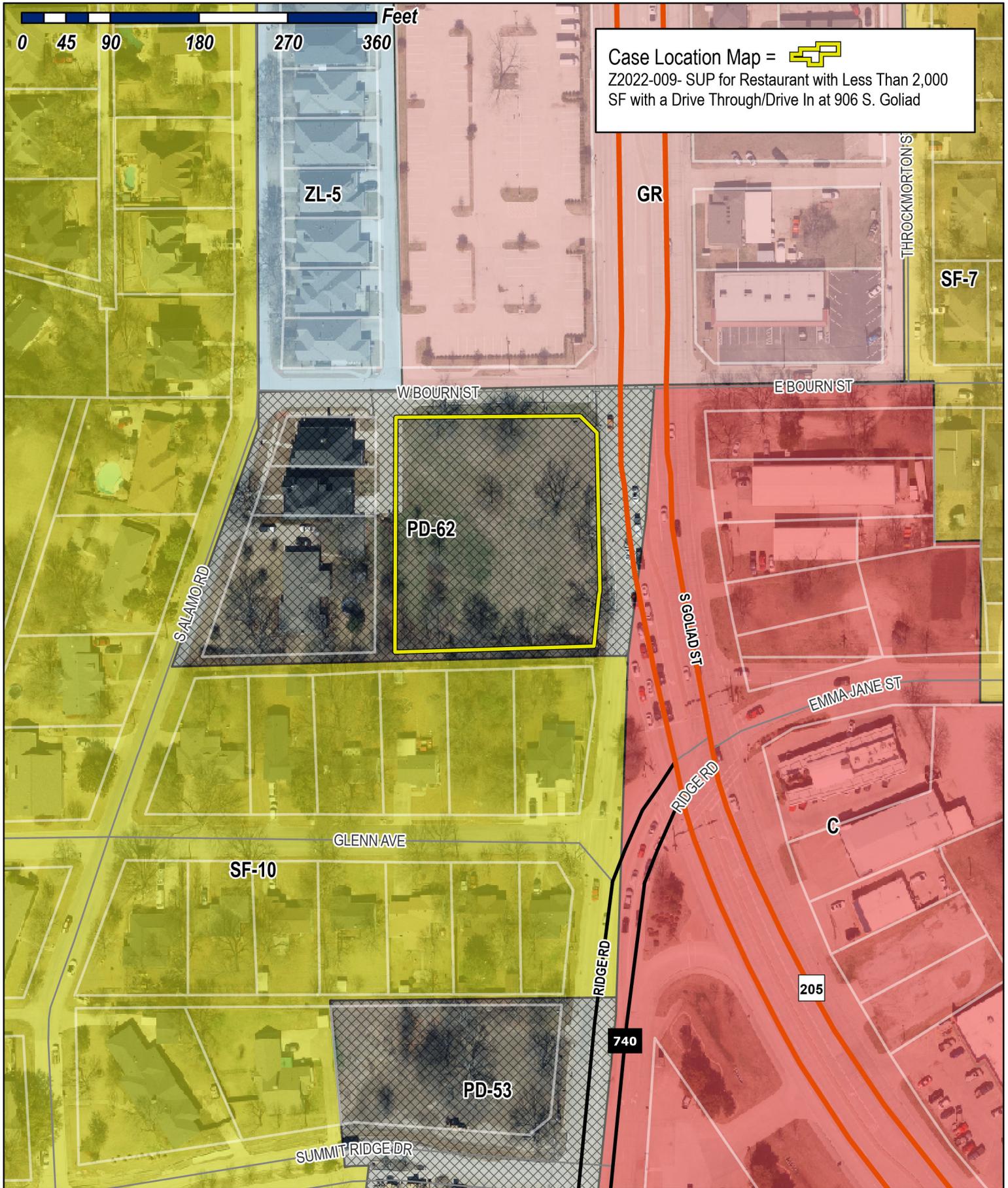
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF February, 2022

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]

MY COMMISSION EXPIRES 12/03/2023





Case Location Map = 
 Z2022-009- SUP for Restaurant with Less Than 2,000 SF with a Drive Through/Drive In at 906 S. Goliad



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

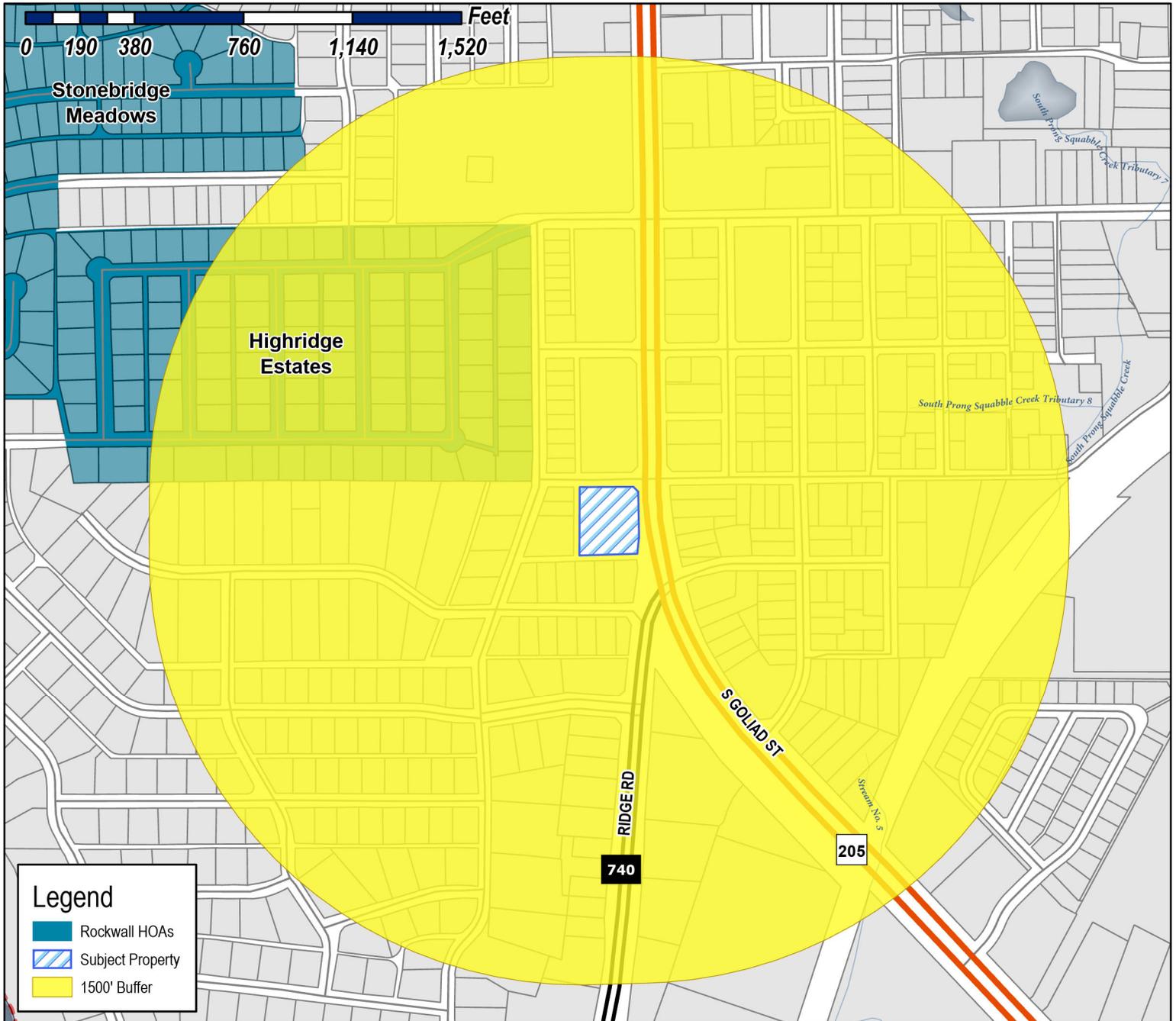




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2022-009
Case Name: SUP for Restaurant with less than 2,000 SF w/ a Drive Through/Drive In Zoning
Case Type: Zoning
Zoning: Planned Development District 62 (PD-62)
Case Address: 906 S. Goliad
Date Saved: 2/18/2022
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, February 23, 2022 2:24 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry
Subject: Neighborhood Notification Program [Z2022-009]
Attachments: Public Notice (02.23.2022).pdf; HOA Map (02.18.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *February 25, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-009: SUP for Restaurant with Less than 2,000 SF with a Drive Through or Drive In

Hold a public hearing to discuss and consider a request by Jack Kurz of RSDGP, LLC on behalf of Allen Anderson of Adlor Enterprises, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

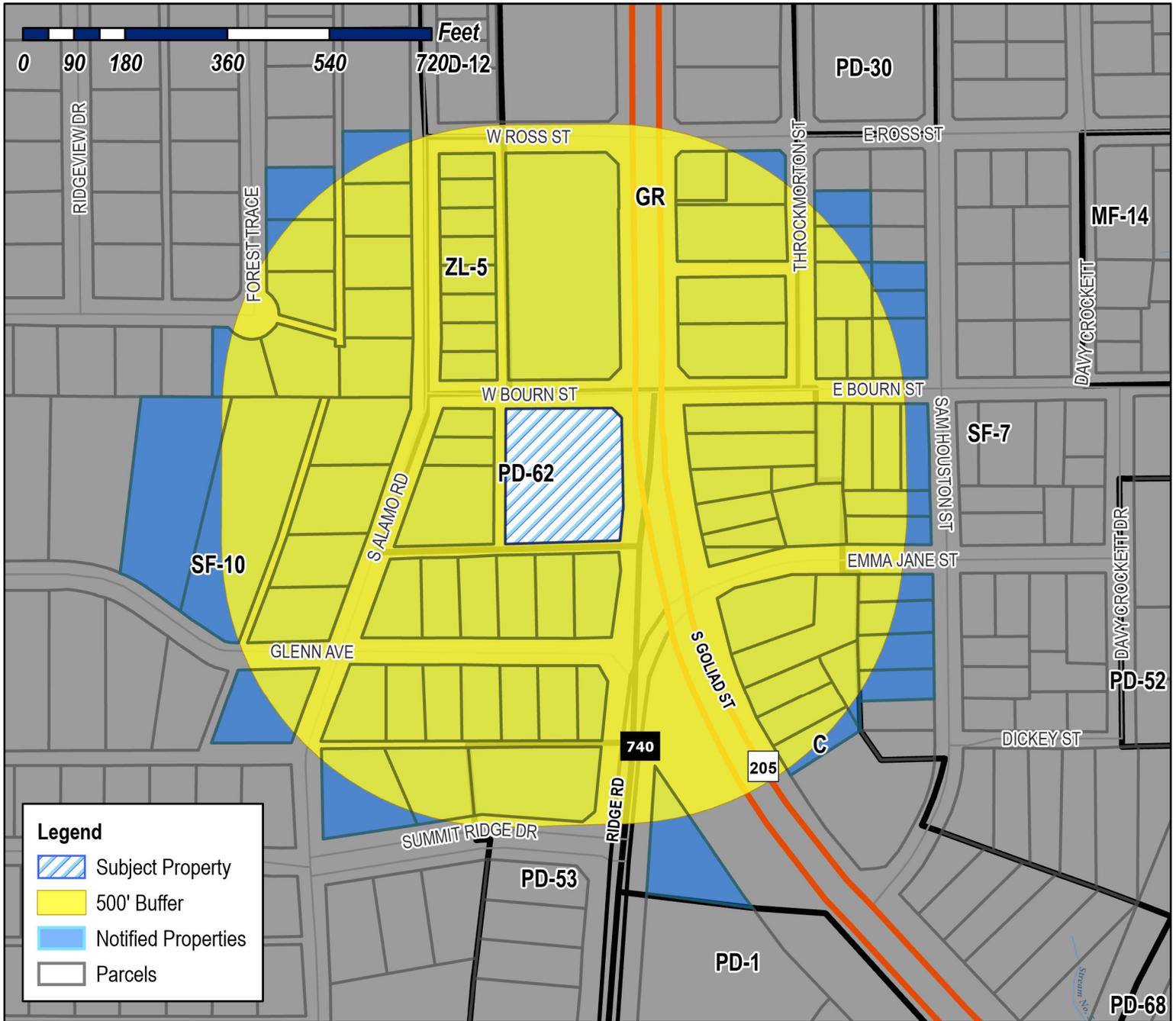
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City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2022-009
Case Name: SUP for Restaurant less than 2,000 SF w/Drive Through/Drive In Zoning
Case Type: Zoning
Zoning: Planned Development District 62 (PD-62)
Case Address: 906 S. Goliad
Date Saved: 2/18/2022
 For Questions on this Case Call (972) 771-7745



EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

RB CAPITAL LTD
1002 RIDGE RD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
1003 S GOLIAD
ROCKWALL, TX 75087

TREVINO EDWARD W & MILLIE A
1004 S ALAMO
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
1007 RIDGE RD
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
1008 SAM HOUSTON
ROCKWALL, TX 75087

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

EFENEY WILLIAM M
1009 S GOLIAD
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1011 S GOLIAD ST
ROCKWALL, TX 75087

GEHRING CAROLYN S
101 GLENNAVE
ROCKWALL, TX 75087

CANGIANO COSIMO JEFFREY
102 GLENN AVE
ROCKWALL, TX 75089

ROHLF DAVID E
102 E ROSS AVE
ROCKWALL, TX 75087

HOWARD DUSTIN AND
JAMES R HOWARD
103 GLENN AVENUE
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
104 GLENN AVE
ROCKWALL, TX 75087

MCFARLIN HULEN D ET UX
105 GLENN AVE
ROCKWALL, TX 75087

SCOTT BILLIE JEAN
106 GLENN AVE
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
107 GLENN AVE
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
108 GLENN AVE
ROCKWALL, TX 75087

CG HOLDINGS LLC
109 GLENN AVE
ROCKWALL, TX 75087

HOOVER JERRY H
110 GLENN AVE
ROCKWALL, TX 75087

WILLIS VICTOR & PHUONG
1101 S ALAMO
ROCKWALL, TX 75087

ERVIN PROPERTIES LLC
1101 S GOLIAD
ROCKWALL, TX 75087

NEWMAN JOANNA N
111 GLENN AVE
ROCKWALL, TX 75087

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

ERVIN PROPERTIES LLC
1155 W WALL STREET SUITE 101
GRAPEVINE, TX 76051

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

ADLOR ENTERPRISES LLC
1208 S LAKESHORE DR
ROCKWALL, TX 75087

WILLIS VICTOR & PHUONG
14 KESWICK CT
HEATH, TX 75032

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
1409 S ALAMO RD
ROCKWALL, TX 75087

SFR JV-1 2021-1 BORROWER LLC
C/O. TRICON AMERICAN HOMES LLC
1508 BROOKHOLLOW DRIVE
SANTA ANA, CA 92735

RICKERSON CHARLES AND VIRGINIA
1728 RIDGE RD
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
200S UMMIT RIDGE DR
ROCKWALL, TX 75087

GIBSON CHARLES D AND LINDSAY K
201 FOREST TRACE
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

MOTON R T
203 E BOURN ST
ROCKWALL, TX 75087

STOVALL RAYMOND P
203 FOREST TRACE
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

U S GOVERNMENT HOUSING
206-207EMMA JANE ST
ROCKWALL, TX 75087

HECKARD ALLEN
207 BOURN AVE
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

LIU HOWARD HEYUN
208 EMMA JANE ST
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
210 WILLOWCREEK RD
CHICKASHA, OK 73018

RB CAPITAL LTD
2322 HARTS BLUFF ROAD
MT. PLEASANT, TX 75455

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
300 DELAWAARE AVE SUITE 210
WILMINGTON, DE 19801

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
3021 RIDGE RD SUITE A57
ROCKWALL, TX 75032

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

CG HOLDINGS LLC
4 SUNSET TR
HEATH, TX 75032

SCOTT BILLIE JEAN
4 SUNSET TRAIL
HEATH, TX 75032

TREVINO EDWARD W & MILLIE A
4349 S PENINSULA DR
PONCE INLET, FL 32127

LIU HOWARD HEYUN
4577 JAGUAR DR
PLANO, TX 75024

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

DELGADILLO VICTORIA E
6104 LYNDON B JOHNSON FREEWAY APT#2502
DALLAS, TX 75240

BRYANT KRISTI & BRENT
710 S ALAMO ROAD
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

HILLMAN DORIANN E
713 FOREST TRACE
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

DELGADILLO VICTORIA E
801 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

DANIELS ANNIE L
803 THROCKMORTON ST
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT
804 S ALAMO DR
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA
805 S ALAMO RD
ROCKWALL, TX 75087

ESTATE OF FRANKIE MAE ALLEN
805 THROCKMORTON
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH, TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

PROGRESS RESIDENTIAL BORROWER 16 LLC
806 SAM HOUSTON ST
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
807 S ALAMO RD
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
807 THROCKMORTON
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

SFR JV-1 2021-1 BORROWER LLC
C/O. TRICON AMERICAN HOMES LLC
808 SAM HOUSTON ST
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
809 ALAMO RD
ROCKWALL, TX 75087

LIVAY LLC
809 S GOLIAD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

EDWARDS JASON
811 S GOLIAD
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
813 S ALAMO RD
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA
815 THROCKMORTON ST
ROCKWALL, TX 75087

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

THOMPSON JAMES LARRY AND SUSAN PRICE
901 S ALAMO RD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
901 S GOLIAD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

ANDREWS VIRGINIA
902 S ALAMO
ROCKWALL, TX 75087

COMPTON EARL D AND
BETH C ROETHER
903 S ALAMO
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
903 S GOLIAD
ROCKWALL, TX 75087

GATES TED AND SARAH
904 S ALAMO ROAD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
905 S GOLIAD
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
906 S ALAMO
ROCKWALL, TX 75087

ADLOR ENTERPRISES LLC
906 S GOLIAD @ BOURN
ROCKWALL, TX 75087

STATE OF TEXAS
907 S GOLIAD
ROCKWALL, TX 75087

BRISTOW JAMES & CHARLOTTE
908 S ALAMO RD
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
9531 RIVERTON ROAD
DALLAS, TX 75218

ROHLF DAVID E
PO BOX 1137
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

PROGRESS RESIDENTIAL BORROWER 16 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

D&A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Hold a public hearing to discuss and consider a request by Jack Kurz of RSDGP, LLC on behalf of Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 15, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 21, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 21, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

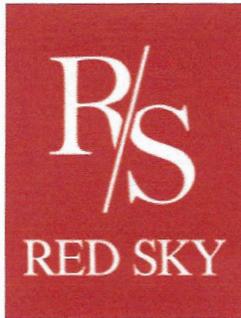
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



RSDGP, LLC
15110 N Dallas Pkwy
Ste. 440
Dallas, TX 75248

Dear City of Rockwall,

RSDGP is applying for a specific use permit to develop a drive-through concept located at the address of 906 S Goliad St. The development plan is designed to develop the site for 7Brew Coffee. 7Brew Coffee is a new coffee concept in the Dallas area.

RSDGP is applying for a specific use permit because the site is currently in the PD-62 district which is a subsection of the GR, General Retail, district. The 7Brew concept is a 510 SF building with a drive-through. This conceptual development plan would be considered a "restaurant with less than 2,000 SF with Drive-Through or Drive-In". This use requires a specific use permit in the GR zoning district.

In order for the development plan to take place, the first item that needs to be addressed is applying and acquiring a SUP. RSDGP believes that a drive-through coffee concept located at 906 S Goliad St would benefit the local neighborhoods and the city of Rockwall. The site is located at the Ridge Rd and Goliad St split which is why a drive-through coffee concept makes sense in this part of Rockwall. People leaving their homes, heading towards the retail corridor and businesses along I-30 will have an ideal morning coffee stop. RSDGP believes 7Brew will bring positive business and added aesthetic development to the nearby neighborhoods.

Sincerely,

Jack Kurz
Development Manager
E: jkurz@redskyholdings.com
C: (314) 578-8484

Legal Description

JACK CANUP ADDITION, BLOCK B, LOT 1, ACRES 1.1308

PLAT OF SURVEY

BOURN STREET

50' R.O.W. PER PLAT

S 89° 35' 59" E 192.07'

15' B.L.

1.13 ACRES
49258 S.F.

LOT 1
BLOCK B

S. GOLIAD STREET

S 0° 23' 37" W 210.73'

20' ALLEY R.O.W. PER PLAT

N 0° 13' 53" E 237.47'

5' ALLEY R.O.W. PER PLAT S 88° 32' 58" W 211.05'

10' ALLEY R.O.W. PER PLAT

LOT 1

LOT 2

BLOCK A

LOT 3

LOT 3

LOT 4

LOT 5

LOT 6

6" CHISELED
IN CONCRETE

CONCRETE ALLEY

CURB

GAS LINE
MARKER

1/2" IRF

S 44° 03' 12" E 27.91'

6" CHISELED
IN CONCRETE

FH

15' B.L.

OVERHEAD ELEC LINES

CONC WALK

CURB

1/2" IRF

SURVEY ACCEPTED BY

DATE

DATE

LAWHORN & WILLIAMS ADDITION
VOL. 46. PG. 209



SH 205
VARIABLE WIDTH R.O.W.

DESCRIPTION

Being Lot 1, in Block B of the JACK CANUP ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet G, Slide 133, of the Plat Records of Rockwall County, Texas.

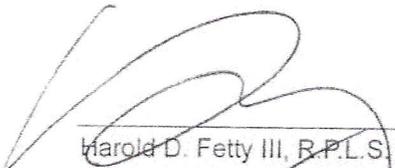
NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0030 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for CAPITAL TITLE COMPANY and JORGLY, LLC at 906 S. GOLIAD STREET, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 17th day of July, 2015.




Harold D. Fetty III, R.P.L.S. No. 5034

SYMBOL LEGEND				
TELEVISION CABLE WIRE	GAS METER	PHONE RIGID	FIRE HYDRANT	POWER POLE
ELECTRIC METER	ELECTRIC SUBSURFACE JUNCTION BOX	WATER METER	LIGHT POLE	SUT OFF BOX AND SOUND CHIMNEY
FENCE	STATEMENT LINE	PROPERTY LINES	A/C UNIT	PROPANE TANK

H.D. Fetty Land Surveyor, LLC

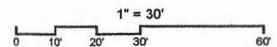
Firm Registration no. 101509-00

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE JULY 17, 2015
SCALE 1" = 40' FILE # 20061374-18
CLIENT JORGLY, LLC OF # 15-223229-RL

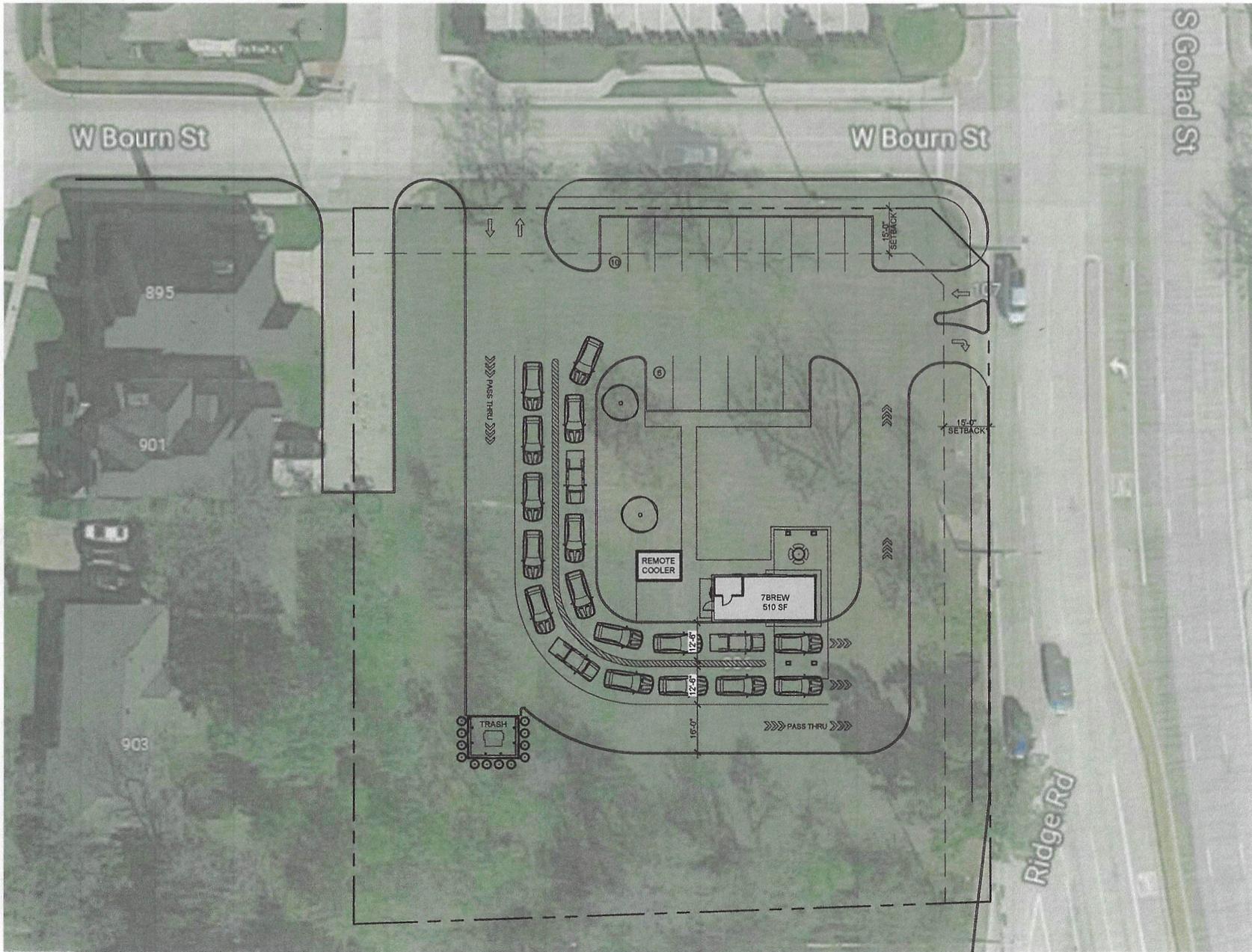


906 SOUTH GOLIAD STREET
 ROCKWALL, TEXAS

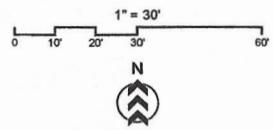


CONCEPTUAL SITE PLAN

FEBRUARY 17, 2022



906 SOUTH GOLIAD STREET
 ROCKWALL, TEXAS



CONCEPTUAL SITE PLAN
 FEBRUARY 17, 2022

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 62 (PD-62) [*ORDINANCE NO. 05-24*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESTAURANT, LESS THAN 2,000 SF, WITH A DRIVE-THROUGH OR DRIVE-IN ON A 1.1308-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK B, JACK CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.*

WHEREAS, the City has received a request from Jack Kurz of RSDGP, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 1.1308-acre parcel of land described as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] for General Retail (GR) District land uses, addressed as 902 & 906 S. Goliad Street [*SH-205*], and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 62 (PD-62) [*Ordinance No. 05-24*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Planned Development District 62 (PD-62) [Ordinance No. 05-42], and Subsection 04.01, *General Commercial Districts Standards*; and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) A minimum of a six (6) foot masonry wall (*i.e. constructed with materials matching the primary structure*) be constructed adjacent to the southern and western property lines. Mature canopy trees shall be planted on 20-foot centers along the entire length of the wall.
- 3) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive-through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street. Additional landscaping may also be required at the time of site plan at the corner of W. Bourne Street and S. Goliad Street to impair the visibility of headlights from the drive-through lane.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid,

the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF APRIL, 2022.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 21, 2022

2nd Reading: April 4, 2022

Exhibit 'A'
Location Map

Address: 902 & 906 S. Goliad Street

Legal Description: Lot 1, Block B, Jack Canup Addition

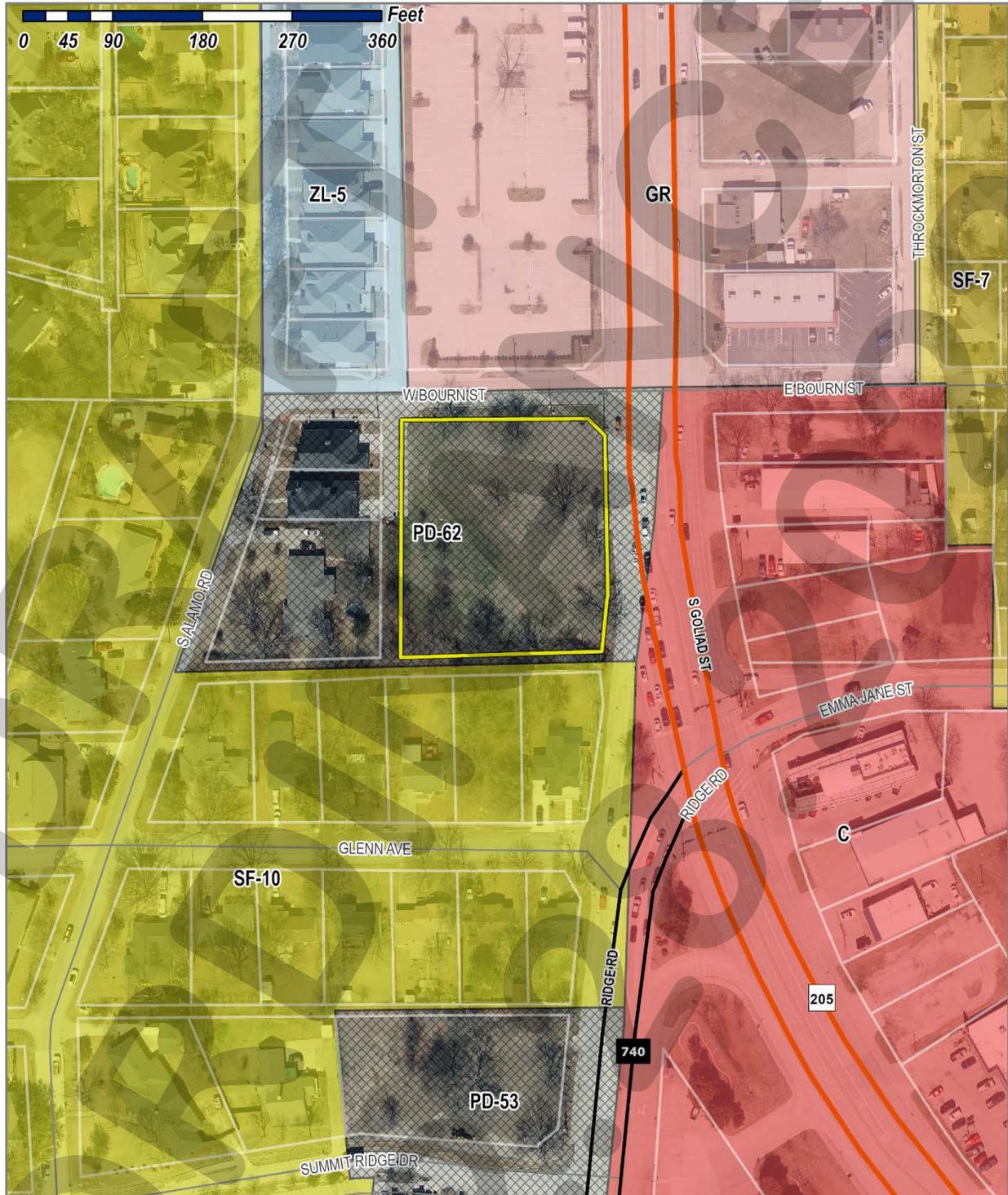


Exhibit 'B':
Concept Plan

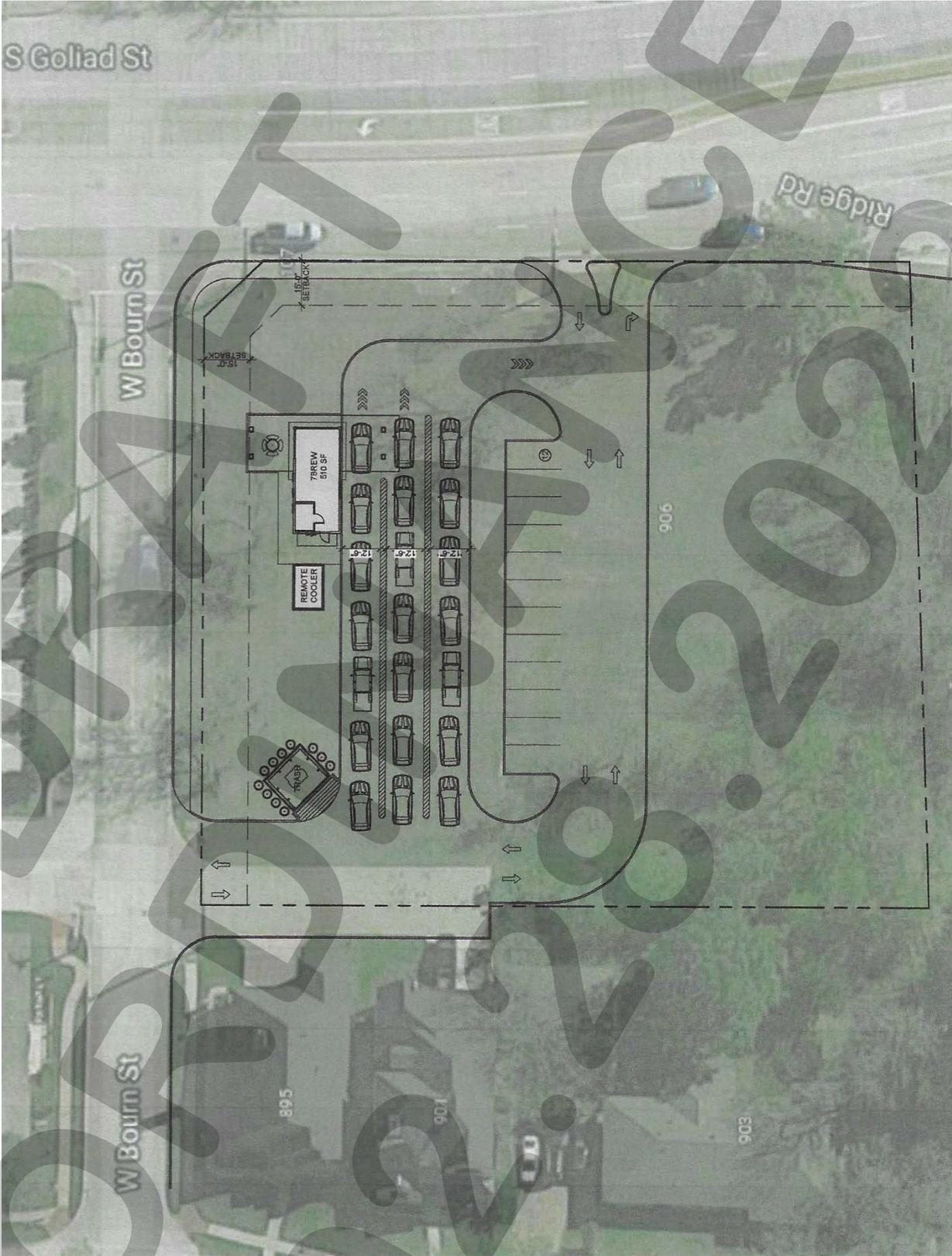
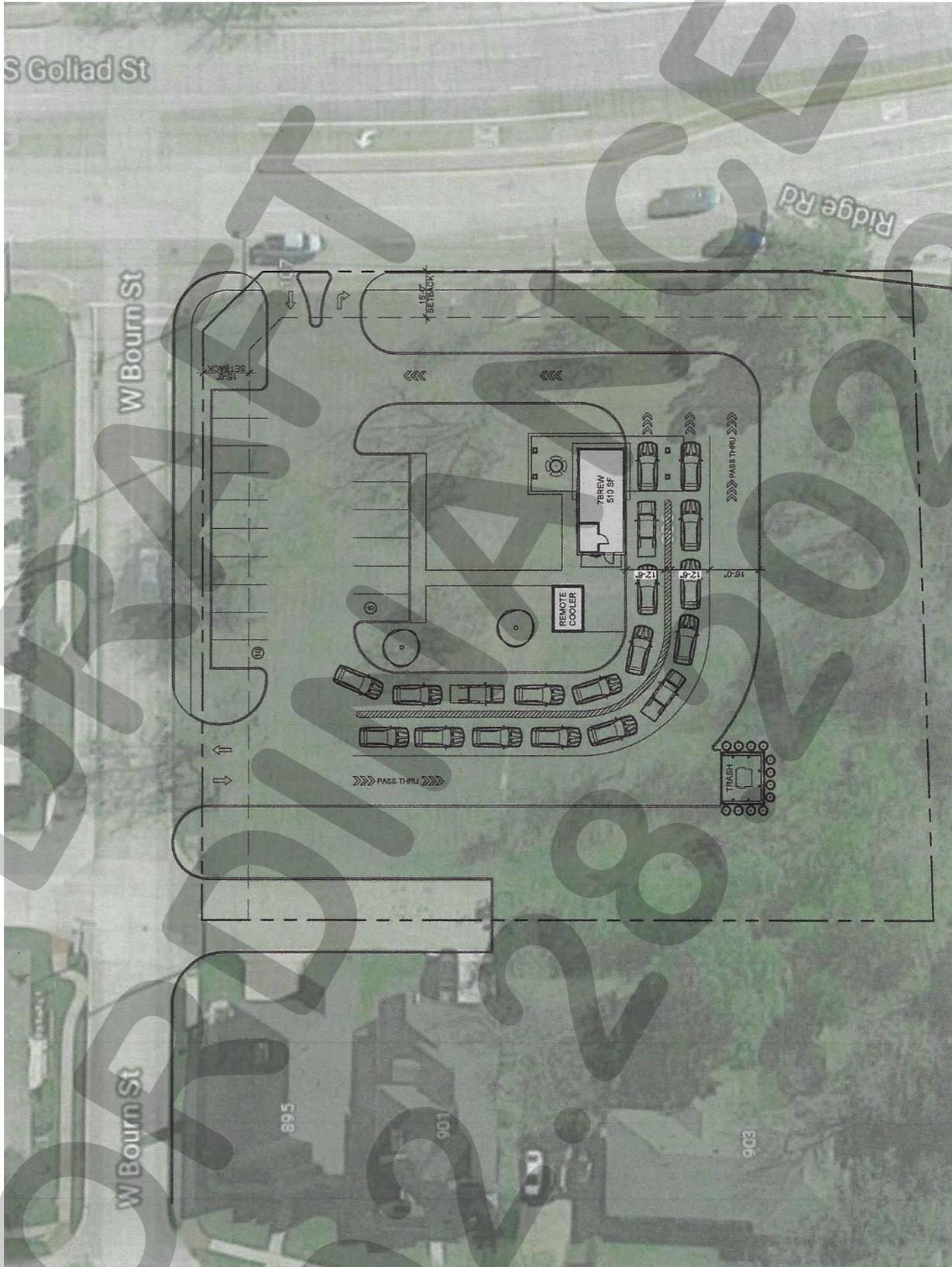


Exhibit 'B':
Concept Plan



PROJECT COMMENTS



CITY OF ROCKWALL
 385 S. GOLIAD STREET
 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: Z2022-010
 PROJECT NAME: PD Development Plan for Vallis Greene
 SITE ADDRESS/LOCATIONS: 1649 FM 1141, ROCKWALL, 75087

CASE MANAGER: Ryan Miller
 CASE MANAGER PHONE: 972-772-6441
 CASE MANAGER EMAIL: miller@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 93.97-acre tract of land identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1936 SH-66, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	02/24/2022	Approved w/ Comments

02/24/2022: Z2022-010; Zoning Change (AG to PD) for Vallis Greene
 Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 93.97-acre tract of land identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, and addressed as 1936 SH-66.
- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.
- M.3 For reference, include the case number (Z2022-010) in the lower right-hand corner of all pages on future submittals.
- I.4 According to the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the Northeast Residential District, and according to the Future Land Use Map the subject property is designated for Low Density Residential district land uses. Low Density Residential is defined as 2.0 dwelling units/acre with the ability to increase the density up to 2.50 dwelling units/acre at the discretion of the City Council if they determine that increased amenity is provided.
- M.5 The proposed density is 1.93 dwelling units/acre, which is in conformance with the density requirements of the Low Density Residential district land use designation.
- I.6 According to the Land Use Plan the Northeast Residential District "... has several large vacant tracts of land suitable for low-density, residential development." Additionally, the District Strategies for this district state that "... (a)ny new Suburban Residential developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing Suburban Residential in the district."
- M.7 This case requires a survey and legal description prior to City Council action. These items will need to be turned in by no later than March 16, 2022 or the case will be withdrawn by staff.
- M.8 Please address the following on the Concept Plan:
 - (1) Please remove the Density and Dimensional chart off of the Concept Plan.
 - (2) Please indicate monument signage locations on the Concept Plan.
 - (3) Please indicate that all lots less than 12,000 SF are located within 800-feet of a public or private open space.
 - (4) Please add a 20-foot landscape buffer adjacent to the non-residential land use adjacent to the southern boundary (see staff's comments below concerning what is required within this buffer).

M.9 Based on the City's standards and previous Planned Development District ordinances, staff made the following changes to the proposed Density and Dimensional District Standards:

- (1) Subsection 3, Variation in Residential Lot Composition. Staff changed #2 from a "...maximum of nine (9) Lot Type 'A' lots and 31 Lot Type 'B' lots..." to a "...minimum of nine (9) Lot Type 'A' lots and 31 Lot Type 'B' lots..."
- (2) Subsection 4, Density and Dimensional Requirements. Staff changed the minimum dwelling unit square footage for Lot Type 'A' from 2,200 SF to 2,400 SF to better conform to the SF-16 standard, which is more comparable to the Lot Type 'A' lots than the SF-10 standard. Staff also changed the minimum dwelling unit square footage for Lot Type 'D' from 2,000 square feet to 2,200 SF.
- (3) Subsection 4, Density and Dimensional Requirements. Staff changed the maximum lot coverage for the Lot Types 'A', 'B', & 'C' from 65% to 45% to better reflect the SF-10 standard of 45%.
- (4) Subsection 4, Density and Dimensional Requirements. Staff changed Note #5 to allow a five (5) foot encroachment as opposed to a ten (10) foot encroachment in the front yard building setback. Staff added Note #7 regulating side yard setbacks for Keystone Lots.
- (5) Subsection 5a, Masonry Requirement. Staff removed "...however, no individual façade shall be less than 85% masonry." All facades are typically required to meet the minimum 90% standard. Also changed the language to allow additional flexibility with regard to cementitious materials.
- (6) Subsection 5c, Garage Orientation and Garage Doors. Staff removed broom finished and changed it to stain finished. Broom finished driveways are typical and not an enhanced or upgraded standard. Staff also added additional representations of upgraded garage doors and enhancements.
- (7) Subsection 8a, Landscape and Hardscape Standards. Added a requirement that all shrubs be a minimum of five (5) gallons. This is a requirement of the Unified Development Code (UDC). Staff also added the word "additional" to the section referring to the row of shrubs adjacent to properties that back to a roadway. This better clarifies the intent of this requirement.
- (8) Subsection 8b, Landscape and Hardscape Standards. Added an SH-66 landscape buffer requirement and a landscape buffer requirement for roadways adjacent to open space. Both of these are required by the Unified Development Code (UDC).

M.10 Based on this submittal staff recommends the following:

- (1) Staff would recommend incorporating representative examples of entry monumentation to be included in the ordinance. Examples of good representations of existing entry monumentation signage in the City are the Breezy Hill, Stone Creek, and Rockwall Downes Subdivisions.
- (2) With regard to park dedication and cash-in-lieu of land fees, there is the possibility of utilizing the City's land adjacent to Cornelius Road for a public park; however, this would be at the discretion of the City Council pending a recommendation from the Planning and Zoning Commission and Parks and Recreation Board. If approved this would allow the City's four (4) acres to be added to the open space for this development and the fees (i.e. cash-in-lieu of land and pro-rata equipment fees) to be used to amenitized this development. Please contact staff to discuss this possibility.
- (3) Please note that nothing can be constructed within the Runway Protection Zone (RPZ) of the Ralph Hall Municipal Airport (see Planning Markups).
- (4) Currently, the Unified Development Code (UDC) would require a minimum of a six (6) foot masonry fence adjacent to the non-residential land use along the southern property line; however, this can be substituted for a 20-foot landscape buffer, berm and three (3) tiered landscaping. Staff has added a highlighted section into the draft ordinance proposing this alternative screening. Despite which option is chosen, this will need to be addressed in the draft ordinance.
- (5) The OURHometown Vision 2040 Comprehensive Plan stipulates a maximum of 20% flat front entry garages. The 50% being requested has only been approved on one (1) development in this area. Consider reducing this number to a maximum of 35%. This is more characteristic of the percentages granted in this area.
- (6) Staff has prepared a marked-up Concept Plan that shows the location of the fencing, setbacks, landscape buffers, comments and recommendations per the Draft Ordinance and these comments.

I.11 With the exception of the proposed garage orientation standard, the proposed development appears to be in general conformance with the goals and policies of the OURHometown Vision 2040 Comprehensive Plan.

M.12 Please review the attached Draft Ordinance prior to the February 28, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than March 7, 2022. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on February 28, 2022.

I.14 The projected City Council meeting dates for this case will be March 21, 2022 (1st Reading) and April 4, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

- 02/24/2022: - Must install a 12" water line from SH 66 to existing stub out in FM 1141.
- Need a flood study to reclaim the floodplain to install a roadway connecting to SH 66.
- Show the 30' NTMWD easement. No construction in the area with NTMWD approval, including grading.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Detention is required. Not allowed in flood plain or 100 year water surface
- Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
- Manning's C-value is per zoning type.
- Flood Study is required to define all localized 100-yr flood plains or if you "touch" the existing floodplain. Review fees apply. See the City Standards of Design for flood study requirements.
- Must get a Wetlands/WOTUS study for all ponds and wetland areas.
- Need to show erosion hazard setback. See engineering design standards. Erosion hazard setback will not be in a residential lot.
- Need separate HOA Lot/Drainage Easement on east side of subdivision to collect off-site drainage and collect in ditch/channel/storm system. No Lot to lot drainage allowed.
- Need written permission to build in and around NRCS easement for Greene Lake as well as using it as a detention above the normal water surface. Will need to show NRCS easement on plans and plat. Or written confirmation from NRCS that this isn't one of their lakes.

Water and Wastewater Items:

- Must loop min 8" water line on site.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Minimum public sewer is 8".
- 12" water line to be install along SH 66 and north to tie into the existing 12" water in FM 1141

Roadway Paving Items:

- All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be standard curb and gutter style. No asphalt or rock streets.
- Must install alleys at the back of the lots.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- TIA will be required for SH 66 and FM 1141 with associated review fees.
- Must meet TxDOT Driveway spacing along SH 66 and FM 1141.
- Dedicate ROW for FM 1141. 85' ROW for an M4D four lane divided roadway. Must dedicate 42.5' from the centerline if not existing.
- Dedicate ROW for SH66. 110' ROW for an P6D four lane divided roadway. Must dedicate 55' from the centerline if not existing.

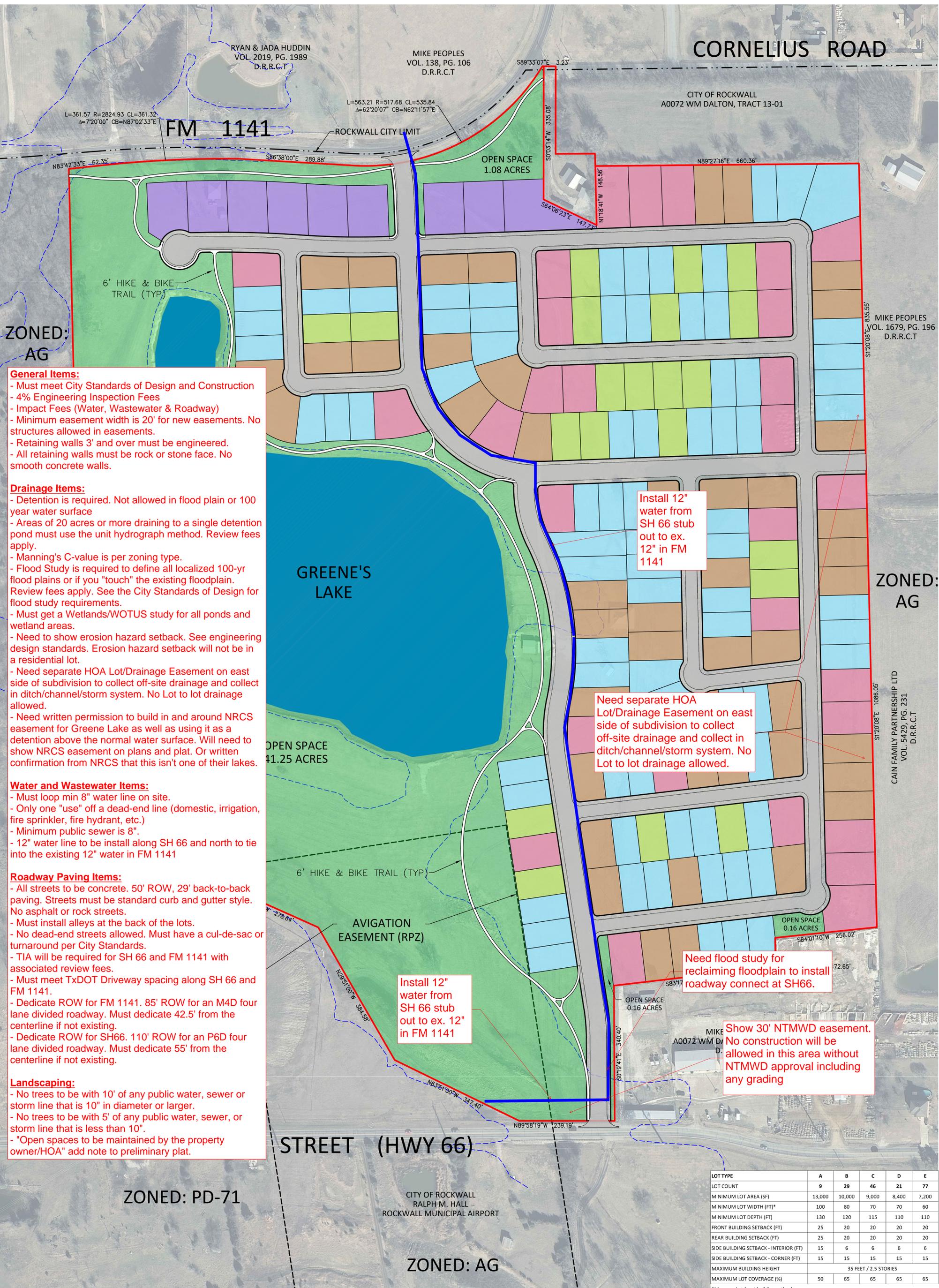
Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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BUILDING	Rusty McDowell	02/22/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/24/2022	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Ryan Miller	02/24/2022	N/A
No Comments			

CORNELIUS ROAD



General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Detention is required. Not allowed in flood plain or 100 year water surface
- Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
- Manning's C-value is per zoning type.
- Flood Study is required to define all localized 100-yr flood plains or if you "touch" the existing floodplain. Review fees apply. See the City Standards of Design for flood study requirements.
- Must get a Wetlands/WOTUS study for all ponds and wetland areas.
- Need to show erosion hazard setback. See engineering design standards. Erosion hazard setback will not be in a residential lot.
- Need separate HOA Lot/Drainage Easement on east side of subdivision to collect off-site drainage and collect in ditch/channel/storm system. No Lot to lot drainage allowed.
- Need written permission to build in and around NRCS easement for Greene Lake as well as using it as a detention above the normal water surface. Will need to show NRCS easement on plans and plat. Or written confirmation from NRCS that this isn't one of their lakes.

Water and Wastewater Items:

- Must loop min 8" water line on site.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Minimum public sewer is 8".
- 12" water line to be install along SH 66 and north to tie into the existing 12" water in FM 1141

Roadway Paving Items:

- All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be standard curb and gutter style. No asphalt or rock streets.
- Must install alleys at the back of the lots.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- TIA will be required for SH 66 and FM 1141 with associated review fees.
- Must meet TxDOT Driveway spacing along SH 66 and FM 1141.
- Dedicate ROW for FM 1141. 85' ROW for an M4D four lane divided roadway. Must dedicate 42.5' from the centerline if not existing.
- Dedicate ROW for SH66. 110' ROW for an P6D four lane divided roadway. Must dedicate 55' from the centerline if not existing.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

Install 12" water from SH 66 stub out to ex. 12" in FM 1141

Need separate HOA Lot/Drainage Easement on east side of subdivision to collect off-site drainage and collect in ditch/channel/storm system. No Lot to lot drainage allowed.

Need flood study for reclaiming floodplain to install roadway connect at SH66.

Show 30' NTMWD easement. No construction will be allowed in this area without NTMWD approval including any grading

Install 12" water from SH 66 stub out to ex. 12" in FM 1141

ZONED: PD-71

ZONED: AG

ZONED: AG

LOT TYPE	A	B	C	D	E
LOT COUNT	9	29	46	21	77
MINIMUM LOT AREA (SF)	13,000	10,000	9,000	8,400	7,200
MINIMUM LOT WIDTH (FT)*	100	80	70	70	60
MINIMUM LOT DEPTH (FT)	130	120	115	110	110
FRONT BUILDING SETBACK (FT)	25	20	20	20	20
REAR BUILDING SETBACK (FT)	25	20	20	20	20
SIDE BUILDING SETBACK - INTERIOR (FT)	15	6	6	6	6
SIDE BUILDING SETBACK - CORNER (FT)	15	15	15	15	15
MAXIMUM BUILDING HEIGHT	35 FEET / 2.5 STORIES				
MAXIMUM LOT COVERAGE (%)	50	65	65	65	65

*Measured at front building setback

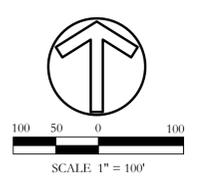
OPEN SPACE	ACRES
FLOOD PLAIN	29.72
OTHER	12.93
TOTAL	42.65

OPEN SPACE RATIO*	
[(29.72/2) + 12.93] / 93.97 =	29.6%

*ASSUMING HALF OF FLOODPLAIN

CONCEPT PLAN VALLIS GREENE 93.97 ACRES ROCKWALL TEXAS

LOT TYPE	MIN. LOT AREA (SF)
A	13,000
B	10,000
C	9,000
D	8,400
E	7,200





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 23022-010

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1649 FM 1141, Rockwall, TX 75087

SUBDIVISION ABS A0122, MB Jones, Tract 4-01 LOT BLOCK

GENERAL LOCATION Approximately 1250 feet east of the intersection John King and FM 1141 South of 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agricultural CURRENT USE Agricultural

PROPOSED ZONING Planned Development District PROPOSED USE Single Family

ACREAGE 93.97 LOTS [CURRENT] 1 LOTS [PROPOSED] 182

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Mike Peoples APPLICANT Michael Joyce Properties

CONTACT PERSON Mike Peoples CONTACT PERSON Ryan Joyce

ADDRESS 1850 FM 1141 ADDRESS 767 Justin Rd

CITY, STATE & ZIP Rockwall, TX 75087 CITY, STATE & ZIP Rockwall, TX 75087

PHONE PHONE 512-965-6280

E-MAIL E-MAIL ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Peoples [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF Feb, 20 22. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

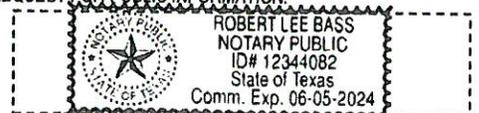
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF Feb, 20 22

OWNER'S SIGNATURE

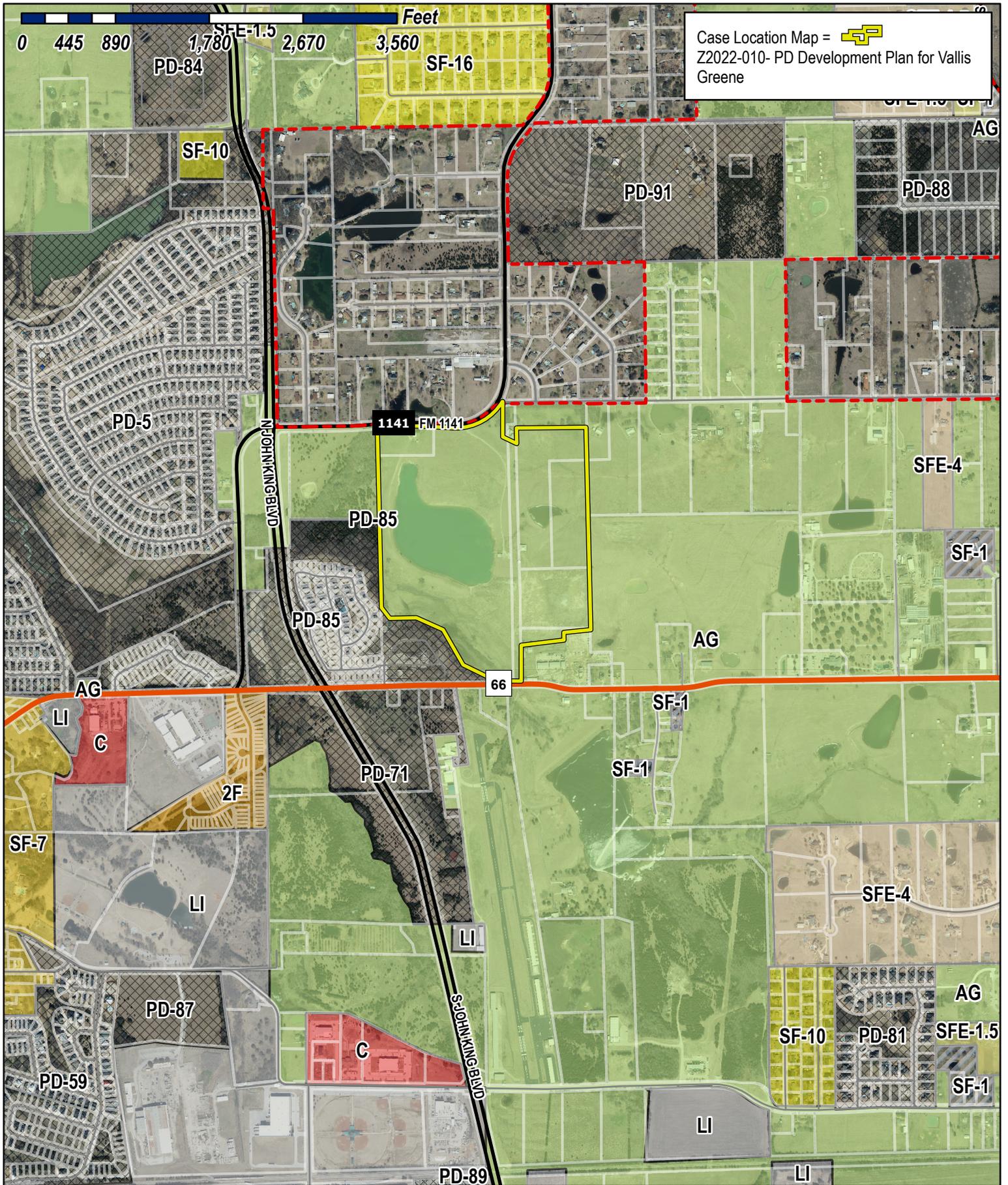
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

TEXAS



MY COMMISSION EXPIRES 06-05-2024



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

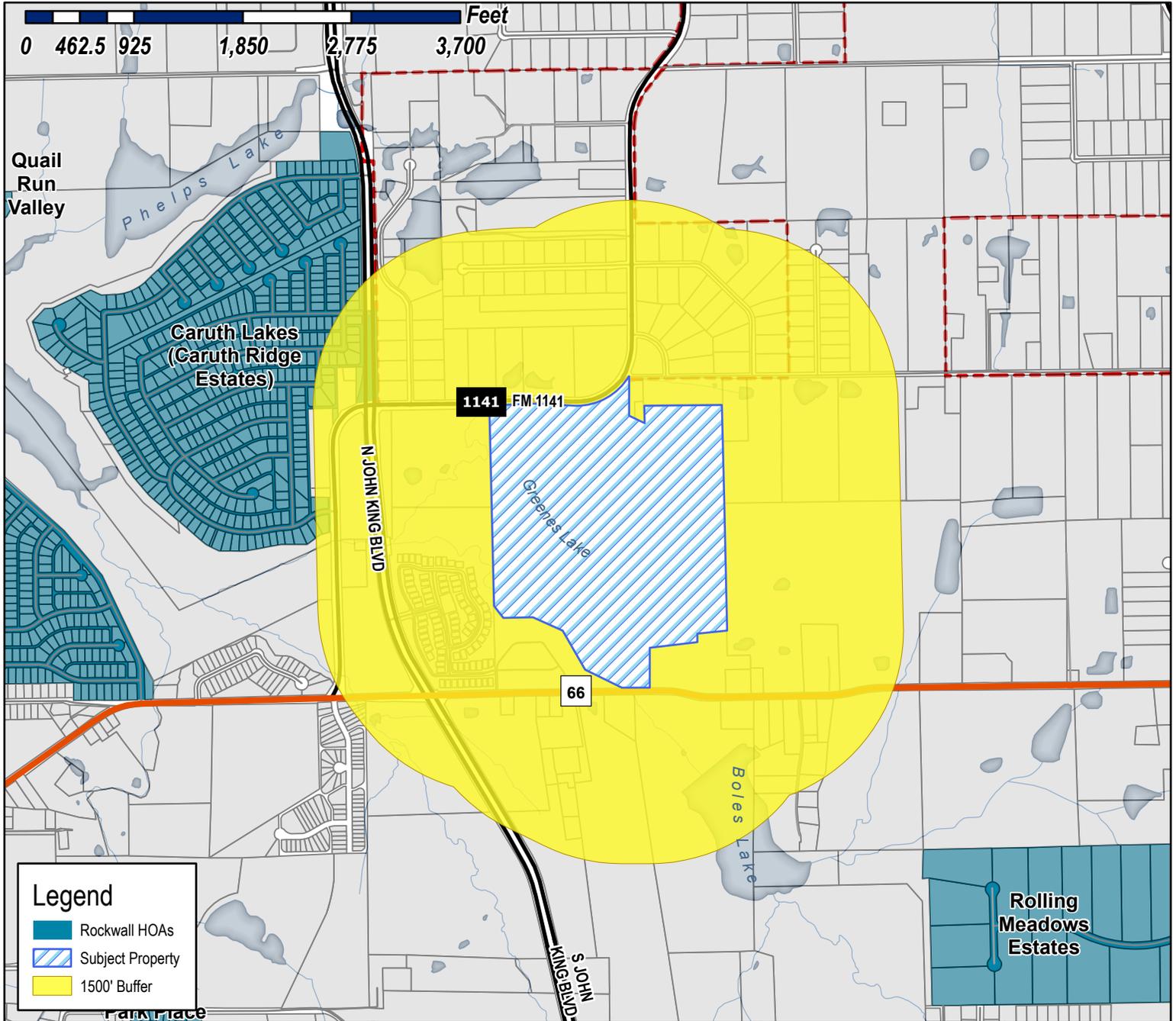




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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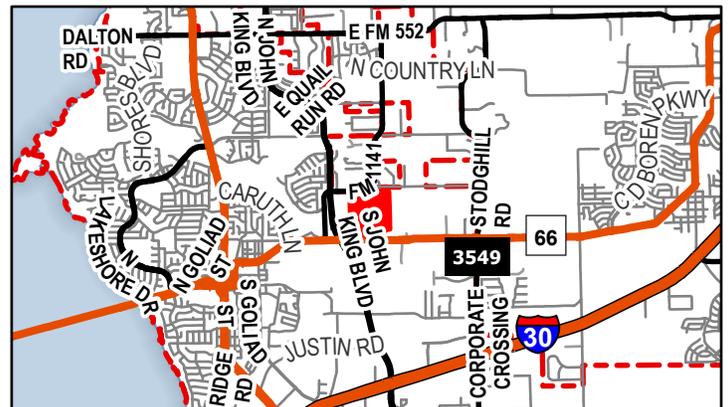


Legend

- Rockwall HOAs
- Subject Property
- 1500' Buffer

Case Number: Z2022-010
Case Name: PD Development Plan for Vallis Greene
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 1649 FM 1141

Date Saved: 2/18/2022
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, February 23, 2022 2:27 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2022-010]
Attachments: Public Notice (02.23.2022).pdf; HOA Map (02.22.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *February 25, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-010: Zoning Change from AG to PD

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 93.97-acre tract of land identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1936 SH-66, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

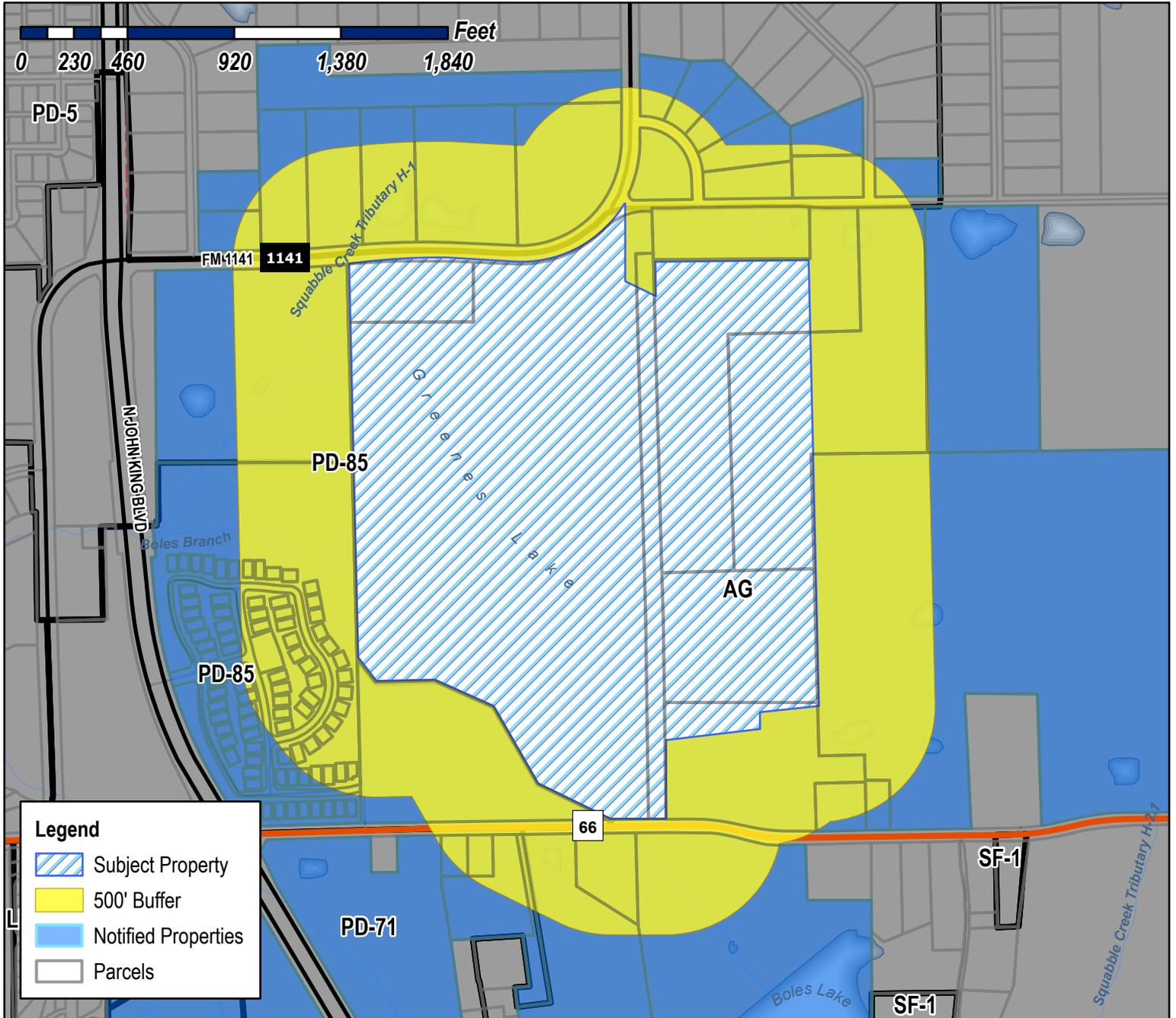
This email was scanned by Bitdefender



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Legend

- Subject Property
- 500' Buffer
- Notified Properties
- Parcels

Case Number: Z2022-010
Case Name: PD Development Plan for Vallis Greene
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 1649 FM 1141

Date Saved: 2/18/2022
 For Questions on this Case Call (972) 771-7745



MAUTNER ERNESTO & BEATRICE
103 N GREENPRINT CIRCLE
TOMBALL, TX 76262

BROWN LARRY MELVIN & MARSHA LIZBETH
1042 LAKE SHORE DR
MESQUITE, TX

SEE BETTY
110 WESTMINISTER
ROCKWALL, TX 75032

PEOPLES MIKE L
111 CORNELIUS RD
ROCKWALL, TX 75087

RATLIFF JENNIFER L
123 HARKER TRAIL
ROCKWALL, TX 75087

ANDRULAT ALEC J AND VERONICA BITZ
124 HARKER TR
ROCKWALL, TX 75087

MCKEE MARK D
131 MEADOWLARK CIR
ROCKWALL, TX 75087

SQUIER NATALIE
153 MEADOWLARK CIRCLE
ROCKWALL, TX 75087

HAMPTON ELDEN L
1530 FM 1141
ROCKWALL, TX 75087

GRIFFITH JESSE JOHN AND SARAH KRISTIN
1578 FM 1141
ROCKWALL, TX 75087

WHYDE KIMBERLY
1602 ENCANTO TRAIL
ROCKWALL, TX

GIAMPAPA SANTO AND SUSAN
1606 ENCANTO TRL
ROCKWALL, TX

SANDKNOP LES T AND CLAUDIA J
1614 ENCANTO TRAIL
ROCKWALL, TX

SHANNON STANLEY W
162 HARKER TRL
ROCKWALL, TX 75087

DENNEY DENNIS W & LINDA L
162 MEADOWLARK CIR
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
1620 MADRID WAY
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
1624 MADRID WAY
ROCKWALL, TX 75087

RW LADERA LLC
1628 MADRID WAY
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORPORATION
ATTN BILL BRICKER
1630 WILLIAMS
ROCKWALL, TX 75087

RW LADERA LLC
1632 MADRID WAY
ROCKWALL, TX 75087

RW LADERA LLC
1636 MADRID WAY
ROCKWALL, TX 75087

HUDDIN RYAN S AND JADA
1666 FM 1141
ROCKWALL, TX 75087

PEOPLES MICHAEL L JR AND
SHERYL NEWMAN PEOPLES
1700 STATE HIGHWAY 66
ROCKWALL, TX 75087

CITY OF ROCKWALL
1701 AIRPORT RD
ROCKWALL, TX 75087

WAINNER MATTHEW CODY &
MELANIE RENEE HUMBLE
173 MEADOWLARK CIRCLE
ROCKWALL, TX 75087

SCHRAMM EDWIN W III & PATSY ANN
1895 FM 1141
ROCKWALL, TX 75087

PEOPLES MICHAEL L
1936 HWY 66
ROCKWALL, TX 75087

BELEW THOMAS E SR
DIANNE S CURREY
2 NORMAN TRL
ROCKWALL, TX 75087

PEOPLES MICHAEL L
2026 HWY 66
ROCKWALL, TX 75087

SALINAS HILSE S
2068 STATE HWY 66
ROCKWALL, TX 75087

GILLILAND TOMMY JOE
2098 WILLIAMS
ROCKWALL, TX 75087

RANDLE SUSAN AND DERRICE
226 CORNELIUS RD
ROCKWALL, TX 75087

CAIN FAMILY PARTNERSHIP LTD
2294 ESTATE HIGHWAY 66
ROCKWALL, TX 75087

PEOPLES MIKE
291 CORNELIUS RD
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORPORATION
ATTN BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

CAIN FAMILY PARTNERSHIP LTD
305 STONEBRIDGE DR
ROCKWALL, TX 75087

PEOPLES MIKE
333 CORNELIUS
ROCKWALL, TX 75087

RW LADERA LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX 76262

INTEGRITY RETIREMENT GROUP LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX 76262

DAVIS WILLIAM PAUL JR
510 TURTLE COVE BLVD STE 200
ROCKWALL, TX 75087

VACLAVIK JOHN AND MARCILE
610 W COLCHESTER DR
EAGLE, ID

RILEY RODNEY H & JANET E
802 RIO VISTA LN
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
806 RIO VISTA LN
ROCKWALL, TX 75087

RW LADERA LLC
810 RIO VISTA LN
ROCKWALL, TX 75087

RW LADERA LLC
814 RIO VISTA LN
ROCKWALL, TX 75087

ALDERMAN CLAUDETTE
815 RIO VISTA LANE
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
818 RIO VISTA LN
ROCKWALL, TX 75087

RW LADERA LLC
819 RIO VISTA LN
ROCKWALL, TX 75087

LANCASTER JAMES EVERETT JR &
GEORGIANA MARIE
820 BELLA DRIVE
ROCKWALL, TX 76262

RW LADERA LLC
822 RIO VISTA LN
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
825 BELLA CT
ROCKWALL, TX 75087

WALLACE MARTHA G
826 BELLA DRIVE
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
826 RIO VISTA LN
ROCKWALL, TX 75087

MAUTNER ERNESTO & BEATRICE
829 BELLA CT
ROCKWALL, TX 75087

EVANS MARY E
830 BELLA DRIVE
ROCKWALL, TX 76262

HUCK WALTER R AND MARY A
830 RIO VISTA LANE
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
831 RIO VISTA LN
ROCKWALL, TX 75087

RW LADERA LLC
833 BELLA CT
ROCKWALL, TX 75087

HOPKINS TEENA
834 BELLA DR
ROCKWALL, TX 76262

PAUL DAVID OLIVIER AND LYN DIANE OLIVIER
FAMILY REVOCABLE TRUST
LYN DIANE OLIVIER- SURVIVING TRUSTOR
834 RIO VISTA LANE
ROCKWALL, TX 75087

MURPHY DON & SHARON
837 BELLA DRIVE
ROCKWALL, TX 76262

RW LADERA LLC
837 RIO VISTA LN
ROCKWALL, TX 75087

HENDLEY BEVERLY
838 BELLA DRIVE
ROCKWALL, TX 75087

RW LADERA LLC
841 BELLA DR
ROCKWALL, TX 75087

RW LADERA LLC
841RIO VISTALN
ROCKWALL, TX 75087

HOWARD EDWARD L AND BRENDA S
902 RIO VISTA LN
ROCKWALL, TX

DELK JEANNETTE FREY
903 RIO VISTA LN
ROCKWALL, TX

HAMBLIN DONALD ELEX AND DEBORAH LUCILLE
905 RIO VISTA LN
ROCKWALL, TX

EASLEY PHYLLIS
909 RIO VISTA LANE
ROCKWALL, TX

JONES BRENDA K & SAM A
910 BELLA DR
ROCKWALL, TX

ROONEY CATHERINE
912 BELLA DR
ROCKWALL, TX

JOHN AND LYNNE MCMAHAN REVOCABLE
TRUST
JOHN AND LYNNE MCMAHAN- TRUSTEES
912 RIO VISTA LN
ROCKWALL, TX

BROCHON DELILIA A AND MARTIAL H
913 RIO VISTA LANE
ROCKWALL, TX

G & C DAVIS FAMILY 2013 TRUST
GREGORY A DAVIS AND CAROL L DAVIS - CO
TRUSTEES
916 RIO VISTA LN
ROCKWALL, TX

DIMISSEW SAMUEL
956 S WEATHERRED DR
RICHARDSON, TX 75080

LUKER LEO
P.O. BOX 1599
LYTLE, TX 78052

POTTER JOHN D ETUX
PO BOX 259
FATE, TX 75132

PEOPLES MICHAEL L
PO BOX 41
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-010: Zoning Change from AG to PD for Vallis Greene

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 93.97-acre tract of land identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1936 SH-66, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 15, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 21, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 21, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-010: Zoning Change from AG to PD for Vallis Greene

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



**JOHNSON VOLK
CONSULTING**

704 Central Parkway East | Suite 1200 | Plano, Texas 75074 | 972.201.3100

February 18, 2022

City of Rockwall
Planning Department
385 South Goliad
Rockwall, TX 75087

RE: Vallis Greene – Zoning Application

Dear Staff,

The purpose of this letter is to formally request a zoning change for the referenced property located south of FM 1141 and north of SH 66. The subject development will consist of +/-182 single family lots on a 93.97 acre tract. After meeting with staff at a Development Review Committee Meeting, the Concept Plan included with this submittal is representative of our proposed vision for the property.

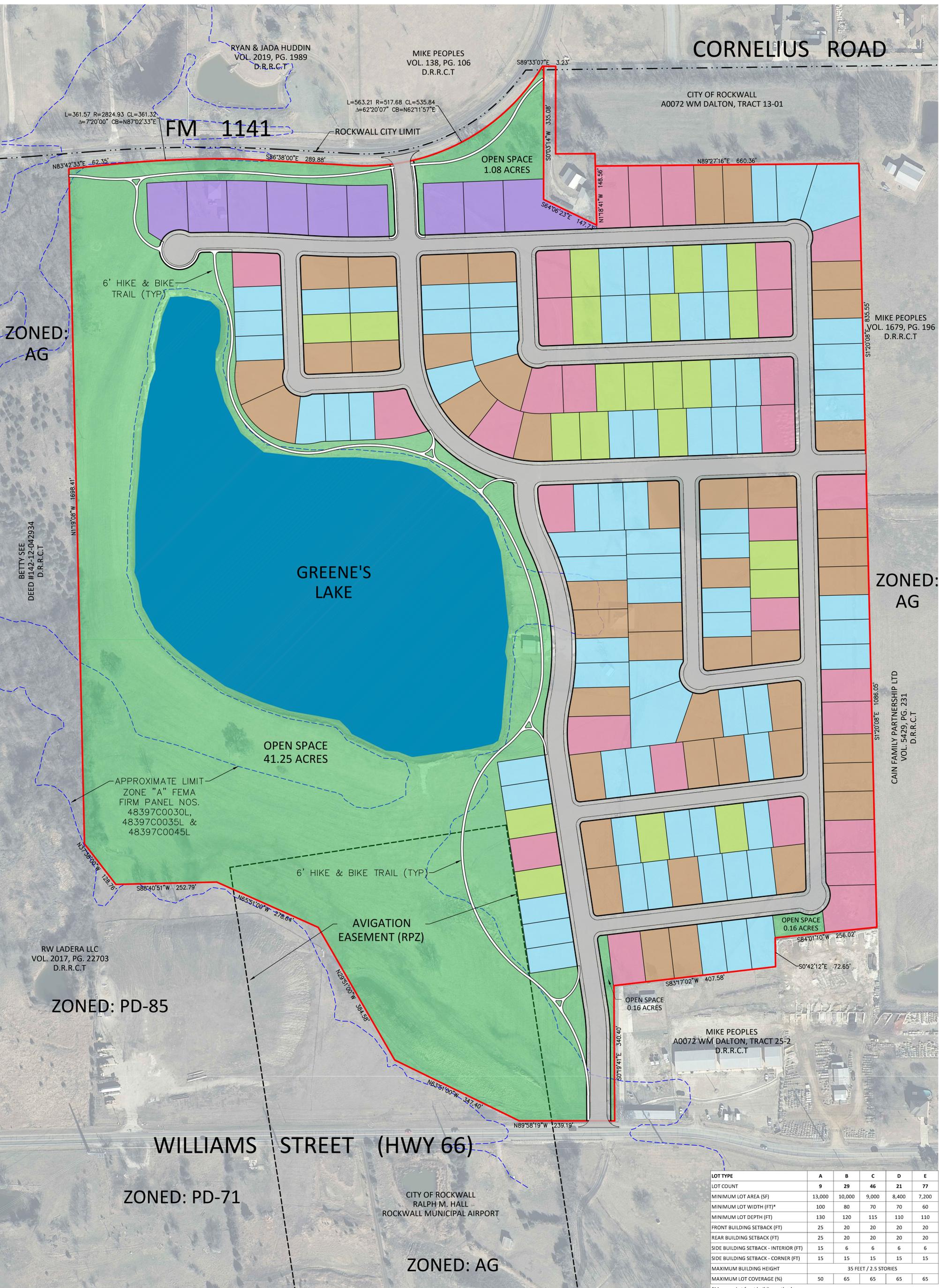
Please feel free to contact us if you have any questions regarding this project or application.

Sincerely,

Johnson Volk, Inc.

Tom Dayton, PE

CORNELIUS ROAD



ZONED: AG

MIKE PEOPLES VOL. 1679, PG. 196 D.R.R.C.T

ZONED: AG

CAIN FAMILY PARTNERSHIP LTD VOL. 5429, PG. 231 D.R.R.C.T

RW LADERA LLC VOL. 2017, PG. 22703 D.R.R.C.T
ZONED: PD-85

ZONED: PD-71

ZONED: AG

LOT TYPE	A	B	C	D	E
LOT COUNT	9	29	46	21	77
MINIMUM LOT AREA (SF)	13,000	10,000	9,000	8,400	7,200
MINIMUM LOT WIDTH (FT)*	100	80	70	70	60
MINIMUM LOT DEPTH (FT)	130	120	115	110	110
FRONT BUILDING SETBACK (FT)	25	20	20	20	20
REAR BUILDING SETBACK (FT)	25	20	20	20	20
SIDE BUILDING SETBACK - INTERIOR (FT)	15	6	6	6	6
SIDE BUILDING SETBACK - CORNER (FT)	15	15	15	15	15
MAXIMUM BUILDING HEIGHT	35 FEET / 2.5 STORIES				
MAXIMUM LOT COVERAGE (%)	50	65	65	65	65

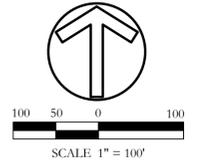
*Measured at front building setback

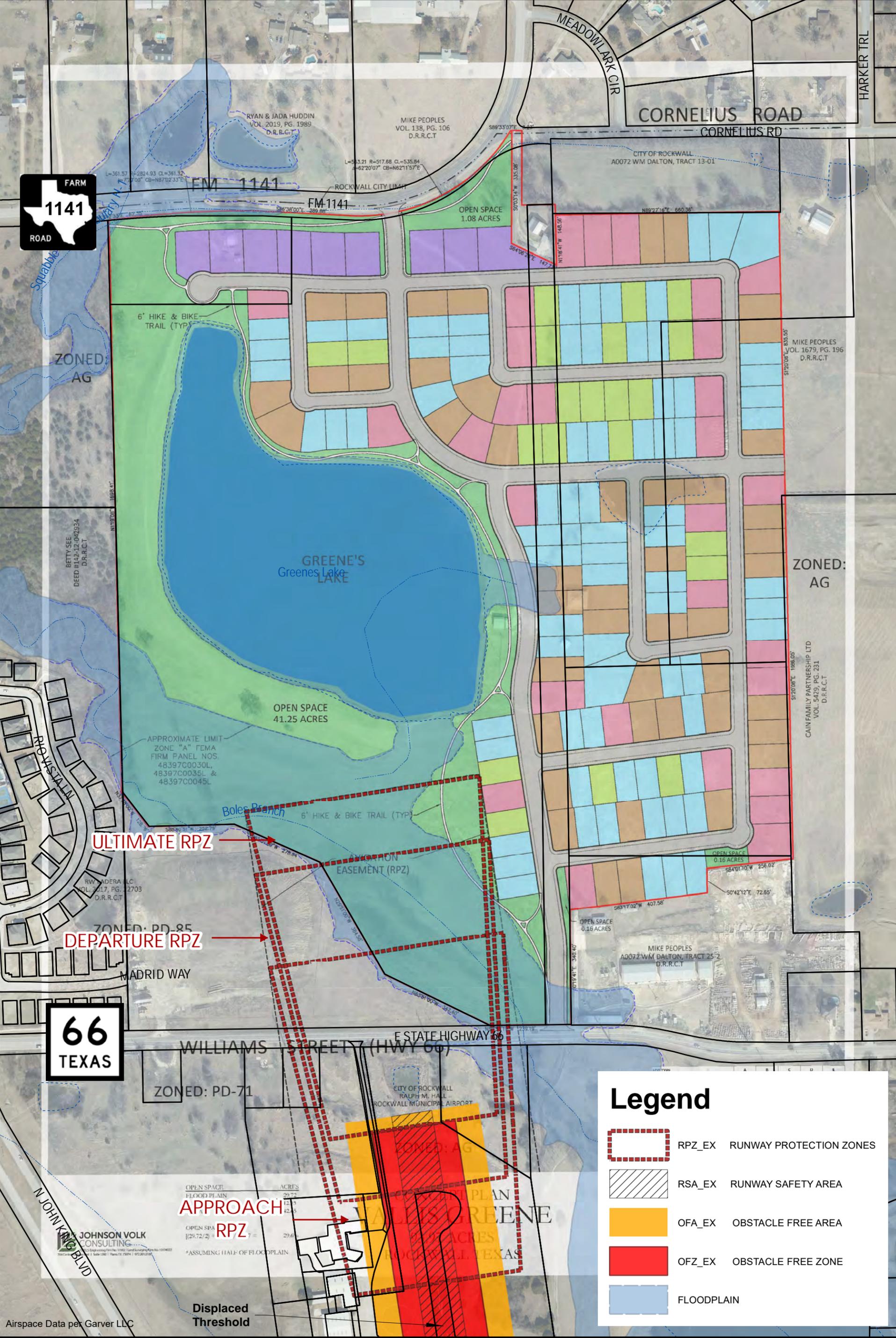
OPEN SPACE	ACRES
FLOOD PLAIN	29.72
OTHER	12.93
TOTAL	42.65

OPEN SPACE RATIO*
 $[(29.72/2) + 12.93] / 93.97 = 29.6\%$
 *ASSUMING HALF OF FLOODPLAIN

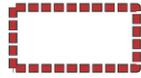
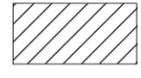
CONCEPT PLAN VALLIS GREENE 93.97 ACRES ROCKWALL TEXAS

LOT TYPE	MIN. LOT AREA (SF)
A	13,000
B	10,000
C	9,000
D	8,400
E	7,200



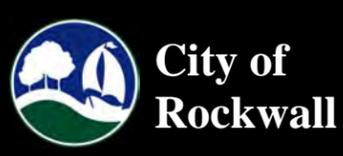


Legend

-  RPZ_EX RUNWAY PROTECTION ZONES
-  RSA_EX RUNWAY SAFETY AREA
-  OFA_EX OBSTACLE FREE AREA
-  OFZ_EX OBSTACLE FREE ZONE
-  FLOODPLAIN

OPEN SPACE	FLOOD PLAIN	ACRES
APPROACH RPZ		29.72
DEPARTURE RPZ		12.13
ULTIMATE RPZ		42.45
APPROACH RPZ		29.6
DEPARTURE RPZ		7 =

*ASSUMING HALF OF FLOODPLAIN



The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All information is provided 'As Is' with no warranty being made, either expressed or implied.

VALLIS GREENE ADDITION AIRPORT RPZ NORTH

Density and Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District document, the following uses are permitted on the *Subject Property*:
 - (a) Residential Land Uses. Residential land uses shall be allowed only within the area designated for residential lots as depicted on the *Concept Plan* in *Exhibit 'A'* of this document. These areas are limited to those uses permit *by-right* or by Specific Use Permit (SUP) for the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

- (2) Residential Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'A'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	100' x 130'	13,000 SF	9	04.95%
B	82' x 120'	10,000 SF	31	17.03%
C	72' x 110'	9, 000 SF	42	23.08%
D	72' x 110'	8,400 SF	23	12.64%
E	62' x 110'	7,200 SF	77	42.30%
<i>Maximum Permitted Units:</i>			182	100.00%

- (3) Variation in Residential Lot Composition. The allocation of single-family residential lot types may deviate from that in Subsection (2), *Residential Lot Composition and Layout*, provided that the maximum allowed total dwelling units does not exceed 182 units provided [1] a minimum of 57.69% of the total lot count be comprised of *Lot Types 'A', 'B', 'C' & 'D'*, [2] a maximum of 9 *Lot Type 'A'* lots and 31 *Lot Type 'B'* lots are provided, and [3] a maximum of 42.30% *Lot Type 'E'* lots can be provided.
- (4) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District document, the development standards stipulated for the *Subject Property* shall be as follows:
 - (a) Residential. Except as modified by this Planned Development District document, residential land uses on the *Subject Property* shall be required to meet the development standards for the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC). The maximum permissible density for the *Subject Property* shall not exceed 1.98 dwelling units per gross acre of land; however, in no case should the proposed development exceed 182 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Density and Development Standards

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ►	A	B	C	D	E
Minimum Lot Width ⁽¹⁾	100'	82'	72'	72'	65'
Minimum Lot Depth	130'	120'	110'	110'	110'
Minimum Lot Area (SF)	13,000	10,000	9,000	8,400	7,200
Minimum Front Yard Setback ^{(2), (5) & (6)}	20'	20'	20'	20'	20'
Minimum Side Yard Setback	10'	6'	6'	6'	6'
Minimum Side Yard Setback (Adjacent to a Street) ^{(2) & (5)}	10'	10'	10'	10'	10'
Minimum Length of Driveway Pavement	20'	20'	20'	20'	20'
Maximum Height ⁽³⁾	35'	35'	35'	35'	35'
Minimum Rear Yard Setback ⁽⁴⁾	10'	10'	10'	10'	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	2,200	2,200	2,200	2,000	2,000
Maximum Lot Coverage	65'	65'	65'	65'	65'

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not be on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.

(5) **Building Standards for Residential.** All residential development shall adhere to the following building standards:

- (a) **Masonry Requirement.** The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*); however, no individual façade shall be less than 85% masonry. For the purposes of this document, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 50% of the masonry requirement; however, a Specific Use Permit (SUP) may be requested for housing plans that utilize cementitious fiberboard in excess of 50% of the masonry requirement.

Density and Development Standards

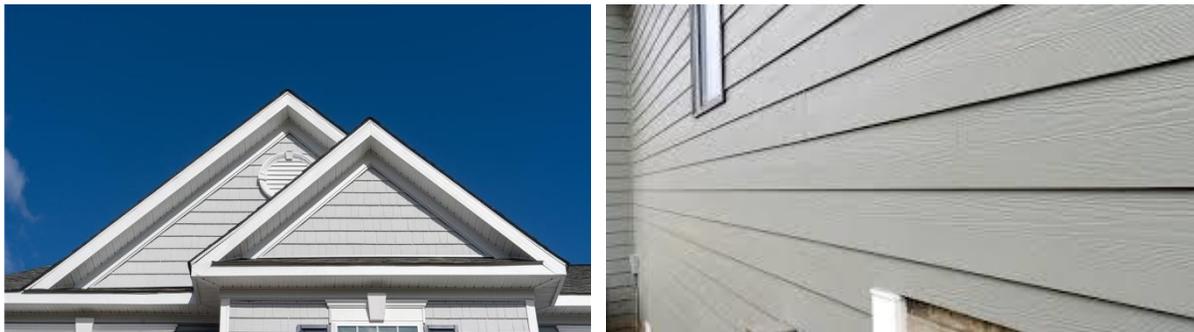
Examples of Cementitious Fiberboard



Examples of Board and Batten



Examples of Horizontal Lap



(b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.

(c) Garage Orientation and Garage Doors. A total of 50% of all garages may be oriented toward the street in a *Front Entry* garage configuration; however, the front façade of

Density and Development Standards

the garage must be situated a minimum of five (5) feet behind the front façade of the primary structure. The remaining 50% of all garages shall be oriented in a *J-Swing (or Traditional Swing)* configuration or be situated a minimum of 20-feet behind the front façade of the home. In addition, the following architectural elements must be incorporated into all garage configurations: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, and [3] driveways must be constructed with ornamental stamped concrete brick pavers, broom finished, or salt finish. An example of a garage door meeting these standards is depicted in *Figure 1*.

Figure 1. Examples of Enhanced Wood Garage Door



- (6) *Anti-Monotony Restrictions*. The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (for spacing requirements see *Figures 3 & 4* below).

Table 3: Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	100' x 130'	(1), (2), (3), (4)
B	82' x 120'	(1), (2), (3), (4)
C	72' x 110'	(1), (2), (3), (4)
D	72' x 110'	(1), (2), (3), (4)
E	62' x 110'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, FM-549 or Wylie Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

- (1) Number of Stories

Density and Development Standards

- (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 3: Properties line up on the opposite side of the street. Where **RED** is the subject property.



Figure 4: Properties do not line up on opposite side of the street. Where **RED** is the subject property.



- (7) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
 - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel.

Density and Development Standards

All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.

- (c) *Wrought Iron/Tubular Steel*. Lots located along the perimeter of roadways (*i.e. FM-1141*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height. Lots one hundred (100) feet and larger shall be a utilize wrought iron/tubular steel fencing exclusively. In the event a 100' lot adjoins an existing home, privacy / wood fencing shall be allowed on the shared property lines with an existing home.
 - (d) *Corner Lots*. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (e) *Solid Fences (including Wood Fences)*. All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
 - (f) *Fence in Easements*. No fencing shall be constructed in or across North Texas Municipal Water District (NTMWD) and/or City of Rockwall's easements.
- (8) *Landscape and Hardscape Standards*.
- (a) *Landscape*. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
 - (b) *Landscape Buffers*. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
- (1) *Landscape Buffer and Sidewalks (FM-1141)*. A minimum of a 30-foot landscape buffer shall be provided along FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the frontage adjacent to residential lots. Berms and shrubbery shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.

Density and Development Standards

A meandering six (6) foot trail shall be constructed within the 30-foot landscape buffer.

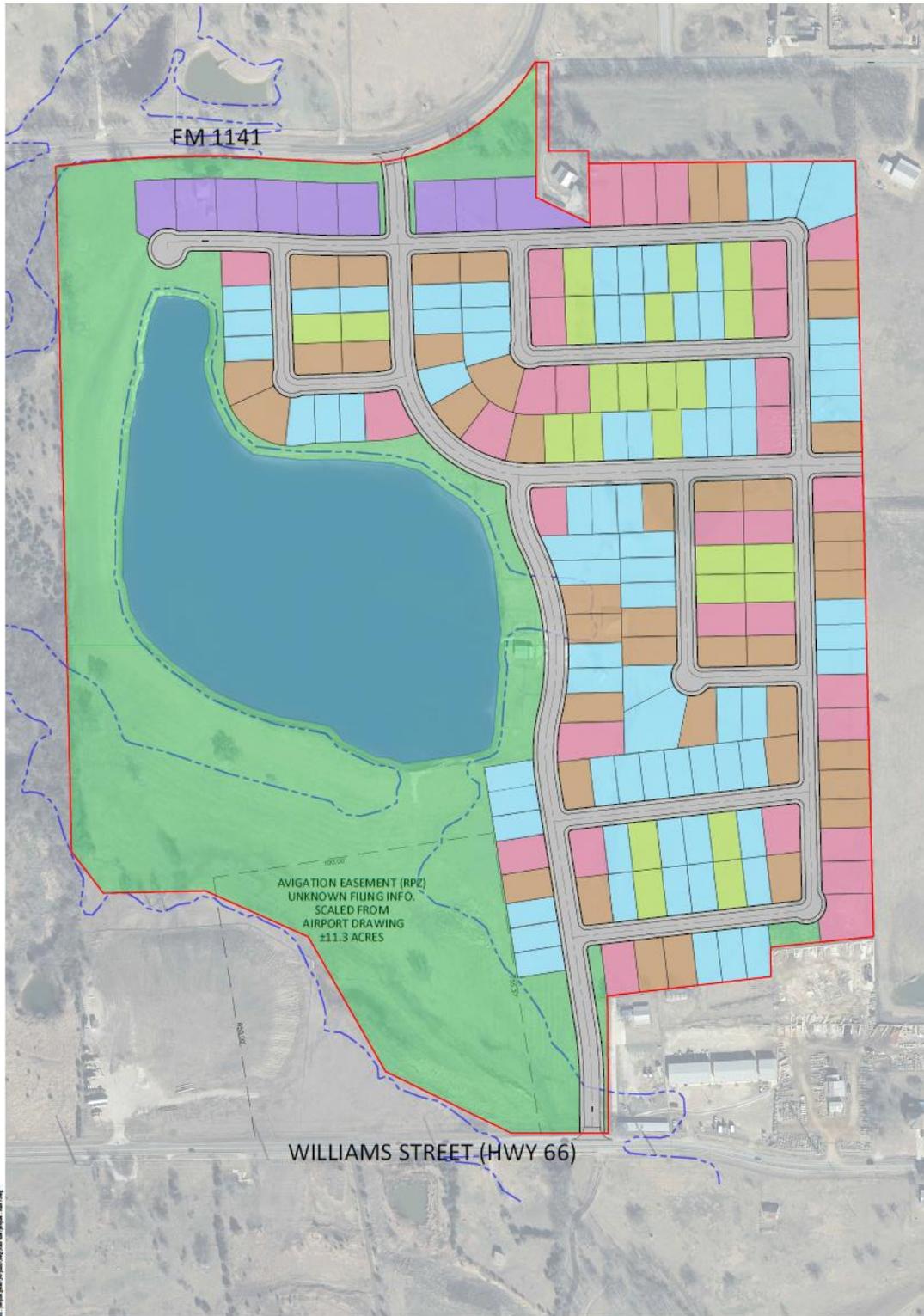
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'A'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (9) Street. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (10) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (11) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be a minimum of five (5) feet in overall width.
- (12) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (13) Open Space/Public Park. The development shall consist of a minimum of 20% open space (*or a minimum of 18.794-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'A'* of this document.

Density and Development Standards

- (14) Trails. A minimum of a six (6) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'A'* of this document.
- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), detention and drainage easements, floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) VariANCES. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this document.

Density and Development Standards

Exhibit 'A'



AREA	ACRES
SITE	94.9
FLOOD PLAIN	29.7
AVIGATION EASEMENT (A.E.)	7.1
A.E. OUTSIDE FLOODPLAIN	0.9
TOTAL A.E. + FLOODPLAIN	38.8
NET DEVELOPABLE AREA	63.2

CONCEPT SKETCH
PEOPLES TRACT
 93.97 ACRES
 ROCKWALL, TEXAS

LOT SIZE	QTY.
11,000	9
10,000	31
9,000	42
8,400	23
7,200	77
TOTAL	182



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CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 93.97-ACRE TRACT OF LAND IDENTIFIED AS TRACT 4-01 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryan Joyce of the Michael Joyce Properties on behalf of Mike Peoples for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, on a 93.97-acre tract of land identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1936 SH-66, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached

hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

(g) Final Plat. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF JULY, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 21, 2022

2nd Reading: April 4, 2022

Exhibit 'A':
Legal Description

LEGAL DESCRIPTION

DRAFT
ORDINANCE
02.28.2022

SURVEY

DRAFT
ORDINANCE
02.28.2022

**Exhibit 'D':
Density and Development Standards**

DENSITY AND DEVELOPMENT STANDARDS.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	100' x 130'	13,000 SF	9	04.95%
B	82' x 120'	10,000 SF	31	17.03%
C	72' x 110'	9,000 SF	42	23.08%
D	72' x 110'	8,400 SF	23	12.64%
E	62' x 110'	7,200 SF	77	42.31%
<i>Maximum Permitted Units:</i>			182	100.00%

- (3) Variation in Residential Lot Composition. The allocation of single-family residential lot types may deviate from the that in Subsection (2), *Residential Lot Composition and Layout*, of this ordinance provided that the maximum allowed total dwelling units does not exceed 182 units provided [1] a minimum of 57.69% of the total lot count be comprised of *Lot Types 'A', 'B', 'C' & 'D'*, [2] a minimum of nine (9) *Lot Type 'A'* and 31 *Lot Type 'B'* lots are provided, and [3] a maximum of 42.30% *Lot Type 'E'* lots can be provided.
- (4) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 1.93 dwelling units per gross acre of land; however, in no case should the proposed development exceed 182 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ▶	A	B	C	D	E
<i>Minimum Lot Width</i> ⁽¹⁾	100'	82'	72'	72'	65'
<i>Minimum Lot Depth</i>	130'	120'	110'	110'	110'
<i>Minimum Lot Area</i>	13,000 SF	10,000 SF	9,000 SF	8,400 SF	7,200 SF
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	20'	20'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	10'	6'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2), (5) & (7)}	10'	10'	10'	10'	10'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	35'	35'	35'	35'	35'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,400 SF	2,200 SF	2,200 SF	2,200 SF	2,000 SF
<i>Maximum Lot Coverage</i>	45'	45'	45'	65'	65'

General Notes:

- ^{1:} Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ^{2:} The location of the *Front Yard Building Setback* as measured from the front property line.
- ^{3:} The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.

Exhibit 'D':
Density and Development Standards

- 4: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* and *Side Yard Building Setback* by up to five (5) feet for any property. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a minimum of five (5) feet.
- 7: All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (*i.e. a Keystone Lot*), shall have a setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.

(5) **Building Standards**. All development shall adhere to the following building standards:

- (a) **Masonry Requirement**. The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (see *examples below*) may be used for up to 80% of the masonry requirement; however, administrative from the Director of Planning and Zoning approval may be requested for housing plans that utilize cementitious fiberboard in excess of 80% of the masonry requirement on a *case-by-case* basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



Exhibit 'D':
Density and Development Standards

FIGURE 3: EXAMPLES OF HORIZONTAL LAP



- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. A total of 50% of all garages may be oriented toward the street in a *Front Entry* garage configuration; however, the front façade of the garage must be situated a minimum of five (5) feet behind the front façade of the primary structure. The remaining 50% of all garages shall be oriented in a *J-Swing* (or *Traditional Swing*) configuration or be situated a minimum of 20-feet behind the front façade of the home. In addition, all garage configurations shall have upgraded finishes that consist of the following architectural elements: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, and [3] driveways that are constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished [see *Figures 4-6* for examples of upgraded or enhanced finishes].

FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR



Exhibit 'D':
Density and Development Standards

FIGURE 5: EXAMPLES OF UPGRADED FINISHES



FIGURE 6: EXAMPLES OF UPGRADED FINISHES



- (6) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 7 & 8 below).

TABLE 3: ANTI-MONOTONY MATRIX

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	13,000 SF	(1), (2), (3), (4)
B	10,000 SF	(1), (2), (3), (4)
C	9,000 SF	(1), (2), (3), (4)
D	8,400 SF	(1), (2), (3), (4)
E	7,200 SF	(1), (2), (3), (4)

Exhibit 'D':
Density and Development Standards

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open space, Cornelius Road, FM-1141, or SH-66 shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

FIGURE 7: Properties line up on the opposite side of the street. Where RED is the subject property.



FIGURE 8: Properties do not line up on opposite side of the street. Where RED is the subject property.



Exhibit 'D':
Density and Development Standards

- (7) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
 - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
 - (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. FM-1141, Cornelius Road, and SH-66*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height. The *Lot Type 'A'* lots shall be required to utilize wrought iron/tubular steel fencing. In the event that a *Lot Type 'A'* lot adjoins an existing home that has a wood fence, the wood fence shall be permitted to remain on the shared property line and serve both homes.
 - (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-foot off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board* panel fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
 - (f) Fence in Easements. No fencing shall be constructed in or across a North Texas Municipal Water District (NTMWD) easement and/or an easement of the City of Rockwall.
- (8) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. All shrubs shall be a minimum of five (5) gallons in size. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall be required to plant an additional row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).

Exhibit 'D':
Density and Development Standards

- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
- (1) Landscape Buffer and Sidewalks (FM-1141). A minimum of a 30-foot landscape buffer shall be provided along FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot trail shall be constructed within the 30-foot landscape buffer.
 - (2) Landscape Buffer and Sidewalks (SH-66). A minimum of a 30-foot landscape buffer shall be provided along SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot trail shall be constructed within the 30-foot landscape buffer.
 - (3) Landscape Buffers (Adjacent to Open Space). A minimum of a ten (10) foot landscape buffer shall be provided along streets that have frontage on open space. This landscape buffer shall incorporate one (1) canopy tree and one (1) accent tree per 50-feet of linear frontage.
 - (4) Landscape Buffer (Adjacent to the Properties Along the Southern Boundary). A heavy landscape area with a minimum of a 20-foot landscape buffer (*i.e. indicated in Exhibit 'C'*) shall be provided adjacent to the properties backing to the non-residential land uses along the southern boundary of the subject property. This landscape area shall consist of a solid living screen utilizing evergreen trees -- *either Eastern Red Cedar or Leland Cypress unless approved otherwise approved by the Director of Planning and Zoning --*, a minimum of four (4) caliper inches in size, that will be planted on ten (10) foot centers along the entire adjacency.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.

Exhibit 'D':
Density and Development Standards

- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (9) Street. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (10) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (11) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (12) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (13) Open Space/Public Park. The development shall consist of a minimum of 20% open space (*or a minimum of 18.794-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the Concept Plan contained in *Exhibit 'C'* of this ordinance.
- (14) Trails. A minimum of a six (6) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance.
- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*; however, the signage should be equal to or better than the representative signage depicted in *Exhibit 'C'*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.

Exhibit 'D':
Density and Development Standards

- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

DRAFT
ORDINANCE
02.28.2022

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: Z2022-011
PROJECT NAME: Zoning Change from AG to C
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Ryan Miller
CASE MANAGER PHONE: 972-772-6441
CASE MANAGER EMAIL: miller@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a City initiated request for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 5.812-acre tract of land identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located at the southwest corner of the intersection of FM-1141 and N. John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	02/24/2022	Approved w/ Comments

02/24/2022: Z2022-011; Zoning Change (AG to C)

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 5.812-acre tract of land identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, and located at the southwest corner of the intersection of FM-1141 and N. John King Boulevard.
- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.
- M.3 For reference, include the case number (Z2022-011) in the lower right-hand corner of all pages on future submittals.
- I.4 This zoning request is being initiated by the City in accordance with a 380 Economic Development Agreement to facilitate the swap of City land for a portion of the Runway Protection Zone (RPZ) of the Ralph Hall Municipal Airport. This request is being made in conformance with the OURHometown Vision 2040 Comprehensive Plan.
- M.5 Please review the attached Draft Ordinance prior to the February 28, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than March 7, 2022. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.
- I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on February 28, 2022.
- I.7 The projected City Council meeting dates for this case will be March 21, 2022 (1st Reading) and April 4, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Approved w/ Comments

02/24/2022: - 4% Engineering Inspection Fees

- Impact Fees
- Engineering plan review fees
- TXDOT permits required
- Extend an 8" water from north side of FM 1141 (at a 12" water line) along FM 1141, under FM 1141 and tie to 12" water line at Waters Edge Dr.
- Detention is required. Not in flood plain and no vertical walls allowed
- All site plans and engineering design must meet City's engineering standards.

- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems
- Minimum utility easement width is 20'
- Label distances between driveways (measured from edge to edge)
- Flood study will be required if "touching" the flood plain along with review fees
- Nothing allowed in flood plain
- 10' easements required FM 1141 and John King
- Must meet all City standards of design and construction.
- Engineering plan review fees apply.
- TIA will be required
- ROW dedication maybe needed for FM 1141

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Ryan Miller	02/24/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/24/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Ryan Miller	02/24/2022	N/A

No Comments

SURVEY: M. JONES SURVEY, ABSTRACT NO. 122

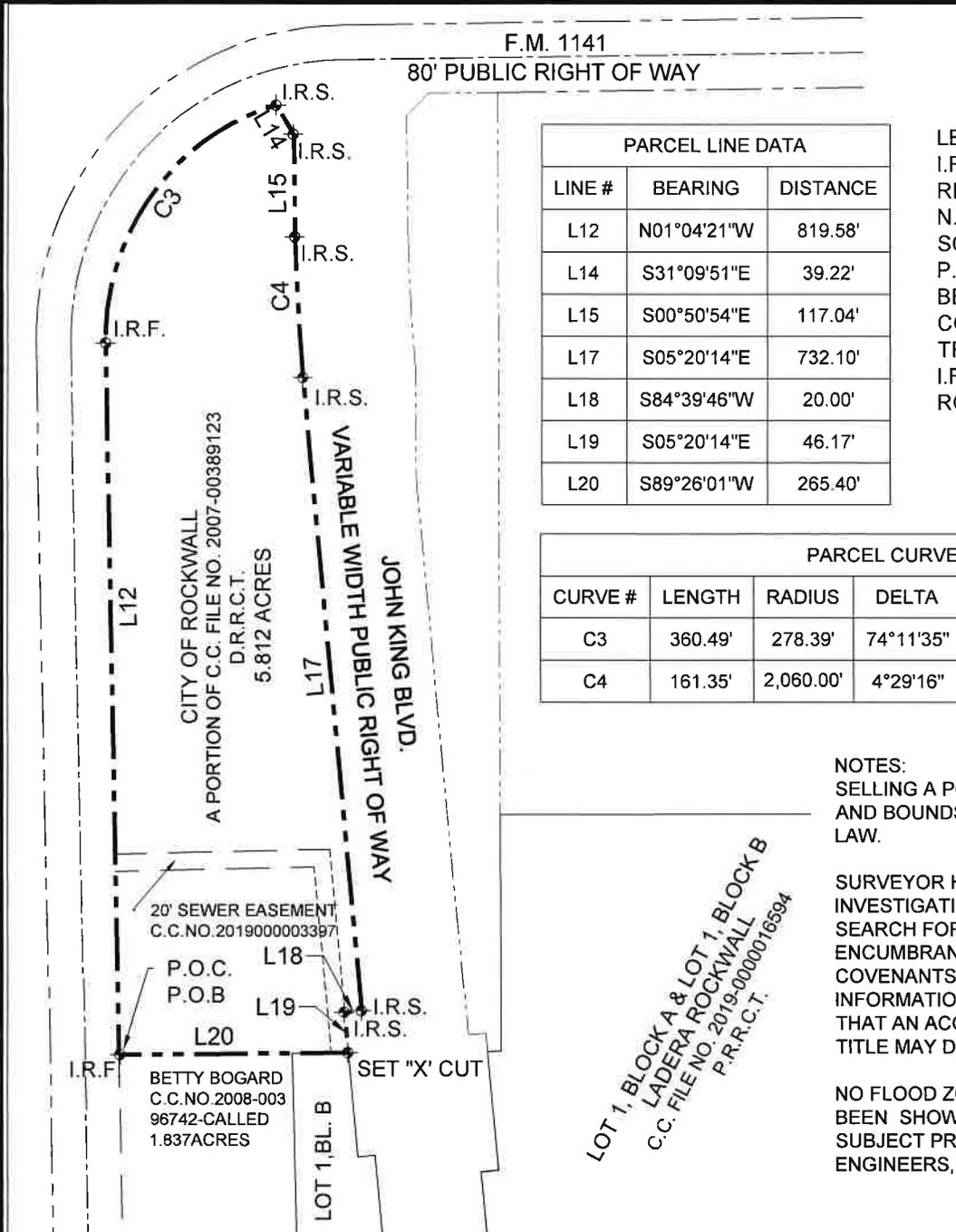
LOCATION: CITY OF ROCKWALL, TX

PARCEL PLAT- EXHIBIT "A"

**PROPERTY SURVEY
CITY OF ROCKWALL, TEXAS**

BEING A PORTION OF
C.C. FILE NO. 2007-00389123
D.R.R.C.T.

NOTE: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE TEXAS STATE PLANE NAD83 NORTH CENTRAL ZONE (4202)



PARCEL LINE DATA		
LINE #	BEARING	DISTANCE
L12	N01°04'21"W	819.58'
L14	S31°09'51"E	39.22'
L15	S00°50'54"E	117.04'
L17	S05°20'14"E	732.10'
L18	S84°39'46"W	20.00'
L19	S05°20'14"E	46.17'
L20	S89°26'01"W	265.40'

PARCEL CURVE DATA			
CURVE #	LENGTH	RADIUS	DELTA
C3	360.49'	278.39'	74°11'35"
C4	161.35'	2,060.00'	4°29'16"

LEO
I.R.
RE
N.T
SC
P.C
BE
CO
TR
I.R.
RO

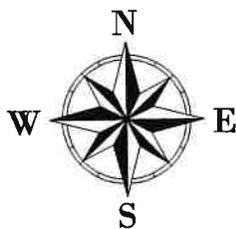
- 4% Engineering Inspection Fees
- Impact Fees
- Engineering plan review fees
- TXDOT permits required
- Extend an 8" water from north side of FM 1141 (at a 12" water line) along FM 1141, under FM 1141 and tie to 12" water line at Waters Edge Dr.
- Detention is required. Not in flood plain and no vertical walls allowed
- All site plans and engineering design must meet City's engineering standards.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems
- Minimum utility easement width is 20'
- Label distances between driveways (measured from edge to edge)
- Flood study will be required if "touching" the flood plain along with review fees
- Nothing allowed in flood plain
- 10' easements required FM 1141 and John King
- Must meet all City standards of design and construction.
- Engineering plan review fees apply.
- TIA will be required
- ROW dedication maybe needed for FM 1141

NOTES:
SELLING A PO
AND BOUNDS
LAW.

SURVEYOR HAS
INVESTIGATION
SEARCH FOR EASEMENTS OF RECORD,
ENCUMBRANCES, RESTRICTIVE
COVENANTS, OWNERSHIP TITLE
INFORMATION, OR ANY OTHER FACTS
THAT AN ACCURATE ABSTRACT OF
TITLE MAY DISCLOSE.

NO FLOOD ZONE INFORMATION HAS
BEEN SHOWN OR PERFORMED ON THE
SUBJECT PROPERTY BY BW2
ENGINEERS, INC.

LOT 1, BLOCK A & LOT 1, BLOCK B
LADERA ROCKWALL
C.C. FILE NO. 2019-0000016594
P.R.R.C.T.



BW2 ENGINEERS, INC.

1919 S. Shiloh Road
Suite 500, L.B. 27
Garland, Texas 75042
(972) 864-8200 (T) (972) 864-8220 (F)
Firm Registration No. F-5290



BW2 JOB NO: 19-1954

DRAWN BY: CEC

DATE: DECEMBER, 2019

CHECKED BY: CEC

18-1954/DRAWINGS/1954 SURVEY.DWG

PAGE 2 OF 2



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22022-011

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS AD122 M.B. JONES, TRACT 9

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION NWC OF FM 1141 ? N. JOHN KING BLVD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agricultural

CURRENT USE

VACANT

PROPOSED ZONING Commercial

PROPOSED USE

VACANT

ACREAGE 5.702

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER CITY OF ROCKWALL

APPLICANT RYAN MILLER

CONTACT PERSON RYAN MILLER

CONTACT PERSON "

ADDRESS 385 S. GOLIAD

ADDRESS 385 S. GOLIAD

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 972-771-7700

PHONE 972-772-6441

E-MAIL rmiller@rockwall.com

E-MAIL rmiller@rockwall.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

*** FEE IS WAIVED ***

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

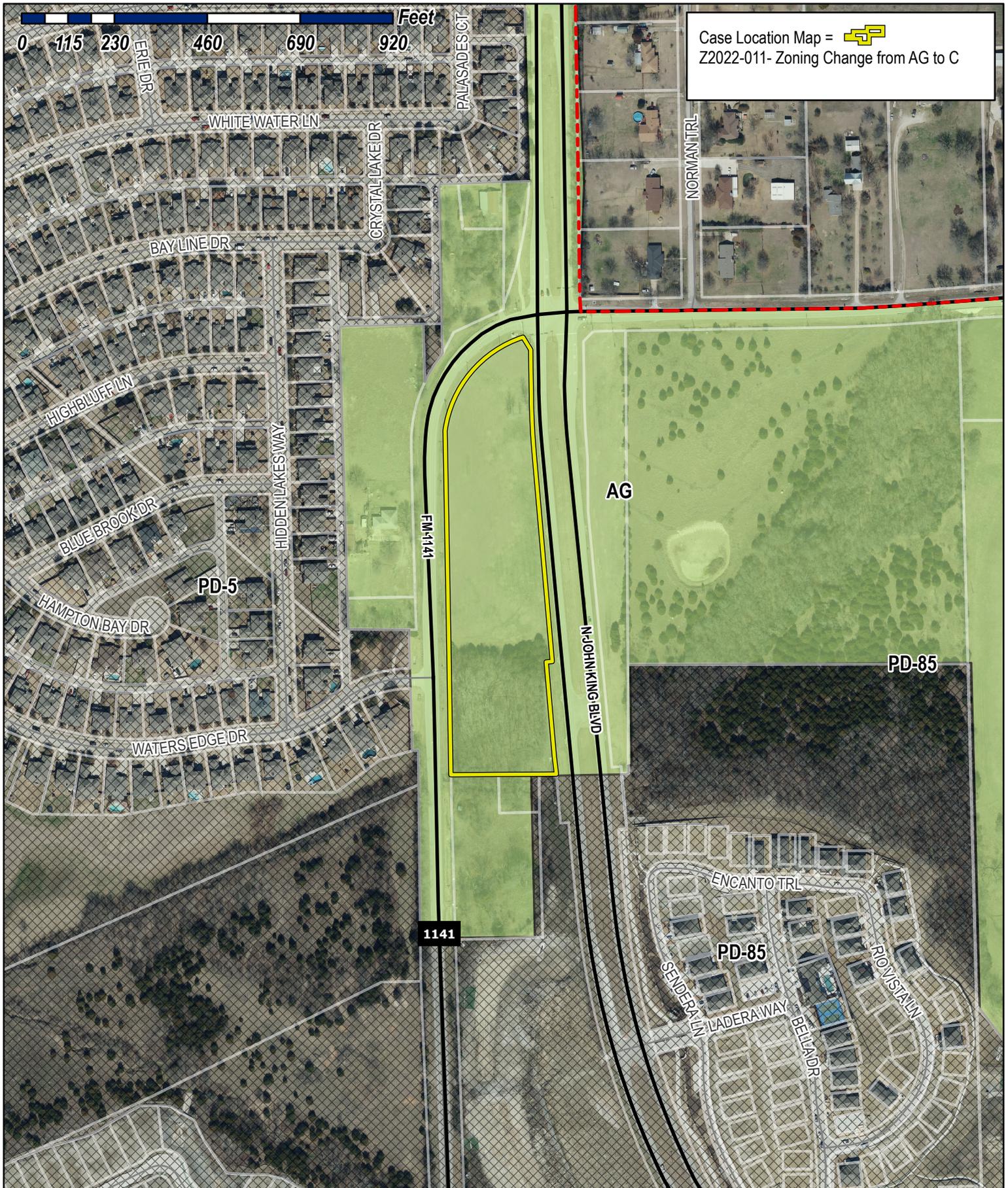
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

fyli

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

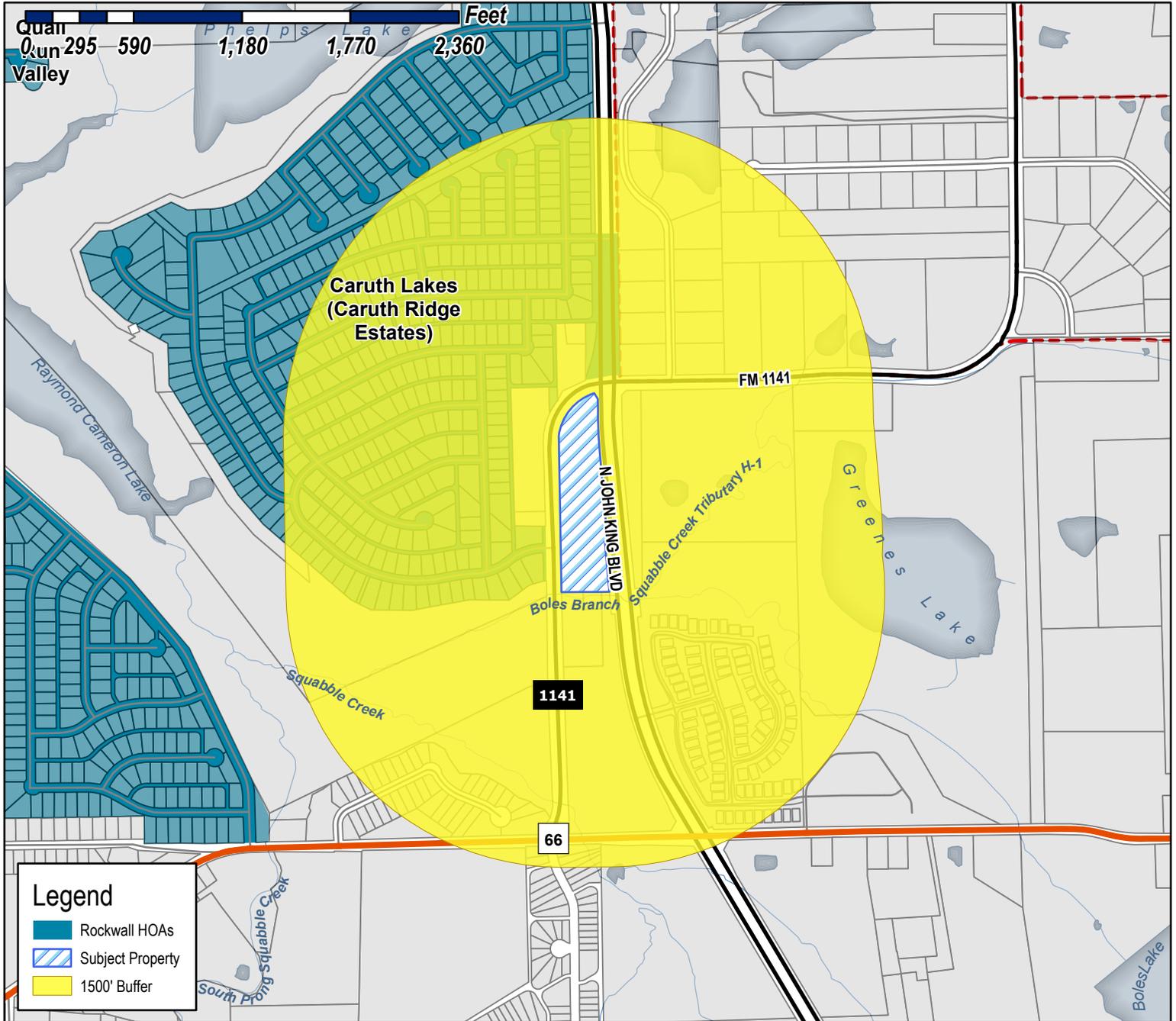




City of Rockwall

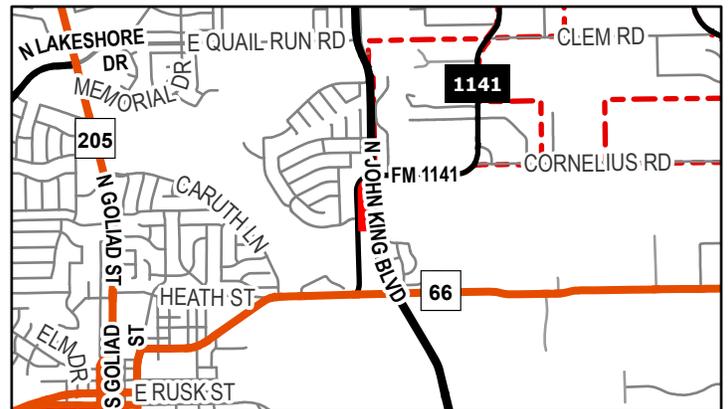
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2022-011
Case Name: Zoning Change from AG to C
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: NWC of FM 1141
 & N. John King Blvd.

Date Saved: 2/22/2022
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, February 23, 2022 2:26 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2022-011]
Attachments: Public Notice (02.23.2022).pdf; HOA Map (02.22.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *February 25, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-011: Zoning Change from AG to C

Hold a public hearing to discuss and consider a City initiated request for the approval of a *Zoning Change* from an Agricultural (AG) District to a Commercial (C) District for a 5.812-acre tract of land identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located at the southwest corner of the intersection of FM-1141 and N. John King Boulevard, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

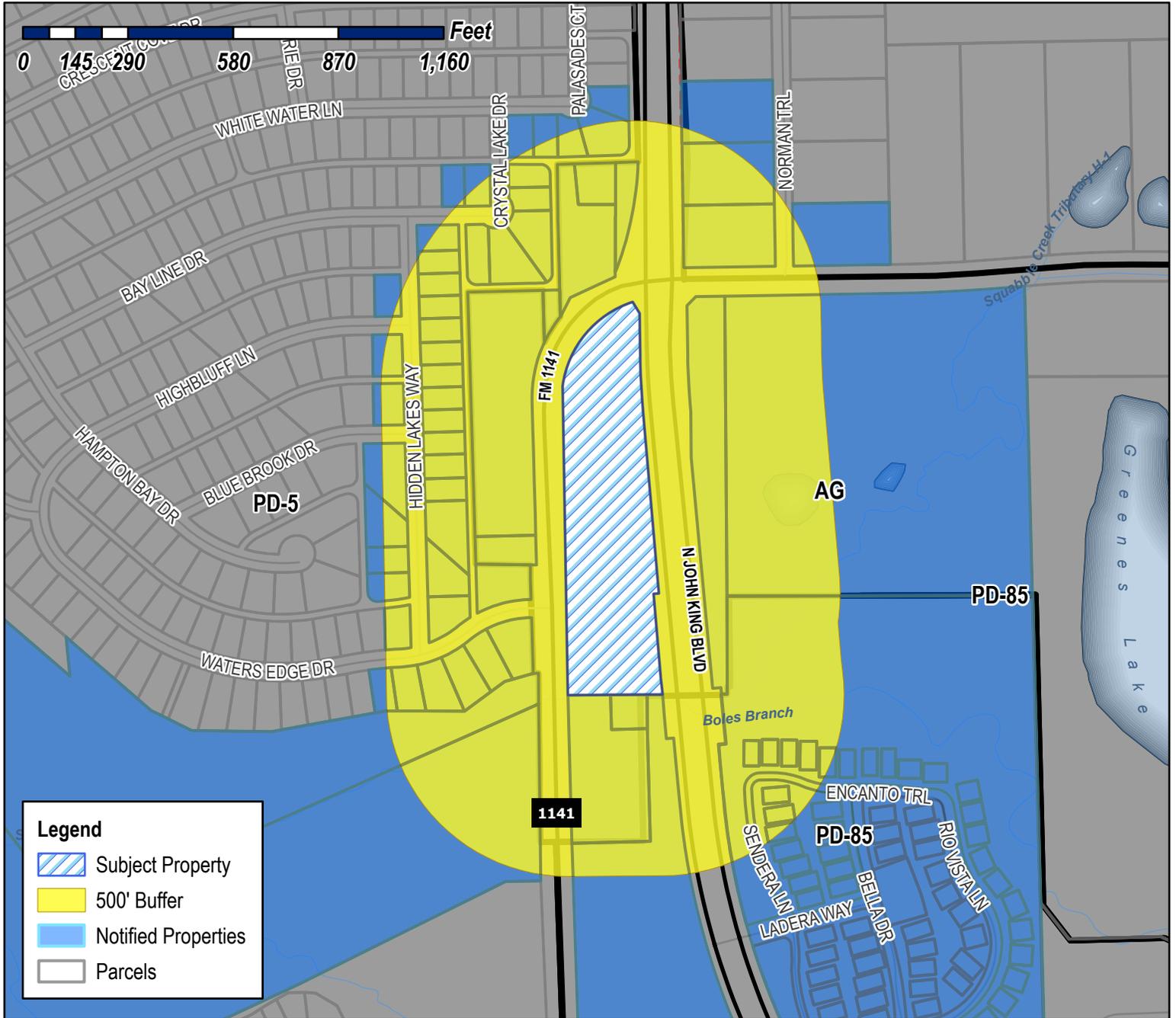
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City of Rockwall

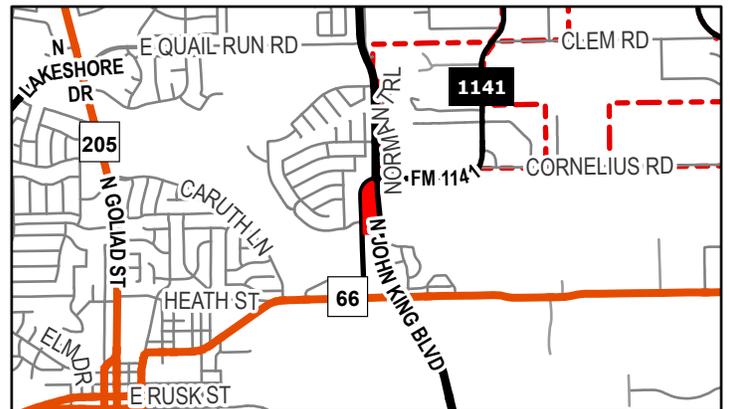
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-011
Case Name: Zoning Change from AG to C
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SWC of FM 1141 & N. John King Blvd

Date Saved: 2/22/2022
 For Questions on this Case Call (972) 771-7745



TANNER BACIL H AND NELDA R
1004 NORTH HARRISON
WEST, TX 76691

ACKENBACK SPENCER AND HEATHER LYNN
SCHAMBER
1013 FM 1564 W
GREENVILLE, TX 75402

KEHM NATALIE & DONAVON
1050 HIDDEN LAKES WAY
ROCKWALL, TX 75087

ACKENBACK SPENCER AND HEATHER LYNN
SCHAMBER
1055 HIDDEN LAKES WAY
ROCKWALL, TX 75087

TAYLOR STEVEN MURRY & ANITA
1060 HIDDEN LAKES WAY
ROCKWALL, TX 75087

JOHNSON JAMIE L AND RICHARD K
1061 HIDDEN LAKES WAY
ROCKWALL, TX 75087

HANKINS MARQUIS L & JACQUELINE K
1069 HIDDEN LAKES WAY
ROCKWALL, TX 75087

LEAHY ANDERSON C AND KAITLIN A
1070 HIDDEN LAKES WAY
ROCKWALL, TX 75087

FAIRES DEWAIN AND MONICA
1080 HIDDEN LAKES WAY
ROCKWALL, TX 75087

VANDIVER JAY L & PAULA J
1085 HIDDEN LAKES WAY
ROCKWALL, TX 75087

BRUNER KURT & OLIVIA
1086 HIDDEN LAKES WAY
ROCKWALL, TX 75087

SHIPP DARLA JUNE & STANLEY JOE
1092 HIDDEN LAKES WAY
ROCKWALL, TX 75087

SEE BETTY
110 WESTMINISTER
ROCKWALL, TX 75032

GILPIN THOMAS K & ANGELA J
1100 HIDDEN LAKES WAY
ROCKWALL, TX 75087

AMERICAN RESIDENTIAL LEASING COMPANY LLC
1106 HIDDEN LAKES WAY
ROCKWALL, TX 75087

CONFIDENTIAL
1112 HIDDEN LAKES WAY
ROCKWALL, TX 75087

ROWE LORI A
1118 HIDDEN LAKES WAY
ROCKWALL, TX 75087

BRUNER KURT & OLIVIA
11206 SANTA CRUZ DR
AUSTIN, TX 78759

LARSEN RALPH K
1124 HIDDEN LAKES WAY
ROCKWALL, TX 75087

WHISENHUNT KENNETH AND JUDY
1130 HIDDEN LAKES WAY
ROCKWALL, TX 75087

JONES RACHEL AND DOUGLAS
1136 HIDDEN LAKES WAY
ROCKWALL, TX 75087

ROJAS CARLOS
1142 HIDDEN LAKES WAY
ROCKWALL, TX 75087

MARTINEZ AUGUSTINE
1150 HIDDEN LAKES WAY
ROCKWALL, TX 75087

BAUGH MELVA Y
1168 CRYSTAL LAKE DR
ROCKWALL, TX 75087

LAHAIR JOHN & NEALY
1174 CRYSTAL LAKE DR
ROCKWALL, TX 75087

DEWBRE JUSTIN JOEL AND CHERYL CHRISTINE
1261 HIGHBLUFF LN
ROCKWALL, TX 75087

KIERNAN KEVIN & KIMBERLY
1262 BLUE BROOK DRIVE
ROCKWALL, TX 75087

HARVEY DERICK AND
RICK HARVEY AND VICKI HARVEY AND APRIL
MARIE HARVEY
1266 HIGHBLUFF LN
ROCKWALL, TX 75087

HUNTER JAMES DARL & SUSAN BAILEY
1271 WATERS EDGE DRIVE
ROCKWALL, TX 75087

JACKSON BEAU MICHAEL AND AMANDA
1277 WATERS EDGE
ROCKWALL, TX 75087

BUCHHOLZ RON AND PENNY FAMILY
REVOCABLE TRUST
1278 WATERS EDGE DR
ROCKWALL, TX 75087

WILSON TERRY
1302 PALASADES COURT
ROCKWALL, TX 75087

LAMPTEY REBECCA A AND NII LANTE
1382 BAY LINE DRIVE
ROCKWALL, TX 75087

RYDER HEATH JAMES AND MELANIE ANN
1383 WATER EDGE DRIVE
ROCKWALL, TX 75087

WOODUL NETA J
1389 WATERS EDGE DR
ROCKWALL, TX 75087

2017 R GAUNA & M CRUZ REVOCABLE TRUST
1390 BAY LINE DRIVE
ROCKWALL, TX 75087

GARD JOSHUA AND SAMANTHA
1395 BAY LINE DR
ROCKWALL, TX 75087

ELLIOTT CHRISTOPHER ANDREW & HEATHER R
1395 WATERS EDGE DRIVE
ROCKWALL, TX 75087

JEAN ANN LOTT REVOCABLE LIVING TRUST
1401 BAY LINE DRIVE
ROCKWALL, TX 75087

CARUTH RIDGE ESTATES HOMEOWNERS
ASSOCIATION INC
C/O VISION COMMUNITIES MANAGEMENT INC
1402 WATERS EDGE DR
ROCKWALL, TX 75087

FAKE MARK C & KATHRYN K
1403 WHITE WATER LN
ROCKWALL, TX 75087

GROGAN DANIEL R
1405 WATERS EDGE DRIVE
ROCKWALL, TX 75087

MULLOWNEY PATRICK
1409 WHITE WATER LN
ROCKWALL, TX 75087

DENNY READE EDWARD
1415 WHITE WATER LN
ROCKWALL, TX 75087

GAUVIN COLLEEN
1421 WHITE WATER LANE
ROCKWALL, TX 75087

TANNER WILMA GRACE
1451 FM 1141
ROCKWALL, TX 75087

TANNER BACIL H AND NELDA R
1451 FM 1141
ROCKWALL, TX 75087

MCGILL MICHAEL KIMBERLY
27 NORMAN TRL
ROCKWALL, TX 75087

RICHARDS J MARK
VIVIAN V
28 NORMAN TRL
ROCKWALL, TX 75087

WINKLEY KYLE A AND ANNA K
29 NORMAN TR
ROCKWALL, TX 75087

CTDIGLAND LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX 76262

RW LADERA LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX 76262

INTEGRITY RETIREMENT GROUP LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

JONES RACHEL AND DOUGLAS
417 PARK PLACE BLVD
ROCKWALL, TX 75087

BUCHHOLZ RON AND PENNY FAMILY
REVOCABLE TRUST
5035 PINE DR
BOYNTON BEACH, FL 33437

CARUTH RIDGE ESTATES HOMEOWNERS
ASSOCIATION INC
C/O VISION COMMUNITIES MANAGEMENT INC
5757 ALPHA RD STE 680
DALLAS, TX 75240

SEE BETTY
880 FM 1141
ROCKWALL, TX 75087

LILYHORN PAULA AND GREG
918 SENDERA LN
ROCKWALL, TX

RW LADERA LLC
926 SENDERA
ROCKWALL, TX 75087

FOERSTER ELWYNNE ANN
323 ELM DR
927 FM1141
ROCKWALL, TX 75087

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO, SUITE 300
CALABASAS, CA 91302

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-011: Zoning Change from AG to C

Hold a public hearing to discuss and consider a City initiated request for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 5.812-acre tract of land identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located at the southwest corner of the intersection of FM-1141 and N. John King Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 15, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 21, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 21, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2022-011: Zoning Change from AG to C

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

SURVEY: M. JONES SURVEY, ABSTRACT NO. 122

LOCATION: CITY OF ROCKWALL, TX

LEGAL DESCRIPTION

PROPERTY SURVEY
CITY OF ROCKWALL, TEXAS
BEING A PORTION OF
C.C. FILE NO. 2007-00389123
D.R.R.C.T.

NOTE: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE TEXAS STATE PLANE NAD83 NORTH CENTRAL ZONE (4202)

LEGAL DESCRIPTION

Being a 5.812 acre tract of land in the M. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, being a portion of a called 10.942 acre tract, described in deed to the City of Rockwall, recorded in County Clerk Number 2007-00389123, Deed Records of Rockwall County, Texas, being that portion of said deed lying west of John King Boulevard, a variable width public right of way, more particularly described as follows;

Commencing at a found iron pipe being the southwest corner of said City of Rockwall tract, being the northwest corner of a called 1.837 acre tract, deeded to Betty Bogard, recorded in County Clerk Number 2008-00396742, Deed Records of Rockwall County, Texas, being on the east right of way line of FM 1141, a 80 foot wide public right of way;

THENCE North 01°04'21" West along said right of way line for a distance of 819.58 feet to a found iron rod, being the beginning of a tangent curve to the right;

THENCE northeasterly along said curve to the right with a radius of 278.39 feet, a central angle of 74°11'35", a chord bearing of North 36°01'27" East, a chord distance of 335.83 feet for an arc length of 360.49 feet to a Set No. 4 rebar with cap "BW2";

THENCE South 31°09'51" East for a distance of 39.22 feet to a Set No. 4 rebar with cap "BW2", being on the west right of way line of John King Boulevard, a variable width public right of way;

THENCE South 00°50'54" East along said right of way line for a distance of 117.04 feet to a Set No. 4 rebar with cap "BW2", being on the beginning of a curve to the left;

THENCE southeasterly along said curve to the left, with a radius of 2,060.00 feet, a central angle of 4°29'16", a chord bearing of South 03°05'37" East, a chord distance of 161.31 feet, for an arc length of 161.35 feet to a Set No. 4 rebar with cap "BW2";

THENCE South 05°20'14" East along said right of way line for a distance of 732.10 feet to a Set No. 4 rebar with cap "BW2";

THENCE South 84°39'46" West along said right of way line for a distance of 20.00 feet to a Set No. 4 rebar with cap "BW2";

THENCE South 05°20'14" East along said right of way line for a distance of 46.17 feet to a Set "X" Cut, being the southeast corner of said City of Rockwall tract, being the northeast corner of Lot 1, Block B of the Final Plat of Ladera Rockwall, recorded in County Clerk File No. 2019-0000016594, Plat Records of Rockwall County, Texas;

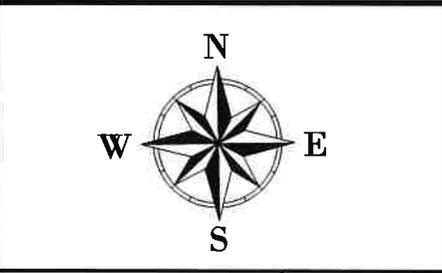
THENCE South 89°26'01" West along said common line for a distance of 265.40 feet to the Point of Beginning;

Said tract contains 5.812 acres more or less.

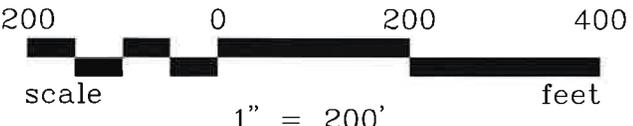
Subject to all easements of record.

Bearings are based on the Texas Coordinate system, N.A.D. 83 (1993 ADJ.), North Central Zone, 4202 .

Situated in the City of Rockwall, Rockwall County, Texas.



BW2 ENGINEERS, INC.
1919 S. Shiloh Road
Suite 500, L.B. 27
Garland, Texas 75042
(972) 864-8200 (T) (972) 864-8220 (F)
Firm Registration No. F-5290



BW2 JOB NO: 19-1954

DRAWN BY: CEC

DATE: DECEMBER, 2019

CHECKED BY: CEC

18-1954/DRAWINGS/1954 SURVEY.DWG

PAGE 1 OF 2

SURVEY: M. JONES SURVEY, ABSTRACT NO. 122

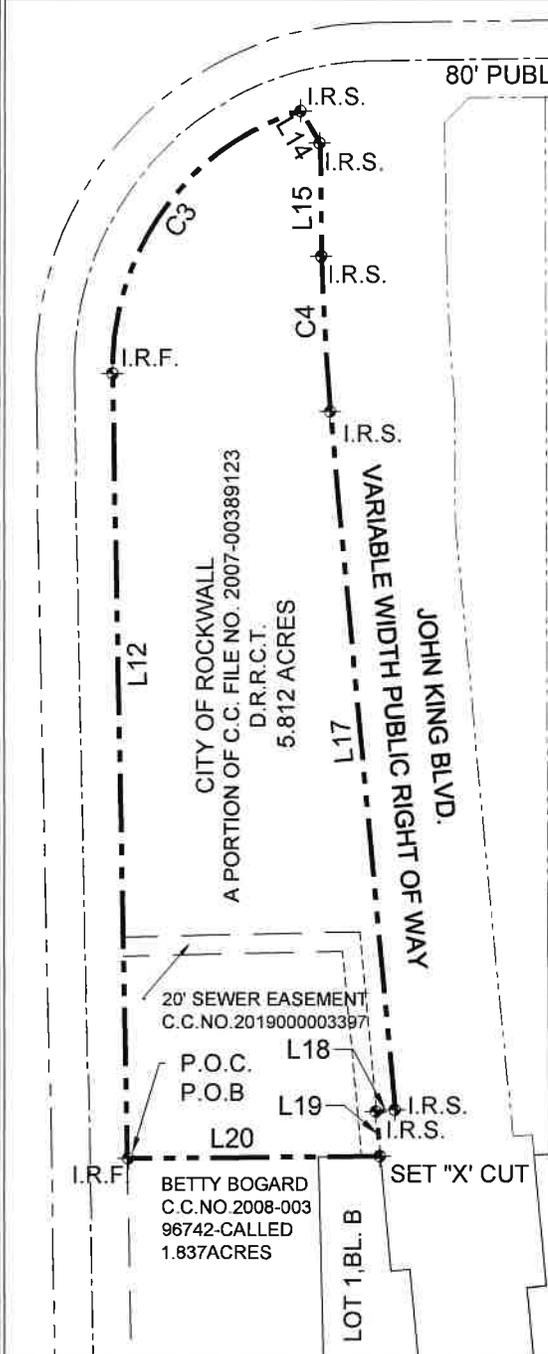
LOCATION: CITY OF ROCKWALL, TX

PARCEL PLAT- EXHIBIT "A"

**PROPERTY SURVEY
CITY OF ROCKWALL, TEXAS**

BEING A PORTION OF
C.C. FILE NO. 2007-00389123
D.R.R.C.T.

NOTE: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE TEXAS STATE PLANE NAD83 NORTH CENTRAL ZONE (4202)



F.M. 1141
80' PUBLIC RIGHT OF WAY

PARCEL LINE DATA		
LINE #	BEARING	DISTANCE
L12	N01°04'21"W	819.58'
L14	S31°09'51"E	39.22'
L15	S00°50'54"E	117.04'
L17	S05°20'14"E	732.10'
L18	S84°39'46"W	20.00'
L19	S05°20'14"E	46.17'
L20	S89°26'01"W	265.40'

LEGEND
 I.R.S.: INDICATES SET NO.4 REBAR WITH CAP "BW2"
 N.T.S.: INDICATES NOT TO SCALE.
 P.O.C.- IS A FOUND IRON ROD BEING THE SOUTHWEST CORNER OF THE SUBJECT TRACT.
 I.R.F.:INDICATES FOUND IRON ROD.

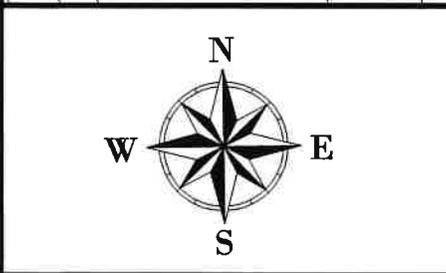
PARCEL CURVE DATA					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	BEARING
C3	360.49'	278.39'	74°11'35"	335.83'	N36°01'27"E
C4	161.35'	2,060.00'	4°29'16"	161.31'	S03°05'37"E

NOTES:
 SELLING A PORTION OF LAND BY METES AND BOUNDS MAY BE A VIOLATION OF LAW.

SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE INFORMATION, OR ANY OTHER FACTS THAT AN ACCURATE ABSTRACT OF TITLE MAY DISCLOSE.

NO FLOOD ZONE INFORMATION HAS BEEN SHOWN OR PERFORMED ON THE SUBJECT PROPERTY BY BW2 ENGINEERS, INC.

LOT 1, BLOCK A & LOT 1, BLOCK B
 LADERA ROCKWALL
 C.C. FILE NO. 2019-0000016594
 P.R.R.C.T.



BW2 ENGINEERS, INC.
 1919 S. Shiloh Road
 Suite 500, L.B. 27
 Garland, Texas 75042
 (972) 864-8200 (T) (972) 864-8220 (F)
 Firm Registration No. F-5290

200 0 200 400
 scale 1" = 200' feet



BW2 JOB NO: 19-1954 DRAWN BY: CEC
 DATE: DECEMBER, 2019 CHECKED BY: CEC

18-1954/DRAWINGS/1954 SURVEY.DWG PAGE 2 OF 2

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A COMMERCIAL (C) DISTRICT FOR A 5.812-ACRE TRACT OF LAND IDENTIFIED AS TRACT 9 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND FURTHER DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has initiated a *Zoning Change* from an Agricultural (AG) District to a Commercial (C) District for a 5.812-acre tract of land owned by the City of Rockwall and identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located at the southwest corner of the intersection of FM-1141 and John King Boulevard, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Commercial (C) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Commercial (C) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*; Section 04.01, *General Commercial District Standards*; and Section 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF APRIL, 2022.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 21, 2022

2nd Reading: April 4, 2022

Exhibit 'B'
Zoning Exhibit

BEING a 5.812-acre tract of land in the M. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, being a portion of a called 10.942-acre tract, described in deed to the City of Rockwall, recorded in County Clerk Number 2007-00389123, Deed Records of Rockwall County, Texas, being that portion of said deed lying west of John King Boulevard, a variable width public right of way, more particularly described as follows;

COMMENCING at a found iron pipe being the southwest corner of said City of Rockwall tract, being the northwest corner of a called 1.837-acre tract, deeded to Betty Bogard, recorded in County Clerk Number 2008-00396742, Deed Records of Rockwall County, Texas, being on the east right of way line of FM 1141, an 80-foot-wide public right of way;

THENCE North 01°04'21" West along said right of way line for a distance of 819.58 feet to a found iron rod, being the beginning of a tangent curve to the right;

THENCE northeasterly along said curve to the right with a radius of 278.39 feet, a central angle of 74°11'35", a chord bearing of North 36°01'27" East, a chord distance of 335.83 feet for an arc length of 360.49 feet to a Set No. 4 rebar with cap "BW2";

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THENCE South 00°50'54" East along said right of way line for a distance of 117.04 feet to a Set No. 4 rebar with cap "BW2", being on the beginning of a curve to the left;

THENCE southeasterly along said curve to the left, with a radius of 2,060.00 feet, a central angle of 4°29'16", a chord bearing of South 03°05'37" East, a chord distance of 161.31 feet, for an arc length of 161.35 feet to a Set No. 4 rebar with cap "BW2";

THENCE South 05°20'14" East along said right of way line for a distance of 732.10 feet to a Set No. 4 rebar with cap "BW2"; **THENCE** South 84°39'46" West along said right of way line for a distance of 20.00 feet to a Set No. 4 rebar with cap "BW2"; **THENCE** South 05°20'14" East along said right of way line for a distance of 46.17 feet to a Set "X" Cut, being the southeast corner of said City of Rockwall tract, being the northeast corner of Lot 1, Block B of the Final Plat of Ladera Rockwall, recorded in County Clerk File No. 2019-0000016594, Plat Records of Rockwall County, Texas;

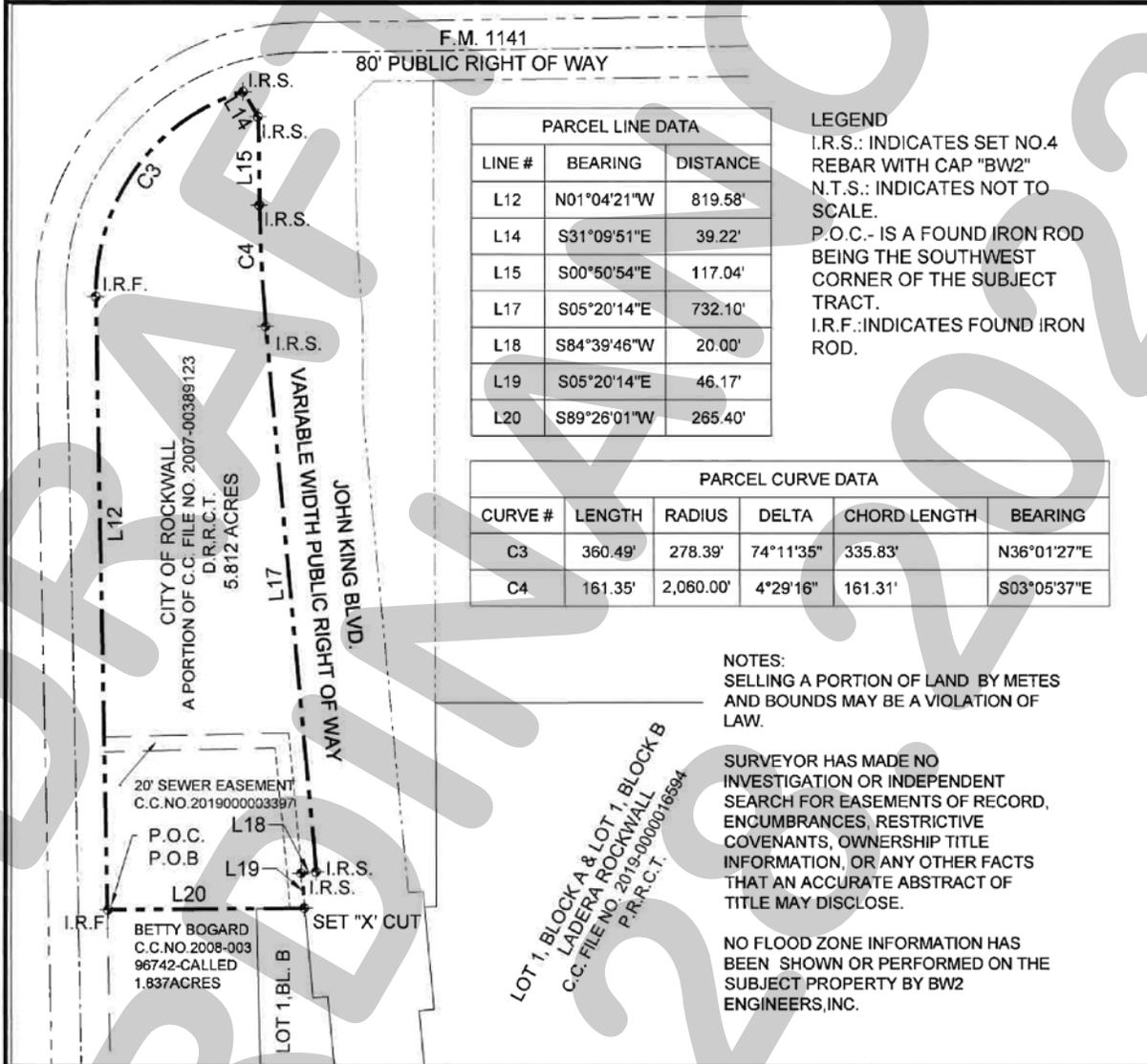
THENCE South 89°26'01" West along said common line for a distance of 265.40 feet to the **POINT OF BEGINNING**;

Said tract contains 5.812 acres more or less.

Exhibit 'B'
Zoning Exhibit

SURVEY: M. JONES SURVEY, ABSTRACT NO. 122	PROPERTY SURVEY CITY OF ROCKWALL, TEXAS BEING A PORTION OF C.C. FILE NO. 2007-00389123 D.R.R.C.T.
LOCATION: CITY OF ROCKWALL, TX	
PARCEL PLAT- EXHIBIT "A"	

NOTE: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE TEXAS STATE PLANE NAD83 NORTH CENTRAL ZONE (4202)



BW2 JOB NO: 19-1954 DRAWN BY: CEC DATE: DECEMBER, 2019 CHECKED BY: CEC	BW2 1919 S. Shiloh Road Suite 500, L.B. 27 Garland, Texas 75042 (972) 864-8200 (T) (972) 864-8220 (F) Firm Registration No. F-5290	
18-1954/DRAWINGS/1954 SURVEY.DWG		PAGE 2 OF 2



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: February 28, 2022

SUBJECT: Z2022-012; *Amendment to Article 05, District Development Standards, of the Unified Development Code (UDC) for an Airport Overlay (AP OV) District*

In response to a recommendation by the Airport Subcommittee, staff created the framework for an Airport Overlay (AP OV) District in 2014. This document was prepared in accordance with Chapter 241, *Municipal and County Zoning Authority Around Airports*, of the Texas Local Government Code, which enables municipalities to draft land use restrictions for properties adjacent to airports -- *which are used in the interest of the general public* -- to prevent the creation of an airport hazard (§214.012). The City Council reviewed this text amendment on September 15, 2014 after being unanimously recommended for approval by the Airport Zoning Commission (*i.e. the Planning and Zoning Commission*) on September 9, 2014. Ultimately, the City Council chose not to act on the text amendment (*Case No. Z2014-022*) citing that "... after further discussion with the Airport Subcommittee, they [*the Airport Subcommittee*] are comfortable with recommending that the City Council leave the zoning 'as is' at this time ..." (*see the excerpt from the minutes from the September 15, 2014 City Council meeting in the attached packet*).

More recently, the City has seen an increase in air traffic at the Ralph Hall Municipal Airport and the development of vacant property in and around the airport. In working with TXDOT Aviation and the City's Airport Consultants -- *Garver USA and the Solco, Group* -- to address concerns with development in the area, the idea of an Airport Overlay (AP OV) District was revisited as a way to: [1] protect the City's grant assurances and [2] to prevent inconsistent development from being approved around the airport. Based on this, staff has revised the 2014 Airport Overlay (AP OV) District document to ensure that it meets all current standards of TXDOT Aviation and the Texas Local Government Code. Garver USA has also reviewed and helped staff revise the document to ensure compliance. Staff has also sent the document to TXDOT Aviation for review and is awaiting comment [*but should have approval prior to the public hearing/action date of this case*]. In accordance, with Section 02.04(B) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), staff is bringing the proposed amendment forward to the Planning and Zoning Commission (*i.e. the Airport Zoning Commission*) for a recommendation to the City Council. The schedule for this text amendment is as follows:

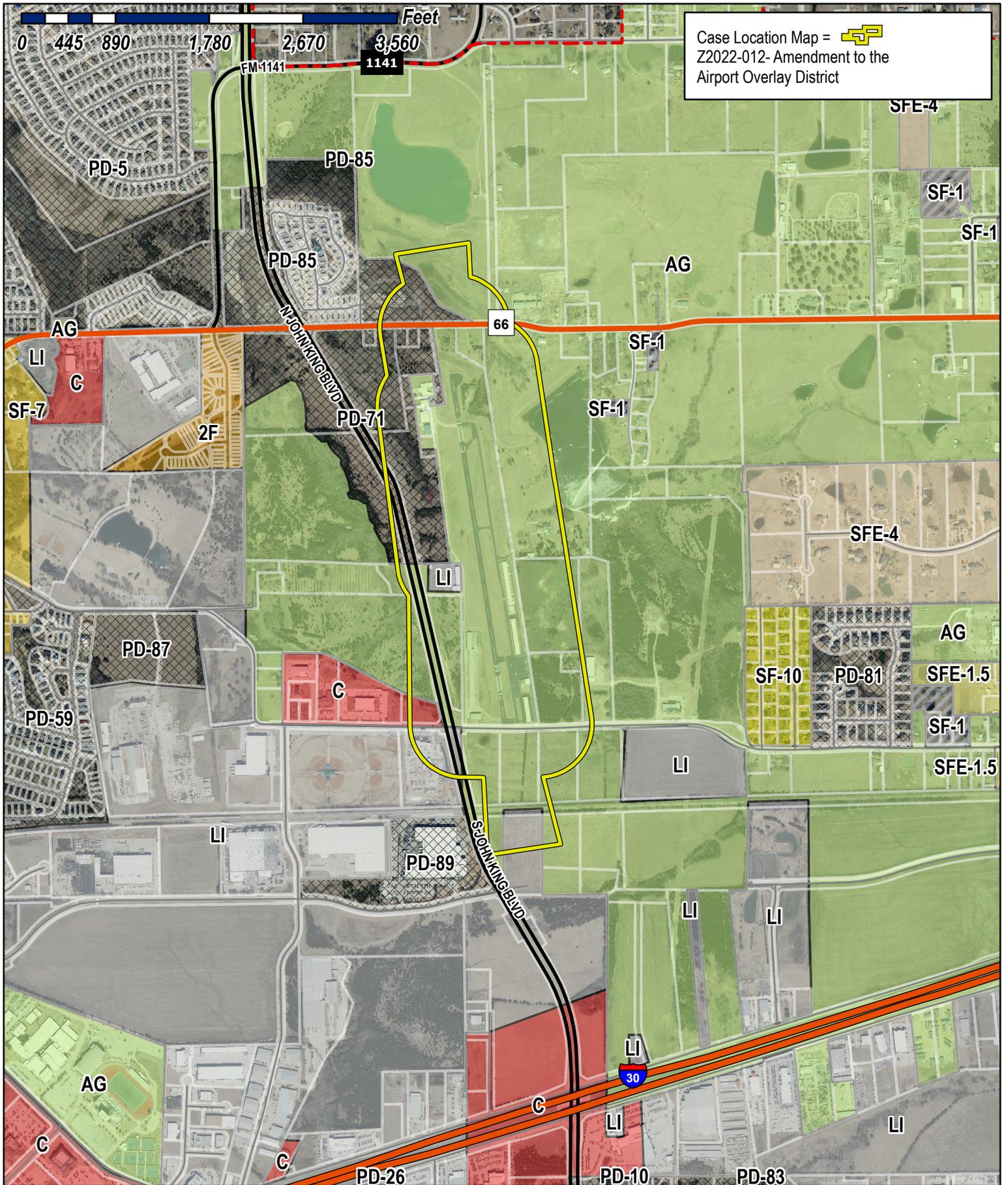
Planning and Zoning Commission Work Session: February 28, 2022

Planning and Zoning Commission Public Hearing: March 15, 2022

City Council Public Hearing/1st Reading: March 21, 2022

City Council 2nd Reading: April 4, 2022

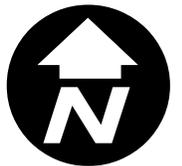
Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). In addition, staff will send out property owner notifications to the 28 properties that could be affected by the proposed Airport Overlay (AP OV) District. This will be done in accordance with the procedures and requirements of the Texas Local Government Code. Should the Planning and Zoning Commission have any questions staff will be available at the meeting on February 28, 2022.



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

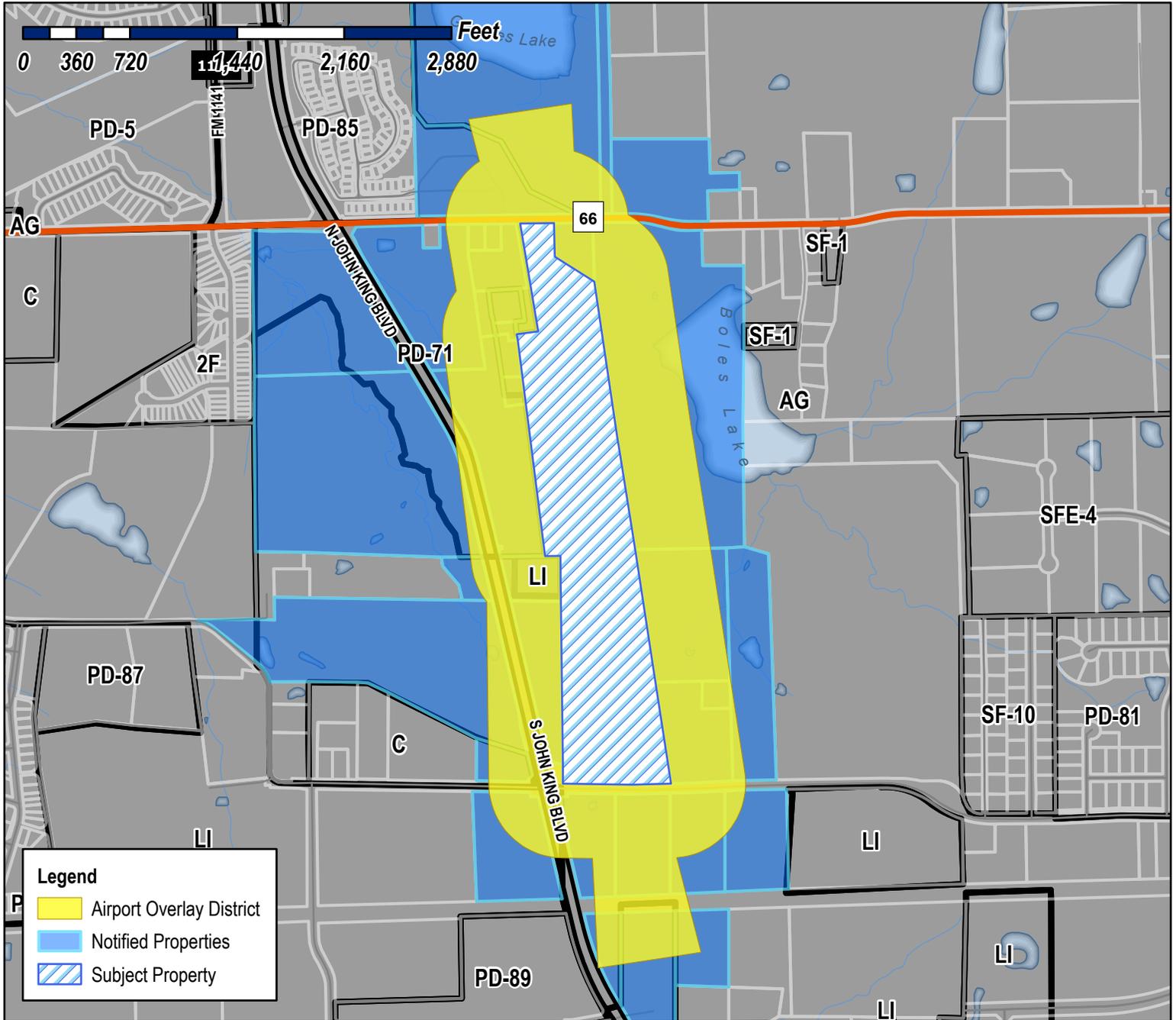




City of Rockwall

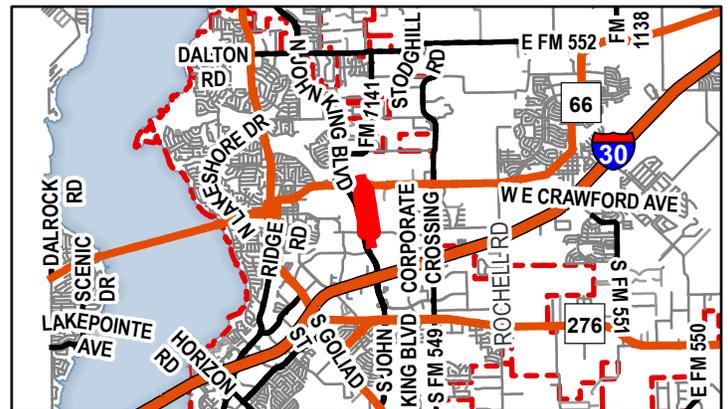
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2022-012
Case Name: Airport Overlay District
Case Type: Zoning
Zoning: APOV
Case Address: Rockwall Municipal Airport

Date Saved: 2/22/2022
 For Questions on this Case Call (972) 771-7745



PEOPLES MIKE L
111 CORNELIUS RD
ROCKWALL, TX 75087

FUNK JOSEPH
11226 INDIAN TRAIL
DALLAS, TX 75229

SARO PARTNERS LLC
1450 T L TOWNSEND
ROCKWALL, TX 75032

ROCKWALL PROPERTY CORPORATION
ATTN BILL BRICKER
1630 WILLIAMS
ROCKWALL, TX 75087

TEXAS SPECIALTY UNDERWRITERS INC
1636 WILLIAMS
ROCKWALL, TX 75087

D V B FAMILY LIMITED PARTNERSHIP
1649 AIRPORT RD
ROCKWALL, TX 75087

DAVIS WILLIAM PAUL JR
1650 AIRPORT RD
ROCKWALL, TX 75087

DILLENDER ROBERT O & SHERY
1651 AIRPORT RD
ROCKWALL, TX 75087

PEOPLES MICHAEL L JR AND
SHERYL NEWMAN PEOPLES
1700 AIRPORT RD
ROCKWALL, TX 75087

PEOPLES MICHAEL L JR AND
SHERYL NEWMAN PEOPLES
1700 STATE HIGHWAY 66
ROCKWALL, TX 75087

ADD REAL ESTATE LTD
1775 AIRPORT RD
ROCKWALL, TX 75087

MEALS ON WHEELS SENIOR SERVICES OF
ROCKWALL COUNTY
1780 AIRPORT RD
ROCKWALL, TX 75087

JCP JUSTIN LLC
1820 JUSTIN RD
ROCKWALL, TX 75087

PEOPLES MIKE L
1936 HWY 66
ROCKWALL, TX 75087

PEOPLES MICHAEL L
2026 HWY 66
ROCKWALL, TX 75087

D V B FAMILY LIMITED PARTNERSHIP
2421 KATHRYN DR
HEATH, TX 75032

ROCKWALL PROPERTY CORPORATION
ATTN BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

ROCKWALL PRESBYTERIAN CHURCH
306 EAST RUSK ST
ROCKWALL, TX 75087

BACKWARDS L LLC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

JCP JUSTIN LLC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

RW LADERA LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX 76262

TEXAS SPECIALTY UNDERWRITERS INC
510 TURTLE COVE BLVD STE 200
ROCKWALL, TX 75087

DAVIS WILLIAM PAUL JR
510 TURTLE COVE BLVD STE 200
ROCKWALL, TX 75087

DIMISSEW SAMUEL
956 S WEATHERRED DR
RICHARDSON, TX 75080

DILLENDER ROBERT O & SHERY
PO BOX 2016
ROCKWALL, TX 75087

PEOPLES MICHAEL L
PO BOX 41
ROCKWALL, TX 75087

ADD REAL ESTATE LTD
PO BOX 679
KELLER, TX 75166

MEALS ON WHEELS SENIOR SERVICES OF
ROCKWALL COUNTY
PO BOX 910
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-012: Airport Overlay (APOV) District

Hold a public hearing to discuss and consider approval of a Text Amendment to Section 06, Overlay Districts, of Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of incorporating Airport Overlay (AP OV) District, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 15, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 21, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 21, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2022-012: Airport Overlay (APOV) District

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Blank area for handwritten reasons]

Name: [Blank]
Address: [Blank]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

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Councilmember Milder made a motion to approve MIS2014-013. Councilmember White seconded the motion, which passed by a vote of 5 ayes with 2 absent (Daniels and Lewis).

3. MIS2014-014 - Discuss and consider a miscellaneous request by Tim Spiars of Spiars Engineering on behalf of Master Developers SNB LLC for the approval of a variance to the alley requirements stipulated by Planned Development District 41 (PD-41) [Ordinance No. 01-27] and Section 2.11 of the Standards of Design Manual, for a 12.45-acre subdivision of land identified as the North Shore Addition, being a portion of the Preserve preliminary plat, zoned Planned Development District 41 (PD- 41) for single family residential land uses, generally located on the south side of East Fork Drive, and take any action necessary.

Planning Director Robert LaCroix provided background information related to this agenda item. Mr. Spiars of Spiars Engineering then came forth and briefly addressed the city council. Councilmember White made a motion to approve MIS2014-014. Councilmember Milder seconded the motion, which passed by a vote of 5 ayes with 2 absent (Daniels and Lewis).

4. Z2014-022 – Discuss and consider approval of an ordinance for a City initiated zoning request for the approval of a text amendment to Article V, District Development Standards, of the Unified Development Code [Ordinance No. 04-38] for the purpose of creating and implementing an Airport Overlay (AP OV) District, which will be applicable for the Ralph M. Hall/Rockwall Municipal Airport property, and for all properties located within 500-feet of the airport property and/or located within the Airport’s Runway Protection Zones as defined by AC150/5300-13A, Airport Design, of the FAA standards, and take any action necessary. (1st Reading)

Planning Director Robert LaCroix provided brief background information related to this item, indicating that a public hearing on this issue was held at the last, regular city council meeting. Mayor Sweet indicated that Mayor Pro Tem Pruitt, Councilmember White and Councilmember Townsend are the council members that currently sit on the council’s Airport Subcommittee, and, following discussions had at the last council meeting, they were asked to further evaluate this matter. Mayor Pro Tem Pruitt indicated that, after further discussions with the Airport Subcommittee, they are comfortable with recommending that the council leave the zoning ‘as is’ at this time. Therefore, no action will be taken by the city council to make any modifications to the zoning at this time.

JoAnn Athey
124 Main Street
P.O. Box 219
Lavon, TX 75166

Mrs. Athey came forth and asked if hangars can be built on the land surrounding the airport. Staff clarified that the FAA is the authority that approves or disapproves these sorts of requests; however, “thru the fence” agreements are not allowed at the Rockwall Municipal Airport.

5. Discuss and consider approval of a resolution establishing an intent to apply for Preserve America Community Designation, supporting heritage tourism and historic preservation, and take any action necessary.



the entire property shall be subject to the requirements of [Section 06.02, General Overlay District Standards](#).

SUBSECTION 06.14: SH-276 OVERLAY (SH-276 OV) DISTRICT

- (A) **Purpose.** The intent of the SH-276 Overlay (SH-276 OV) District is to provide for consistent development of office, retail and commercial areas in concert with the most efficient and aesthetically pleasing appearance of the frontage, which serves as the initial impression to those visiting and passing through the City of Rockwall. In order to ensure that the visual impact of development does not detrimentally affect the area in which it is proposed, landscaping plans, building elevations and site plans are required. Architectural compatibility will be reviewed through the Architectural Review Board (ARB). These development requirements shall apply to non-residential and multi-family land uses only, single-family land uses shall be excluded from these standards except as otherwise stated.
- (B) **Application and Boundaries.** The SH-276 Overlay (SH-276 OV) District includes the entirety of all properties which adjoin or are located within 500-feet of the current or future right-of-way of SH-276. The SH-276 Overlay (SH-276 OV) District extends from SH-205 east to the eastern city limits, as may be extended with future annexation(s). The standards and regulations set forth in the SH-276 Overlay (SH-276 OV) District are superimposed and shall supersede the standards and regulations of any underlying zoning district which are in conflict.
- (C) **Overlay District Standards.** If any portion of a property is situated within the boundaries of the SH-276 Overlay (SH-276 OV) District, the entire property shall be subject to the requirements of [Section 06.02, General Overlay District Standards](#).

SUBSECTION 06.15: AIRPORT OVERLAY (AP OV) DISTRICT

Note: This document was prepared using FAA guidelines as of March 17, 2020 and using AC150/5300-14D.

- (A) **Purpose.** The purpose of this district is to provide both airspace protection and land use compatibility with airport operations at the Ralph M. Hall/Rockwall Municipal Airport. This district, through establishment of airport zones and corresponding regulations, provides for independent review of development proposals in order to promote the public interest in safety, health and general welfare of the City of Rockwall. Therefore, the City of Rockwall deems it necessary to regulate uses of land located within or near the traffic patterns of the airport through regulation of height of structures and objects of natural growth, and through the regulation of land uses within the Airport Overlay (AP OV) District, and other FAA regulated areas associated with the airport (*i.e. areas relating to RSA/ROFA/ROFZ which extend off the airport property*).
- (B) **District Boundaries.** This *Airport Overlay (AP OV) District* is hereby established as the land area owned by the City of Rockwall and held as Ralph M. Hall/Rockwall Municipal Airport, the Airport Runway Protection Zone (RPZs), and a buffer area extending 500-feet from all property lines of the Ralph M. Hall/Rockwall Municipal Airport (*see Figure 29: Airport Overlay District Boundaries*).
- (C) **Definitions.** Unless otherwise stated in this section, the following words shall have the definitions prescribed to them below:

- (1) **Administrative Agency.** The appropriate person or office of the municipality that is responsible for the administration and enforcement of the regulations prescribed in this section of the Unified Development Code (UDC).
 - (2) **Airport.** The current and future boundaries of the Ralph Hall Municipal Airport located within the City of Rockwall, Texas.
 - (3) **Airport Hazard.** A structure or object of natural growth that obstructs the air space required for the taking off, landing, and flight of aircraft or that interferes with visual, radar, radio, or other systems for tracking, acquiring data relating to, monitoring, or controlling aircraft.
 - (4) **Airport Hazard Area.** An area of land or water on which an airport hazard could exist.
 - (5) **Applicant.** The person or persons making a request to the administrative agency.
 - (6) **Centerline.** The runway centerline identifies the center of the runway and provides alignment guidance during takeoff and landings. The centerline consists of a line of uniformly spaced stripes and gaps.
 - (7) **Non-Conforming Land Use or Non-Conforming Use.** Any land use of which is inconsistent with the provisions of these regulations and which is existing as of the effective date of the Airport Overlay (AP OV) District.
 - (8) **Person.** An individual, firm, partnership, corporation, company, association, joint stock association, or body politic and includes a trustee, receiver, assignee, administrator, executor, guardian, or other representative.
 - (9) **Runway.** A defined area on the airport prepared for the landing and taking off of aircraft along its length. The current length of the Rockwall Municipal Airport is 3,373-feet by 45-feet and the zoned dimensions are 3,373-feet by 60-feet.
 - (10) **Runway Safety Area (RSA).** The surface surrounding the runway prepared or suitable for reducing the risk of damage to airplanes in the event of an undershoot, overshoot, or excursion from the runway.
 - (11) **Structure.** An object constructed or installed by one (1) or more persons and includes but is not limited to a building, tower, smokestack, and overhead transmission line.
- (D) **Airport Zones.** In order to implement the intent of this ordinance, the Airport Overlay (AP OV) District hereby includes the following three (3) exhibits that depict the zones within the controlled area and shown on the official zoning map as depicted in [Figure 29: Airport Overlay District Boundaries](#):
- Airport Overlay (AP OV) District Boundaries (*see Figure 29: Airport Overlay District Boundaries*)
 - Development Zones within the Airport Overlay (AP OV) District (*see Figure 30: Development Zones within the Airport Overlay (AP OV) District*)
 - Airport Airspace Zones Boundaries (*see Figure 31: Airspace Zone Boundaries*)
- (E) **Permitted Uses.** All uses otherwise permitted by existing zoning ordinances within the boundaries of the AP OV District are permitted



within the district, except where there is a conflict between the AP OV District and the existing zoning ordinances. Where the provisions of the AP OV District are more restrictive, the provisions of the AP OV District shall govern.

(F) **Controlled Area.** The area within which airport land use compatibility controls may be instituted, as defined by *Section 241, Municipal and County Zoning Authority Around Airports*, of the *V.T.C.A., Texas Local Government Code*, shall be defined as the controlled area. The controlled area is located outside the Airport boundaries and within an area measured no farther than one and one-half (1½) statute miles from the centerline of the Ralph M. Hall/Rockwall Municipal Airport runway and lies no farther than five (5) statute miles from each end of the paved surface of the runway.

(G) **Airspace Zones.** *Airspace Zones* consist of all of the land area lying beneath the surfaces referenced in Section H, *Height Limitations*, below and in Title 14, Part 77.19. The following *Airspace Zones* are hereby established and set forth (see *Figures 26: Airspace Zones [right] & Figure 31: Airspace Zone Boundaries [below]*; reference Title 14, Part 77, FAR):

(1) **Primary Surface.** The *Primary Surface* is a surface that is longitudinally centered on the runway. It extends 200-feet beyond the end of each runway and 250-feet on either side of the centerline of the runway for a total width of 500-feet (i.e. a 250-foot side buffer of the runway centerline).

(2) **Approach Zone.** The *Approach Zone* is a fan shaped zone that is established at both ends of the runway for the purpose of landings and take-offs. The *Approach Zone* commences at the end of the *Primary Surface* (i.e. 200-feet beyond the end of the runway) and has a beginning width of 500-feet. It then extends uniformly along the continuation of the centerline of the runway to a width of 3,500-feet at a distance of 10,000-feet from the point of commencement, and a slope of 34:1 or one (1) foot in height for each 34-feet in horizontal distance [this is the land area that exists underneath the *Approach Surface*].

(3) **Transitional Zones.** The *Transitional Zones* are symmetrically located on either side of runway, and have variable widths. The *Transitional Zones* extend outward and upward commencing from the edge of the *Primary Surface* (i.e. 250-feet on either side of the centerline of the runway), and *Approach Surfaces*. The *Transitional Zones* extend upward and outward at slope of 7:1 or one (1) foot vertically for each seven (7) feet horizontally to the point where they intersect the surface of the *Horizontal Zone*. The *Transitional Zones* are established adjacent to the *Approach Zones* and extend their entire length. The *Transitional Zones* flare symmetrically with either side of the runway *Approach Zone* from the base of said zones and slope upward and outward at the rate of 7:1 or one (1) foot vertically for each seven (7) feet horizontally to the points where they intersect the surface of the *Horizontal Zone* and the *Conical Zone* [this is the land area that exists underneath the *Transitional Surface*].

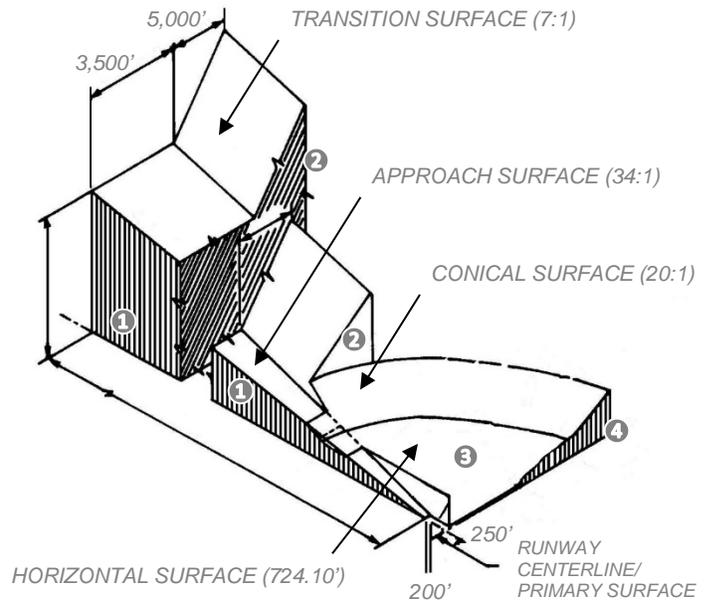
(4) **Horizontal Zone.** The *Horizontal Zone* consists of the land area within the perimeter of which is constructed by swinging arcs of 10,000-feet from the center of each *Primary Surface*, 200-feet beyond the centerline of each runway and connecting the adjacent arcs by lines of tangent to those arcs. The *Horizontal*

Zone does not include the *Approach Zone* and/or the *Transition Zone* [this is the land area that exists underneath the *Horizontal Surface*].

(5) **Conical Zone.** The *Conical Zone* consists of the land area that commences at the periphery of the *Horizontal Zone* and extends outward for a distance of 4,000-feet, at a 20:1 slope or one (1) foot in height for each 20-feet of horizontal distance. The *Conical Zone* does not include the *Approach Zone* and/or the *Transition Zone* [this is the land area that exists underneath the *Conical Surface*].

FIGURE 26: AIRSPACE ZONES

① : APPROACH ZONE; ② : TRANSITION ZONE; ③ : HORIZONTAL ZONE;
④ : CONICAL ZONE



(H) **Height Limitations.** Except as otherwise provided in this ordinance, no structure or tree shall be erected, altered, allowed to grow, or be maintained in any zone created above to a height in excess of the limits established herein for each of the imaginary surfaces created by the airspace zones (*Title 14 CFR, Section 77.19, Civil Airport Imaginary Surfaces*), which are defined as follows:

(1) **Approach Surface.** The *Approach Surface* is the surface that is created by the *Approach Zone*, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending into the area required for an aircraft's navigable airspace. The *Approach Surface* is the same starting width as the *Primary Surface* (i.e. 500-feet), and has a slope of 34:1 or one (1) foot in height for each 34-feet in horizontal distance commencing at the *Primary Surface* and extending to a point 10,000-feet from the point of beginning and widening to a width of 3,500-feet.

(2) **Transitional Surface.** The *Transitional Surface* is the surface that is created by the *Transitional Zone*, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending in the area required for an aircraft's navigable airspace. The *Transitional Surface* is the surface that extends outward and upward, at right angles to the runway



centerline (at any point 250-foot normal to and at the elevation of the centerline) and extended runway centerline (i.e. 200-foot beyond the end of the runway), from the sides of the Primary Surface and the Approach Surfaces to a point of 150-foot above the airport elevation (i.e. 724.10-feet) [the airport elevation is 574.10-feet above mean sea level]. The Transitional Surface has a slope of 7:1 or one (1) foot in height for each seven (7) feet in horizontal distance.

- (3) Horizontal Surface. The Horizontal Surface is the surface that is created by the Horizontal Zone, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending into the area required for an aircraft's navigable airspace. The Horizontal Surface is the horizontal plane created by swinging arcs with a 10,000-foot radius centered on the extended runway centerline where it crosses the Primary Surface, and is situated 150-foot above the established airport elevation (i.e. 724-feet) [the airport elevation is 574-feet above mean sea level], which coincides with the extent of the Horizontal Zone.
- (4) Conical Surface. The Conical Surface is the surface that is created by the Conical Zone, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending into the area required for an aircraft's navigable airspace. The Conical Surface extends upward and outward from the outer limits or the periphery of the Horizontal Surface at a slope of 20:1 or one (1) foot in height for each 20-feet of horizontal distance for a horizontal distance of 4,000-feet. The Conical Surface extends to a height of 350-feet above the airport's elevation (i.e. 924-feet) [the airport elevation is 574-feet above mean sea level].

[Where an area is covered by more than one (1) height limitation, the more restrictive limitation shall prevail. Nothing in this ordinance shall be construed as prohibiting the growth, construction or maintenance of any tree or structure to a height up to 45-feet above the surface of the land, except in the Approach Zones.]

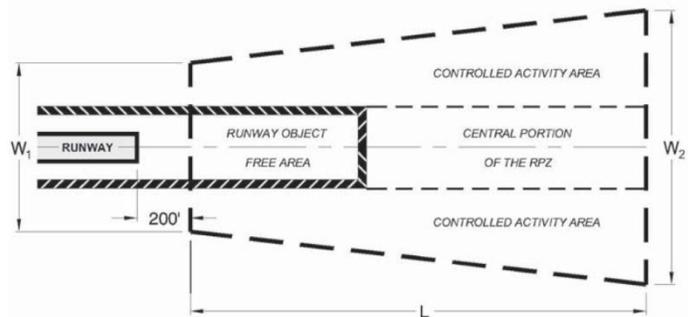
- (I) Airport Hazard Area. The Airport Hazard Area is an area of land or water on which an airport hazard could exist. An airport hazard is defined as a structure or object of natural growth that obstructs the airspace required for the taking off, landing, and flight of aircraft or that interferes with visual, radar, radio, or other systems for tracking, acquiring data relating to, monitoring, or controlling aircraft. For the purposes of this ordinance, the Airport Hazard Area is defined as the entirety of all the imaginary surfaces stated in Section H, Height Limitations, of this ordinance (see Figure 31: Airspace Zone Boundaries).
- (J) Land Use Compatibility.
 - (1) Intent. The Airport Overlay (AP OV) District is intended to overlay any other zoning district's regulations comprising or pertaining to areas to which it is applicable, to prevent undue negative interaction between aviation activities associated with the airport and the surrounding community. It is intended to protect the lives and property of the users of the airport and of the occupants of the land in its general vicinity by restricting places of public assembly within this Airport Overlay (AP OV) District. The overlay is intended to preserve the utility of the airport and the public investment therein.

(2) Development Zones. The Development Zones are hereby established within the Airport Overlay (AP OV) District. These zones are depicted in Figure 30: Development Zones within the Airport Overlay (AP OV) District of this ordinance. The Development Zones are defined and described as follows:

- (a) Airport Runway Protection Zones (RPZs). The Airport Runway Protection Zones are hereby established as the trapezoidal areas centered about the extended runway centerline. The RPZ dimensions for a particular runway end are a function of the type of aircraft and approach/departure visibility minimum associated with the runway end. The RPZs for the Ralph M. Hall/Rockwall Municipal Airport commence 200-feet from the edge of pavement at the end of each runway, beginning with a base of 500-feet (i.e. inner width or W_1), extending 1,000-feet along the runway centerline (i.e. length or L), and terminating at the outboard corners of a 700-foot line segment (i.e. outer width or W_2) [see Figure 27: Airport Runway Protection Zone (RPZ)], creating a 13.770-acre trapezoidal area, which is intended to service Aircraft Approach/Departure Categories 'A' & 'B' (i.e. small single and multi-engine planes). Contained within the two (2) trapezoidal areas that make up the RPZs are the Controlled Activity Area and a portion of the ROFA (Object Free Area). These areas are defined as follows:

- (1) The Runway Object Free Area (ROFA). The Runway Object Free Area (ROFA) is centered on the runway centerline. The ROFA clearing standard requires clearing the ROFA of above ground objects protruding above the runway safety area edge elevation. Except where precluded by other clearing standards, it is acceptable to place objects that need to be located in the ROFA for air navigation or aircraft ground maneuvering purposes to protrude above the nearest point of the runway safety area, and to taxi and hold aircraft in the ROFA. To the extent practicable, objects in the ROFA should meet the same frangibility requirements as the runway safety area. Objects non-essential for air navigation or aircraft ground maneuvering purposes are not permitted to be placed in the ROFA. This includes parked airplanes and agricultural operations.

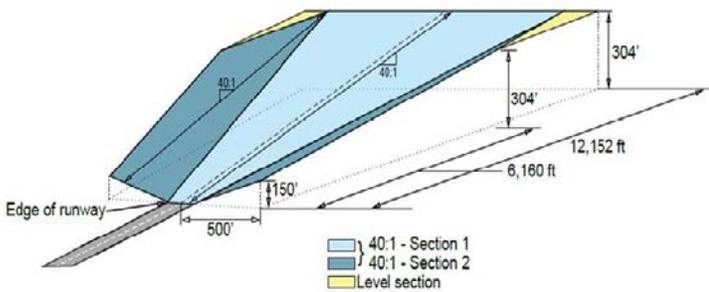
FIGURE 27: AIRPORT RUNWAY PROTECTION ZONE (RPZ)





- (2) The Controlled Activity Area. The *Controlled Activity Area* is the portion of the *RPZ* beyond the boundaries of the *ROFA*.
- (b) Municipal Airport Zone. The *Municipal Airport Zone* is hereby established as the real property boundaries of the Ralph M. Hall/Rockwall Municipal Airport. This zone contains the majority of all airport related land uses and structures.
- (c) Airport Influence Zone. The *Airport Influence Zone* contains all areas within the 500-foot buffer excluding the *Municipal Airport Zone* and the *RPZ*.
- (d) Height Restriction Zone. The *Height Restriction Zone* extends to the edge of the *Conical Zone* and is subject only to the requirements stipulated in Section H, *Height Limitations*, of this ordinance (see Figure 29: Airport Overlay District Boundaries).
- (e) Departure Surface. The *Departure Surface* starts at the end of the runway end elevation and matches the width of the usable runway. From the edge of the usable runway, the surface rises upward to 150-feet above the runway end elevation at a point 500-feet on either side of the runway centerline. The new surface rises upward along the extended centerline at a slope of 40:1 or one (1) foot in height for each 40-feet in horizontal distance until reaching 304-feet above the runway end elevation (i.e. 6,160-feet across at its outer width at the runway end elevation). Upon reaching the 304-foot marker, the surface levels out until the end of the departure surface at 12,152-feet. The area splays outward at a rate of 15-degrees relative to the extended runway centerline (see Figure 28: Departure Surface).

FIGURE 28: DEPARTURE SURFACE



(3) Land Use Restrictions.

- (a) Runway Object Free Area (ROFA) and Controlled Activity Area. No uses are permitted within the *Runway Object Free Area (ROFA)* or the *Controlled Activity Area* unless deemed essential to air navigation or aircraft ground maneuvering purposes by the Federal Aviation Administration (FAA) with the following exceptions:
 - (1) Permitted Uses. See the current *FAA Standard*.
 - (2) Specific Use Permit (SUP).

- (a) Roadways, Automobile Parking Areas, and Railroads that Adhere to the Height Restrictions
- (b) Municipal Airport Zone.
 - (1) Permitted Uses.
 - (a) Aircraft Runways, Taxiways, Taxi Lanes, Ramps, Parking Areas and Fuel Storage Facilities
 - (b) Aircraft Operational Facilities (including but not limited to *Instrument Landing Systems, Visual Navigational Aids, and Related Equipment; Communication Facilities; Weather Service Offices and Equipment*)
 - (c) Hangars (includes all buildings which may be used for the Storage or Maintenance of Aircraft, Airport Snow Removal, Sweeping and Other Maintenance Equipment, and/or Other Aviation-Related or Ancillary Activities)
 - (d) Terminal Buildings (which may contain Offices or Airline Companies, and Other Businesses and Concessionaires)
 - (e) Offices and Facilities for Airport Management, Air Charter, Air Taxi, Crop Spraying, Aircraft Sales or Rentals, and Air Cargo Processing Facilities
 - (f) Agriculture (other than Forestry or Livestock), Tourism Information Centers and Museums
 - (g) Flight Schools, Flying Clubs, and Other Schools or Training Facilities (relating to Aviation or Air-Related Transportation)
 - (h) Offices and Facilities for the Operation and Maintenance of Air Rescue, Emergency and Firefighting Services
 - (i) Aircraft Maintenance, Manufacturing, and Testing Facilities
 - (j) Offices and Facilities of Federal, State and Local Government Entities that Incorporate an Aeronautical Land Use (Unless the Property has been Designated for Non-Aeronautical Land Uses)
 - (2) Prohibited Uses.
 - (a) No uses other than those uses explicitly permitted above.
- (c) Airport Influence Zone. All uses permitted within the underlying zoning depicted on the official zoning map of the City of Rockwall, with the following additional uses and exceptions:
 - (1) Specific Use Permits (SUP).
 - (a) Residential Airpark or Aviation Homes
 - (b) Driving Test Track

(2) Prohibited Uses.

- (a) Residential Uses (e.g. Single Family, Multi Family, etc.)
- (b) Educational Centers (including all types of Primary and Secondary Schools, Pre-Schools, and Child Care Facilities)
- (c) Hospitals, Medical Inpatient Treatment Facilities, Nursing Homes and/or Convalescent Home Facilities
- (d) Places of Worship
- (e) Places of Public Assembly (Not Previously Listed)
- (f) Fuel Handling and Storage Facilities (Does Not Include Gas Station)

(d) Height Restriction Zone. Properties within the Height Restriction Zone, outside of the Airport Overlay (AP OV District), are subject to the use requirements stipulated by the underlying zoning depicted on the official zoning map of the City of Rockwall (see Figure 29: Airport Overlay District Boundaries).

(4) Additional Use Restrictions.

- (a) Notwithstanding any other provision of this ordinance, no use may be made of land within any zone established by this ordinance in such a manner as to (1) create electrical interference with radio communication between the Airport and aircraft, (2) make it difficult for flyers to distinguish between airport lights and others, (3) result in glare in the eyes of flyers using the Airport, (4) impair visibility in the vicinity of the Airport or otherwise endanger the landing, taking-off, or maneuvering of aircraft.

(5) Legal Non-Conforming Land Uses.

- (a) Regulations Not Retroactive. The regulations prescribed by this ordinance shall not be construed to require the removal, lowering, changes and/or alteration of any structure (e.g. building) or object of natural growth (e.g. tree) not conforming to the regulations as of the effective date of this ordinance, or otherwise interfere with the continuance of any legal non-conforming use. Nothing herein contained shall require any change in the construction, alteration, or intended use of any structure or property, for which the construction or alteration of said structure or property was commenced prior to the effective date of this ordinance.
- (b) Hazard Marking and Lighting. Notwithstanding the preceding provision of this section, the owner of any non-conforming structure or tree is hereby required to permit the installation, operation, and maintenance thereon of such markers and lights as shall be deemed necessary by the City Manager or his designee to indicate to the operators of aircraft in the vicinity of the Airport, the presence of such airport hazards. Markers and lighting necessary for existing non-conforming structures or trees shall be operated and maintained at the expense of the

property owner. Markers and lighting necessary for future non-conforming structures or trees, approved per the requirements of this ordinance, shall be installed, operated, and maintained at the expense of the property owner.

(K) Development Standards.(1) Architectural Standards.

- (a) All buildings within the Municipal Airport Zone shall be designed by a licensed, professional architect and all drawings submitted for approval and/or permits shall bear the architect's seal of the State of Texas.
- (b) All buildings intended for airport related use such as hangars, maintenance facilities, offices and facilities for airport management, terminal buildings and other similar types of uses with exterior walls visible from a public right-of-way shall consist of 90% masonry materials, excluding doors and windows as defined in Article 13, Definitions, of the Unified Development Code (UDC) [i.e. "Masonry"]. Building exterior walls not visible from the public rights-of-way may be earth-tone colored, pre-finished aluminum, steel or masonry. Materials that are unfinished are prohibited.

[All other buildings not related to airport uses within the Airport Overlay (AP OV) District shall conform to building materials requirements as stipulated within the Unified Development Code (UDC).]

In addition, all buildings intended for airport related uses shall adhere to the following standards:

- (1) A Material Sample Board indicating all exterior materials and colors must be submitted to the Planning and Zoning Commission, upon a recommendation by the Architecture Review Board (ARB), for approval prior to the commencement of construction. All sides of the exterior building shall be architecturally integrated and similar in nature with respect to the design and aesthetic.
- (2) All roofs shall be metal. If galvanized metal is being proposed, it shall be limited to a roofing material only.
- (3) Building glazing or reflectors shall not be incorporated into a building if it will cause a glare or reflection that could interfere with airport operations or ground circulation.
- (4) All windows or large glass elements shall be oriented and/or treated to avoid reflections that could cause a distraction to air traffic that is landing or taking off.
- (5) All new construction shall be of a high quality and utilize materials and finishes that will maintain their appearance with relatively low maintenance.
- (6) All steel used for roofing or siding shall be a minimum of 28-gauge steel, with a factory finish in a color that has been approved by the Planning and Zoning Commission, and which has been warranted by the



manufacturer for a minimum of 20 years with regards to the durability and color fastness.

- (7) All floors must be constructed of a minimum of four (4) inches thick concrete and reinforced with steel to a standard approved by the Engineering and Building Inspections Departments.
- (8) All hangars facing a taxiway (*i.e. a path connecting runways with ramps, hangars, terminals, etc.*) shall have a hangar door that has a minimum opening of 55-feet in width by 16-feet in height (*i.e. 55' [w] x 16' [h]*). Buildings facing a taxilane (*i.e. a path connecting the taxiways to aircraft parking positions*) shall have a hangar door that has a minimum opening of 41-feet, 6-inches in width by 12-feet in height (*i.e. 41'-6" [w] x 12' [h]*). Approved swing out, overhead or sliding doors may also be used. All pedestrian doors must be of a pre-finished metal construction positioned in metal doorjamb. No wood doorjamb will be permitted on exterior doors.
- (9) Mechanical equipment shall be screened so as not to be visible from the public and private rights-of-way. All screens, whether situated on the ground or on the building, shall be constructed to be aesthetically integrated into the design of the building. The rooftops of all buildings shall be free of any mechanical equipment unless completely screened from all points of view along all public rights-of-way by an architectural parapet. All screening materials shall be compatible with the material used on the building.

(2) Landscaping.

- (a) The requirements contained within Article 05, *District Development Standards*, and Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), whichever would be applicable to the subject property independent of the AP OV District, shall apply to a property located within the overlay (*i.e. the landscaping percentage of the underlying zoning district would apply*); however, landscaping plans in the AP OV District should be designed with the consideration of aircraft movement and should not be designed using trees and/or plants that have the propensity to attract hazardous wildlife. In cases where aircraft requirements would conflict with certain landscaping elements, the Planning and Zoning Commission may approve requirements that deviate from those stipulated by the Unified Development Code (UDC) if, in its opinion, such alternate requirements provide for a safer and more efficient use of the property. In addition, the Planning and Zoning Commission may request that a qualified Airport Wildlife Biologist review landscaping plans in sensitive areas and provide recommendations for planting placement and alternatives.
- (3) Variances. The City Council may, upon request from the applicant, grant a variance to the any of the provisions contained within Section K.6, *Architectural Standards*, and Section K.7, *Landscaping*, of this ordinance where unique or

extraordinary conditions exist or where strict adherence to the provisions of this ordinance would create a hardship. Approval of any variance to any provision of this section shall require City Council approval by a three-quarter (¾) majority vote of the City Council members present with a minimum of four (4) affirmative votes.

(L) Administrative Procedures and Permits.

- (1) Notice of Proposed Construction or Alteration (*i.e. FAA Form 7460-1*). Any tree or structure (*new or alteration of an existing structure*) proposed within the AP OV District or 20,000-feet of the runway shall require an applicant to file a *Notice of Proposed Construction or Alteration* form (*i.e. FAA Form 7460-1*) with the Federal Aviation Administration (FAA) to determine if the tree or structure creates a hazard to air navigation or will result in an inefficient use of airspace.
- (2) Future Use. Except as specifically provided herein, no change shall be made in the use of land and no structure or tree shall be erected, altered, planted or otherwise established in any zone hereby created unless a permit therefore shall have been applied for and granted. Each application for a permit shall indicate the purpose for which the permit is desired, with sufficient particularity to permit it to be determined whether the resulting use, structure or tree would conform to the regulations herein prescribed. If such determination is in the affirmative, the permit shall be granted.
 - (a) In the area lying within the limits of the *Horizontal Zone* and *Conical Zone*, no permit -- *except as required by Section (L)(1) above* -- shall be required for any tree or structure less than 75-feet of vertical height above the ground as measured at grade, except when because of terrain, land contour or topographic features such tree or structure would extend above the height limits prescribed for such zone.
 - (b) In the areas lying within the limits of the *Approach Zones* but at the horizontal distance of not less than 4,000-feet from each end of the runways, no permit -- *except as required by Section (L)(1) above* -- shall be required for any tree or structure less than 75-feet of vertical height above the ground as measured at grade, except when because of terrain, land contour or topographic features such tree or structure would extend above the height limit prescribed for the *Approach Zone*.
 - (c) In the areas lying within the limits of the *Transitional Zones* ending at the perimeter of the *Horizontal Zone*, no permit -- *except as required by Section (L)(1) above* -- shall be required for any tree or structure less than 75-feet of vertical height above the ground as measured at grade, except when such tree or structure because of terrain, land-contour or topographic features would extend above the height limit prescribed for such *Transitional Zones*.
- (3) Exceptions/Variances/Non-Conforming Uses. Nothing contained in any of the foregoing exceptions shall be construed as permitting or intending to permit any construction, alteration or growth of any structure or tree in excess of any of the height



limits established by this Ordinance except as set forth in Section H, *Height Limitations*.

- (a) *Existing Uses*. No permit shall be granted that would allow the establishment or creation of an airport hazard or permit a non-conforming use, structure, or tree to be made or become higher, or become a greater hazard to air navigation, than it was on the effective date of this Ordinance or any amendments thereto or than it is when the application for a permit is made. Except as indicated, all applications for such a permit shall be granted.
- (b) *Non-Conforming Uses Abandoned or Destroyed*. Whenever the Board of Adjustment (BOA) determines that a non-conforming structure or use has been abandoned for a period of six (6) months, or more than eighty (80%) percent of a non-conforming structure or tree has been torn down, physically deteriorated, or decayed, no permit shall be granted that would allow such structure or tree to exceed the applicable height limit or otherwise deviate from the zoning regulations.
- (c) *Variances*. Any person desiring to erect or increase the height of any structure, or permit the growth of any tree, or use of their property, not in accordance with the regulations prescribed in this ordinance, may apply to the Board of Adjustment (BOA) for a variance from such regulations. Such variances shall be allowed where it is duly found that a literal application or enforcement of the regulation would result in practical difficulty or unnecessary hardship and the relief granted would not be contrary to the public interest but will do substantial justice to be in accordance with the spirit and intent of this Ordinance.
- (d) *Hazard Marking and Lighting*. Any permit or variance granted may, if such action is deemed advisable to effectuate the purpose of this Ordinance and be reasonable in the circumstances, be so conditioned as to require the owner of the structure or tree in question to permit the owners at their own expense, to install, operate, and maintain thereon such markers and lights as may be necessary to indicate to flyers the presence of an airport hazard.

(M) *Enforcement*. It shall be the duty of the City Manager or his designee to administer and enforce the regulations prescribed herein. Application of permits shall be made to the City Manager or his designee upon a form published for that purpose. Applications required by this ordinance to be submitted to the City Manager or his designee shall be promptly considered and granted or denied. Applications for variances shall be made to the Board of Adjustment (BOA) by first filing said application for variance with the City Manager or his designee who shall forthwith transmit said application to the Board of Adjustment for determination.

~~(A)(N)~~ *Appeals*. Requests for appeals to administrative decisions by the City Manager or his designee concerning the enforcement of this ordinance shall be directed to the Board of Adjustment (BOA) in compliance with Section 04, Board of Adjustments, of Article 02, Authority and Administrative Procedures, of the Unified Development Code (UDC).

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FIGURE 29: AIRPORT OVERLAY (AP OV) DISTRICT BOUNDARIES

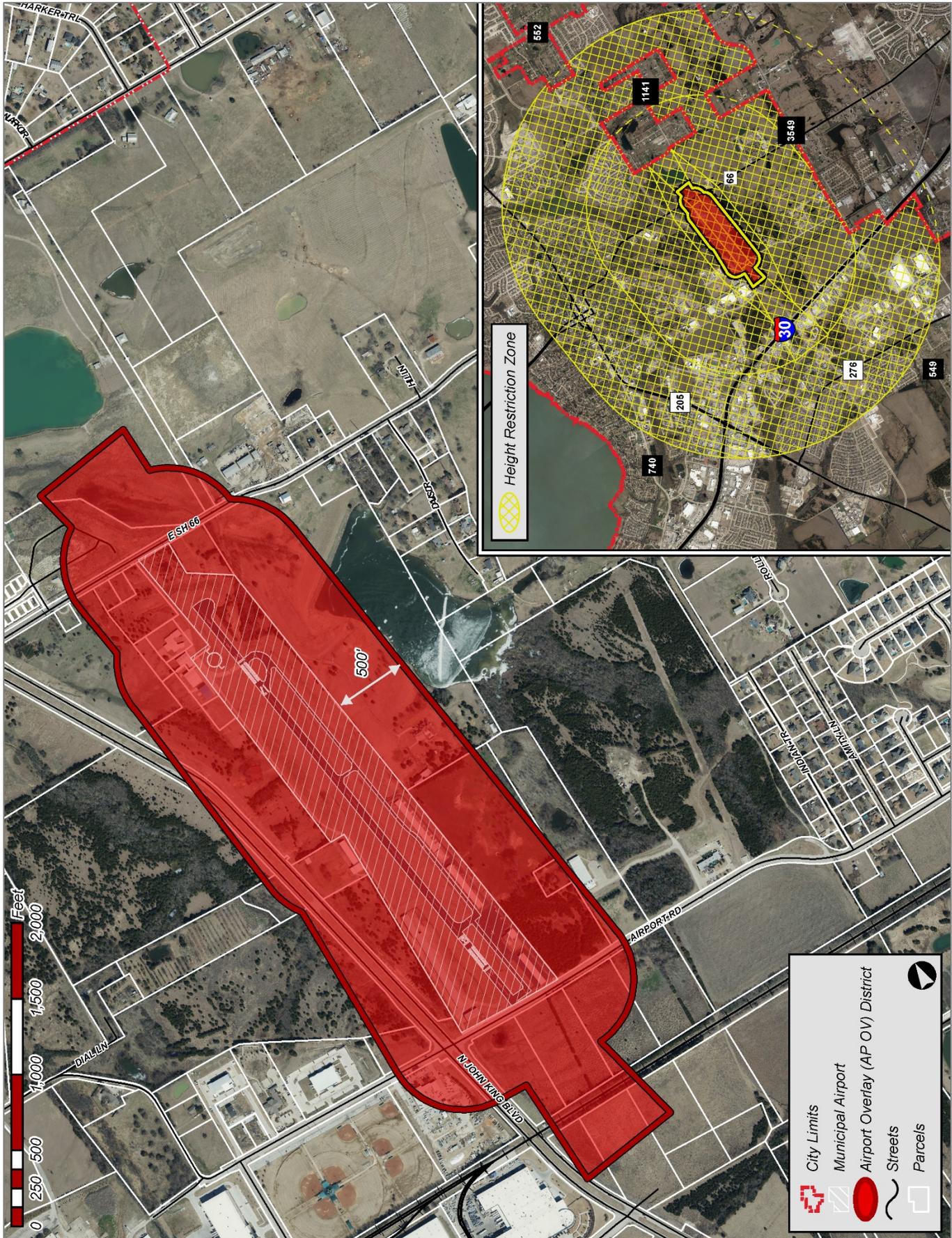




FIGURE 30: DEVELOPMENT ZONES WITHIN THE AIRPORT OVERLAY (AP OV) DISTRICT

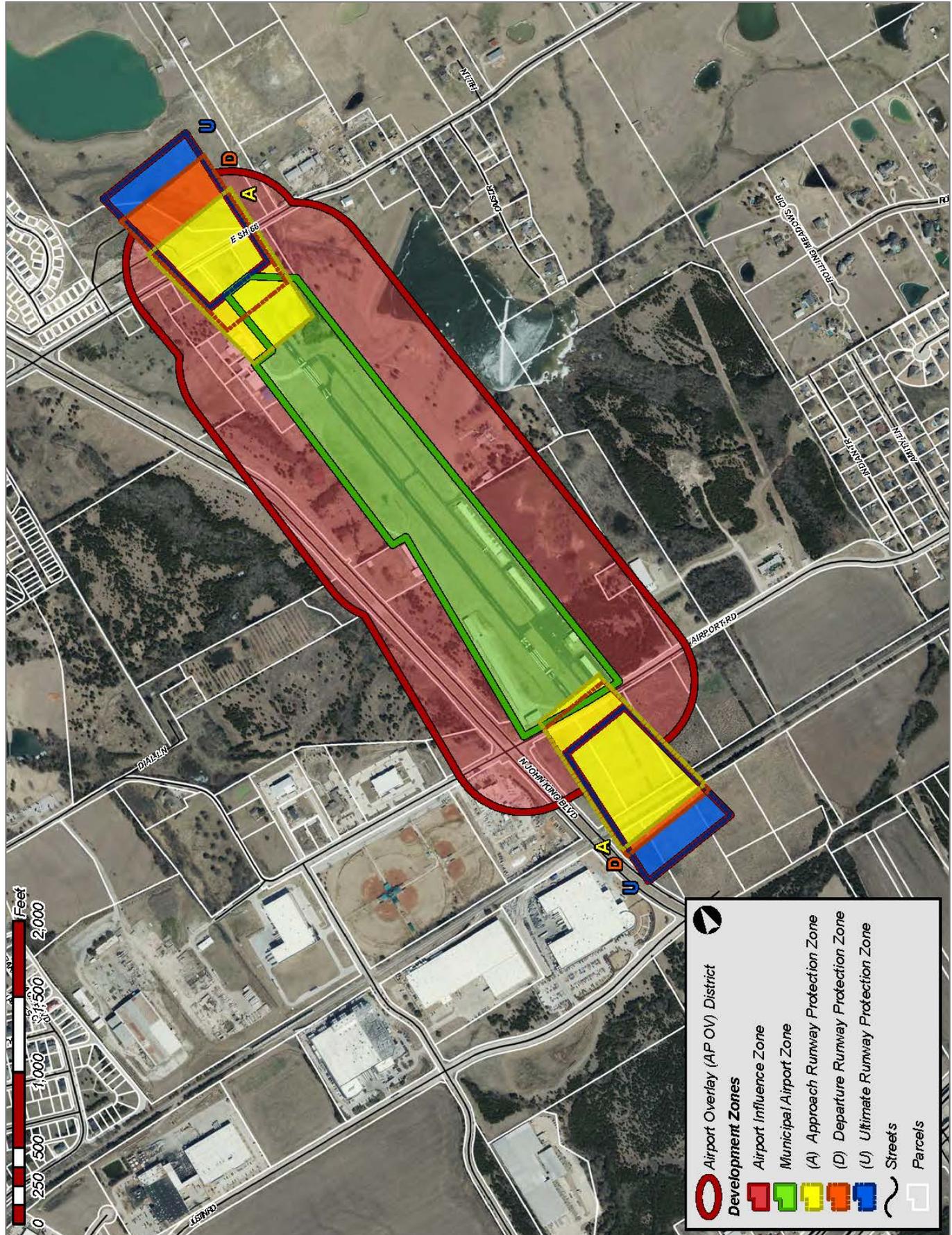




FIGURE 31: AIRSPACE ZONE BOUNDARIES

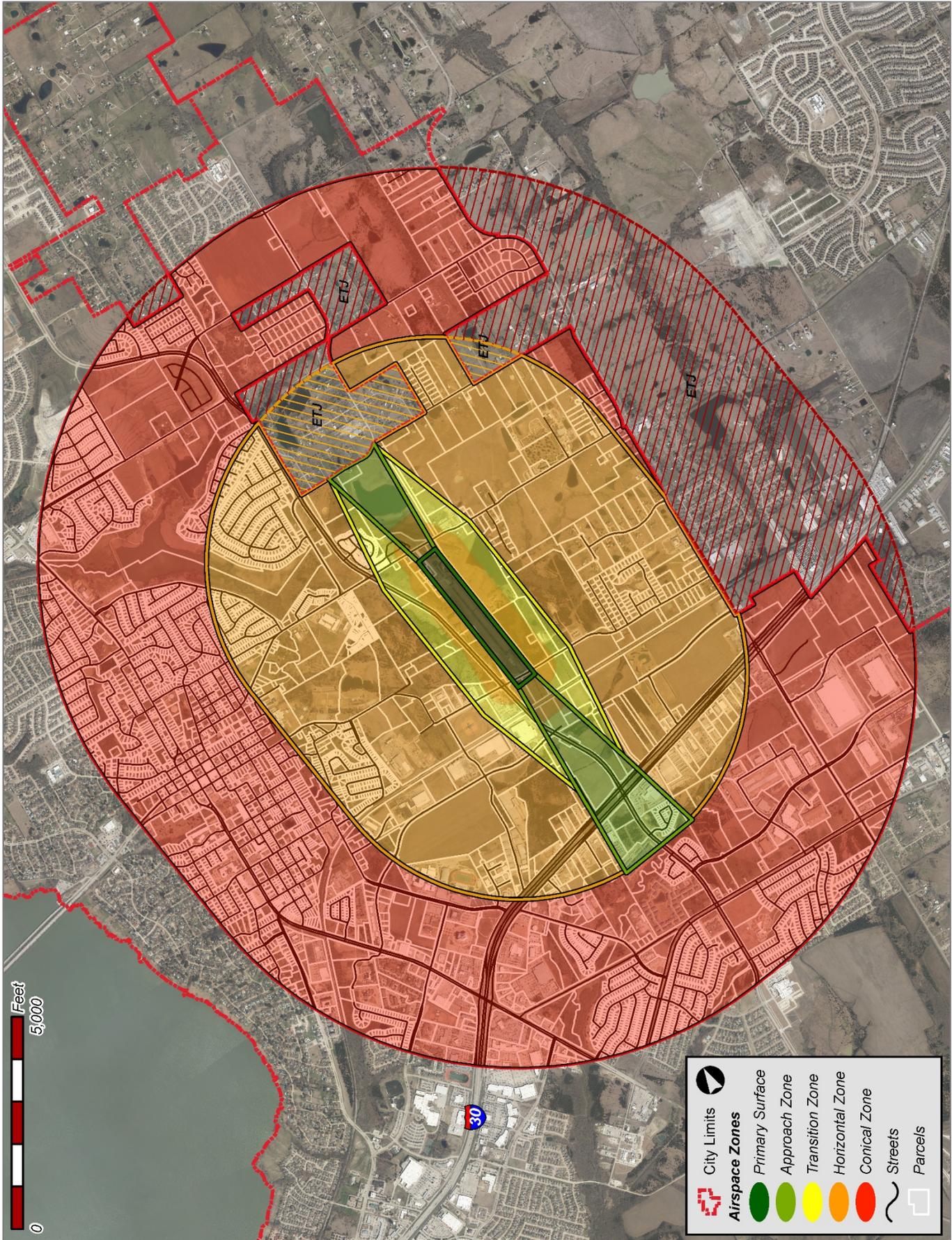
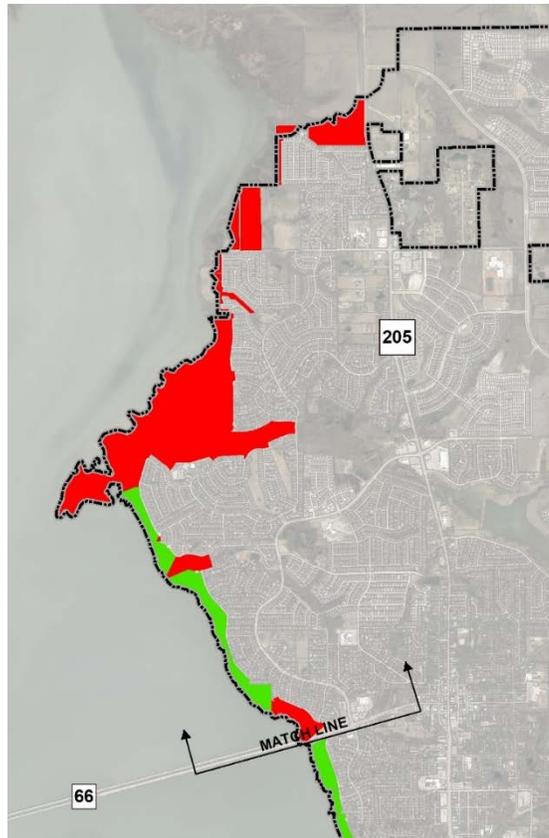




FIGURE 2632: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT MAP

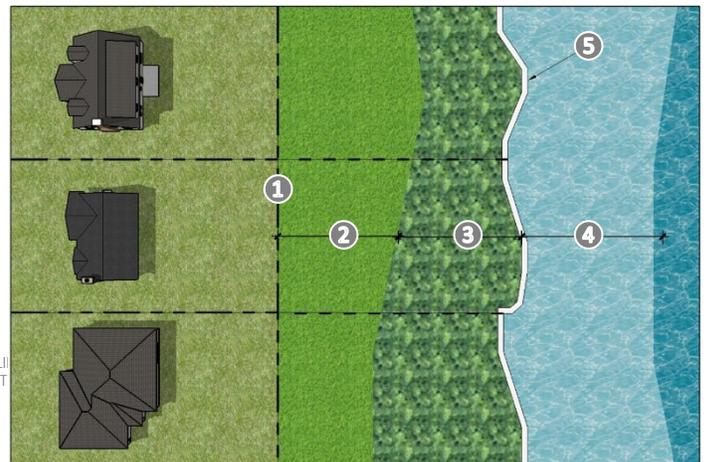


RED: NON-LEASEABLE PROPERTY
GREEN: LEASABLE PROPERTY

SUBSECTION 06.1516: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT

- (A) **Purpose.** The purpose of the *Lake Ray Hubbard Takeline Overlay (TL OV) District* is to permit the development of property along the shoreline of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth the procedures for the development of said property, and establishing an appeal process for the development standards of the district. This zoning district has its basis in and is intended serve as an implementation tool for the Lake Ray Hubbard Master Plan (adopted by the City of Dallas), the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the *Lake Cities Coalition* (i.e. *Garland, Rockwall, and Rowlett*) and the City of Dallas, and the OURHometown Vision 2040 Comprehensive Plan. The adoption of this zoning district is intended to provide a means for the protection of water quality
- (B) **Boundaries.** The Lake Ray Hubbard Takeline (TL OV) District includes all property that is located between the City of Dallas *Takeline* as shown on the boundary map for Lake Ray Hubbard (i.e. *File 612D-1 on file in the City of Dallas Records Vault and depicted below in Figure 26, Lake Ray Hubbard Takeline [TL OV] District Map*) and the meandering of the contour line 435.5-foot sea level elevation. In addition, *Figure 27: Elevation Contours*, shows the elevation zones used to delineate where certain land uses are permitted.

FIGURE 2733: ELEVATION CONTOUR ZONES



- (C) **Applicability.**
 - (1) **Applicable Lots.** The standards set forth within Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, shall apply only to those lots within the takeline that are zoned and used for detached, single-family residential land uses, and that either have a minimum lot width of 45-feet when measured at the front building line or a minimum width of 35-feet at the front building line when located on a curved street or cul-de-sac that are eligible to lease. The properties eligible to lease the takeline area are depicted in *Figure 26: Lake Ray Hubbard Takeline Overlay (TL OV) District Map* above.



- (2) Exceptions for Lots Not Meeting the Applicability Standards. The City Council shall have the authority to consider special exceptions to the eligibility standards set forth within this section that apply to those lots within the Lake Ray Hubbard Takeline Overlay (TL OV) District that are zoned and used for detached, attached, or zero-lot-line single-family residential land uses and meet the minimum lot width requirements as prescribed in [Subsection 06.15\(C\)\(1\)](#) above.
- (D) Definitions. The terms used in this section shall be as defined in this Unified Development Code (UDC), the Lake Ray Hubbard Interlocal Agreement, and the sublease agreements prepared by the City of Rockwall. For specific land use definitions refer to [Subsection \(J\), Specifications for Permitted Land Uses](#). In addition, the following terms shall be defined as follows:
- (1) Catwalk. The narrow walkway of a dock providing people access to moored watercraft.
 - (2) Centerline. An established line that is equidistant from the surface or sides of something (e.g. *parcel boundaries*).
 - (3) Cleat. A metal fitting with two (2) projecting pieces used to wrap a rope around to secure a watercraft in position.
 - (4) Dredging. The process of deepening a waterway for the safe and efficient movement of watercraft by the removal of dirt either by digging or by suction.
 - (5) Habitable Structure. A structure fit for human habitation usually containing amenities (e.g. *fireplace, furniture, plumbing, bathing facilities, and cooking facilities*). Structures allowed by this section shall not be habitable structures and may not contain such amenities.
 - (6) Lake. Refers to Lake Ray Hubbard.
 - (7) Lake Area. The City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the lake at a normal lake pool elevation (i.e. *property at or below an elevation of 435.5-foot mean sea level*).
 - (8) Leased Area. Means the take area that is within the corporate limits of the City of Rockwall, or where the takeline is directly adjacent to the corporate limits of the City of Rockwall.
 - (9) Lift. A temporary means of elevating a watercraft out of the water by use of a hoist.
 - (10) Locker Box. A secured chest fixed onto a dock used for storage of watercraft equipment.
 - (11) Moor. Securing a watercraft to a fixed object such as a fixed cleat on a seawall while the watercraft is still in the water.
 - (12) Mooring. A place where a watercraft can be tied up and secured while in the water (e.g. *a slip*) for not more than 156-consecutive hours.
 - (13) Power Source Station. Used as a power supply for lighting a dock just below watercraft level.
 - (14) Shoreline. Refers to the line along the shore of the lake, established by the normal lake pool elevations (i.e. *435.5-foot mean sea level*).
- (15) Slip. A watercraft's berth between two (2) piers or between finger piers.
 - (16) Take or Takeline Area. Refers to the land owned by Dallas between the takeline and the normal lake pool elevations (i.e. *435.5-foot mean sea level*).
 - (17) Treated Wood. Wood treated by the impregnation or application of chemical solutions or chemical mixtures for the purpose of retarding or preventing deterioration or destruction cause by insects, fungi, bacteria, or other wood destroying organisms.
 - (18) View Clear Zone. The area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.
 - (19) View Corridor. A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, and manmade lakes expressed through a view preservation angle from either a generally recognized center point or various center points along a road corridor or public view area ([see Figure 28: Visual Measurements for View Corridors of Subsection \(E\)](#)).
 - (20) View Preservation Angle. The angle determined as the line extending from the center point -- or 30-foot point depending on lot size -- along the quarter distance line of the leased area extending back toward the opposite corner where the takeline area crosses the lease area's side yard ([see Figure 28: Visual Measurements for View Corridors](#)).
 - (21) Watercraft (or Boat). A craft for water transport. Examples of watercrafts are as follows:
 - (a) Motorized Boat. A boat propelled by an internal combustion engine.
 - (b) Sail Boat. A boat with a mast and sail propelled by the wind.
- (E) Visual Measurements for View Corridors.
- (1) View Corridors. View clear zones are established to protect a property owner's views of the lake and to maintain the aesthetic value of the lake's shoreline. The view clear zones for the takeline areas are established by the shoreline frontage of the takeline lease area. This measurement is determined by projecting the lease areas side yards to the normal pool elevation (i.e. *435.5-foot mean sea level*), and connecting these two (2) points in a straight line ([see Figure 28: Visual Measurements for View Corridors](#)). Based on this linear measurement, the view clear zones are determined by the following:
 - (a) Lots That Have Less Than 100-Feet of Shoreline Frontage. The view corridor for lots that have less than 100-feet of shoreline frontage is defined by the view preservation angle determined as the quarter distance (i.e. 25%) center point from the shoreline frontage line along the centerline of the leasing property owner's side yard with the angle running from the quarter distance center point to the opposite corners where the takeline



area crosses the lease area's side yard. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with [Subsection \(F\)\(2\)\(d\)](#).

- (b) Lots That Have More 100-Foot or More Shoreline Frontage. The view corridor for lots that have 100-foot or more shoreline frontage are defined by the view preservation angle determined as the quarter distance (i.e. 25%) line projected from the shoreline frontage line extending from the leasing property owner's side yard 30-foot along the quarter distance line and running from this point to the opposite corners where the takeline area crosses the lease area's side yard, and in a straight line from the 30-foot point on the quarter distance line to the shoreline frontage line. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with [Subsection \(F\)\(2\)\(d\)](#).

FIGURE 2834: VISUAL MEASUREMENTS FOR VIEW CORRIDORS

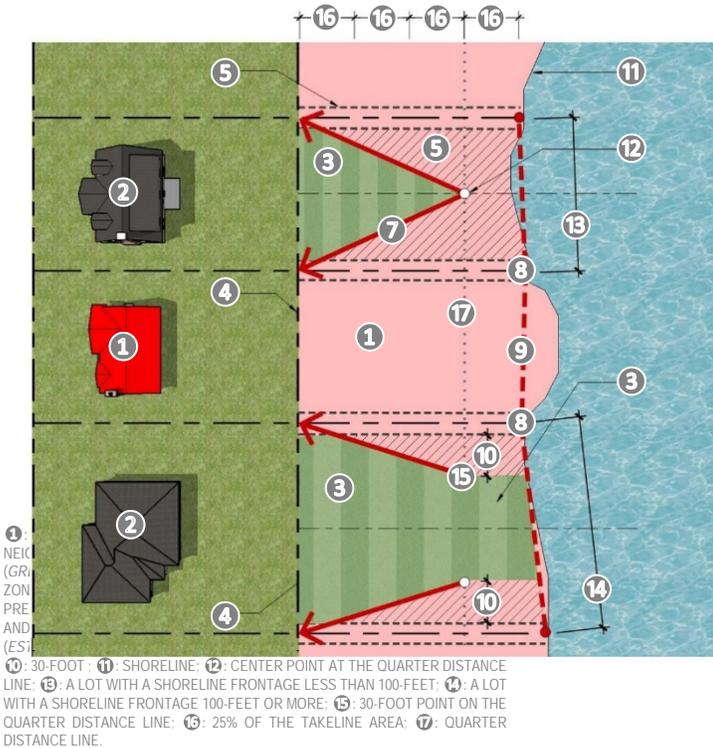
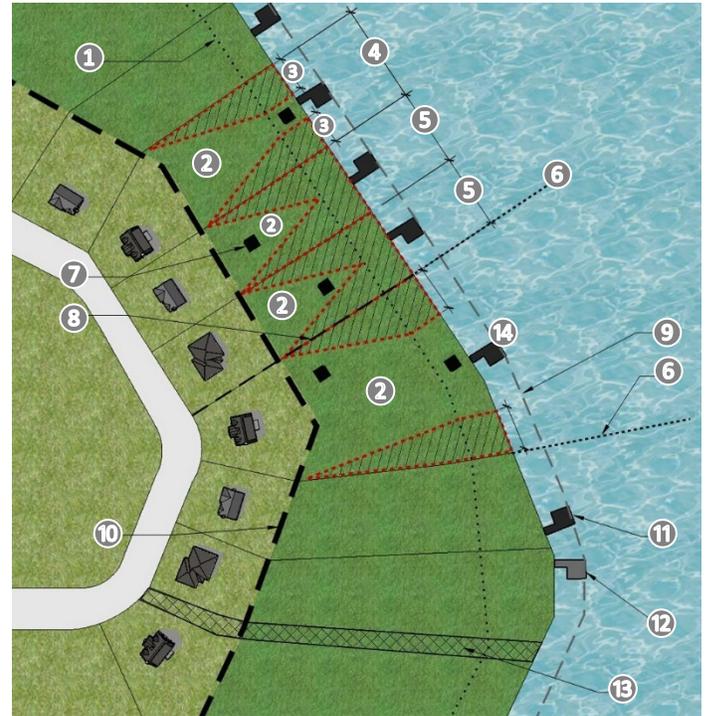


FIGURE 2935: EXAMPLES OF VISUAL MEASUREMENTS FOR VIEW CORRIDORS AND STRUCTURE PLACEMENT



NOTE: 2: BUILDABLE AREA; 3: 30-FOET; 4: A LOT WITH A SHORELINE FRONTAGE LINE 100-FOET OR MORE; 5: A LOT WITH A SHORELINE FRONTAGE LINE LESS THAN 100-FOET; 6: LEASE AREA'S SHORELINE FRONTAGE LINE; 7: STRUCTURE BUILT IN THE 438.0 ELEVATION ZONE; 8: 30-FOOT POINT ON THE QUARTER DISTANCE LINE; 9: 40-FOOT BUILDING LINE; 10: REAR YARD; 11: EXISTING BOATHOUSE; 12: BOATHOUSE BUILT IN THE 438.0 ELEVATION ZONE; 13: BOATHOUSE BUILT IN THE 435.5 ELEVATION ZONE; 14: BOATHOUSE BUILT IN THE 435.5 ELEVATION ZONE GENERALLY BEHIND THE PRIMARY STRUCTURE.

(F) General Requirements. The following general requirements shall apply for all property in the takeline area.

- (1) Number of Permitted Structures. The following is the maximum number of structures that shall be permitted in each elevation zone (NOTE: in this case a structure is defined as any of the permitted uses specified in [Subsection \(J\), Specifications for Permitted Land Uses](#) that exceeds six [6] feet in height):
 - (a) 438.0 Elevation Zone: Two (2) structures shall be permitted in the 438.0 Elevation Zone.
 - (b) 435.5 Elevation Zone: One (1) structure shall be permitted in the 435.5 Elevation Zone.
- (2) General Location of Permitted Structures. The following requirements relate to where structures should be generally located in each elevation zone (NOTE: in this case a structure is defined as any of the permitted uses specified in [Subsection \(J\), Specifications for Permitted Land Uses](#) that exceeds six [6] feet in height):
 - (a) 438.0 Elevation Zone: Structures in the 438.0 Elevation Zone should be located outside of the view clear zones unless specifically permitted to be in the view clear zone

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, AS DEPCITED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City of Rockwall to amend Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] for the purpose of creating an Airport Overlay (AP OV) District; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 4. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF APRIL, 2022.

Kevin Fowler, Mayor

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 21, 2022

2nd Reading: April 4, 2022

DRAFT
ORDINANCE
02.28.2022

Exhibit 'A'
Text Amendment

**ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, OF THE
UNIFIED DEVELOPMENT CODE (UDC)**

ADDITIONS: RED

DELETIONS: ~~RED WITH STRIKE THROUGH~~



the entire property shall be subject to the requirements of [Section 06.02, General Overlay District Standards](#).

SUBSECTION 06.14: SH-276 OVERLAY (SH-276 OV) DISTRICT

- (A) **Purpose.** The intent of the SH-276 Overlay (SH-276 OV) District is to provide for consistent development of office, retail and commercial areas in concert with the most efficient and aesthetically pleasing appearance of the frontage, which serves as the initial impression to those visiting and passing through the City of Rockwall. In order to ensure that the visual impact of development does not detrimentally affect the area in which it is proposed, landscaping plans, building elevations and site plans are required. Architectural compatibility will be reviewed through the Architectural Review Board (ARB). These development requirements shall apply to non-residential and multi-family land uses only, single-family land uses shall be excluded from these standards except as otherwise stated.
- (B) **Application and Boundaries.** The SH-276 Overlay (SH-276 OV) District includes the entirety of all properties which adjoin or are located within 500-feet of the current or future right-of-way of SH-276. The SH-276 Overlay (SH-276 OV) District extends from SH-205 east to the eastern city limits, as may be extended with future annexation(s). The standards and regulations set forth in the SH-276 Overlay (SH-276 OV) District are superimposed and shall supersede the standards and regulations of any underlying zoning district which are in conflict.
- (C) **Overlay District Standards.** If any portion of a property is situated within the boundaries of the SH-276 Overlay (SH-276 OV) District, the entire property shall be subject to the requirements of [Section 06.02, General Overlay District Standards](#).

SUBSECTION 06.15: AIRPORT OVERLAY (AP OV) DISTRICT

Note: This document was prepared using FAA guidelines as of March 17, 2020 and using AC150/5300-14D.

- (A) **Purpose.** The purpose of this district is to provide both airspace protection and land use compatibility with airport operations at the Ralph M. Hall/Rockwall Municipal Airport. This district, through establishment of airport zones and corresponding regulations, provides for independent review of development proposals in order to promote the public interest in safety, health and general welfare of the City of Rockwall. Therefore, the City of Rockwall deems it necessary to regulate uses of land located within or near the traffic patterns of the airport through regulation of height of structures and objects of natural growth, and through the regulation of land uses within the Airport Overlay (AP OV) District, and other FAA regulated areas associated with the airport (i.e. areas relating to RSA/ROFA/ROFZ which extend off the airport property).
- (B) **District Boundaries.** This Airport Overlay (AP OV) District is hereby established as the land area owned by the City of Rockwall and held as Ralph M. Hall/Rockwall Municipal Airport, the Airport Runway Protection Zone (RPZs), and a buffer area extending 500-feet from all property lines of the Ralph M. Hall/Rockwall Municipal Airport (see [Figure 29: Airport Overlay District Boundaries](#)).
- (C) **Definitions.** Unless otherwise stated in this section, the following words shall have the definitions prescribed to them below:

- (1) **Administrative Agency.** The appropriate person or office of the municipality that is responsible for the administration and enforcement of the regulations prescribed in this section of the Unified Development Code (UDC).
 - (2) **Airport.** The current and future boundaries of the Ralph Hall Municipal Airport located within the City of Rockwall, Texas.
 - (3) **Airport Hazard.** A structure or object of natural growth that obstructs the air space required for the taking off, landing, and flight of aircraft or that interferes with visual, radar, radio, or other systems for tracking, acquiring data relating to, monitoring, or controlling aircraft.
 - (4) **Airport Hazard Area.** An area of land or water on which an airport hazard could exist.
 - (5) **Applicant.** The person or persons making a request to the administrative agency.
 - (6) **Centerline.** The runway centerline identifies the center of the runway and provides alignment guidance during takeoff and landings. The centerline consists of a line of uniformly spaced stripes and gaps.
 - (7) **Non-Conforming Land Use or Non-Conforming Use.** Any land use of which is inconsistent with the provisions of these regulations and which is existing as of the effective date of the Airport Overlay (AP OV) District.
 - (8) **Person.** An individual, firm, partnership, corporation, company, association, joint stock association, or body politic and includes a trustee, receiver, assignee, administrator, executor, guardian, or other representative.
 - (9) **Runway.** A defined area on the airport prepared for the landing and taking off of aircraft along its length. The current length of the Rockwall Municipal Airport is 3,373-feet by 45-feet and the zoned dimensions are 3,373-feet by 60-feet.
 - (10) **Runway Safety Area (RSA).** The surface surrounding the runway prepared or suitable for reducing the risk of damage to airplanes in the event of an undershoot, overshoot, or excursion from the runway.
 - (11) **Structure.** An object constructed or installed by one (1) or more persons and includes but is not limited to a building, tower, smokestack, and overhead transmission line.
- (D) **Airport Zones.** In order to implement the intent of this ordinance, the Airport Overlay (AP OV) District hereby includes the following three (3) exhibits that depict the zones within the controlled area and shown on the official zoning map as depicted in [Figure 29: Airport Overlay District Boundaries](#):
- Airport Overlay (AP OV) District Boundaries (see [Figure 29: Airport Overlay District Boundaries](#))
 - Development Zones within the Airport Overlay (AP OV) District (see [Figure 30: Development Zones within the Airport Overlay \(AP OV\) District](#))
 - Airport Airspace Zones Boundaries (see [Figure 31: Airspace Zone Boundaries](#))
- (E) **Permitted Uses.** All uses otherwise permitted by existing zoning ordinances within the boundaries of the AP OV District are permitted



within the district, except where there is a conflict between the AP OV District and the existing zoning ordinances. Where the provisions of the AP OV District are more restrictive, the provisions of the AP OV District shall govern.

(F) **Controlled Area.** The area within which airport land use compatibility controls may be instituted, as defined by *Section 241, Municipal and County Zoning Authority Around Airports*, of the *V.T.C.A., Texas Local Government Code*, shall be defined as the controlled area. The controlled area is located outside the Airport boundaries and within an area measured no farther than one and one-half (1½) statute miles from the centerline of the Ralph M. Hall/Rockwall Municipal Airport runway and lies no farther than five (5) statute miles from each end of the paved surface of the runway.

(G) **Airspace Zones.** *Airspace Zones* consist of all of the land area lying beneath the surfaces referenced in Section H, *Height Limitations*, below and in Title 14, Part 77.19. The following *Airspace Zones* are hereby established and set forth (see *Figures 26: Airspace Zones [right] & Figure 31: Airspace Zone Boundaries [below]*; reference Title 14, Part 77, FAR):

(1) **Primary Surface.** The *Primary Surface* is a surface that is longitudinally centered on the runway. It extends 200-feet beyond the end of each runway and 250-feet on either side of the centerline of the runway for a total width of 500-feet (i.e. a 250-foot side buffer of the runway centerline).

(2) **Approach Zone.** The *Approach Zone* is a fan shaped zone that is established at both ends of the runway for the purpose of landings and take-offs. The *Approach Zone* commences at the end of the *Primary Surface* (i.e. 200-feet beyond the end of the runway) and has a beginning width of 500-feet. It then extends uniformly along the continuation of the centerline of the runway to a width of 3,500-feet at a distance of 10,000-feet from the point of commencement, and a slope of 34:1 or one (1) foot in height for each 34-feet in horizontal distance [this is the land area that exists underneath the *Approach Surface*].

(3) **Transitional Zones.** The *Transitional Zones* are symmetrically located on either side of runway, and have variable widths. The *Transitional Zones* extend outward and upward commencing from the edge of the *Primary Surface* (i.e. 250-feet on either side of the centerline of the runway), and *Approach Surfaces*. The *Transitional Zones* extend upward and outward at slope of 7:1 or one (1) foot vertically for each seven (7) feet horizontally to the point where they intersect the surface of the *Horizontal Zone*. The *Transitional Zones* are established adjacent to the *Approach Zones* and extend their entire length. The *Transitional Zones* flare symmetrically with either side of the runway *Approach Zone* from the base of said zones and slope upward and outward at the rate of 7:1 or one (1) foot vertically for each seven (7) feet horizontally to the points where they intersect the surface of the *Horizontal Zone* and the *Conical Zone* [this is the land area that exists underneath the *Transitional Surface*].

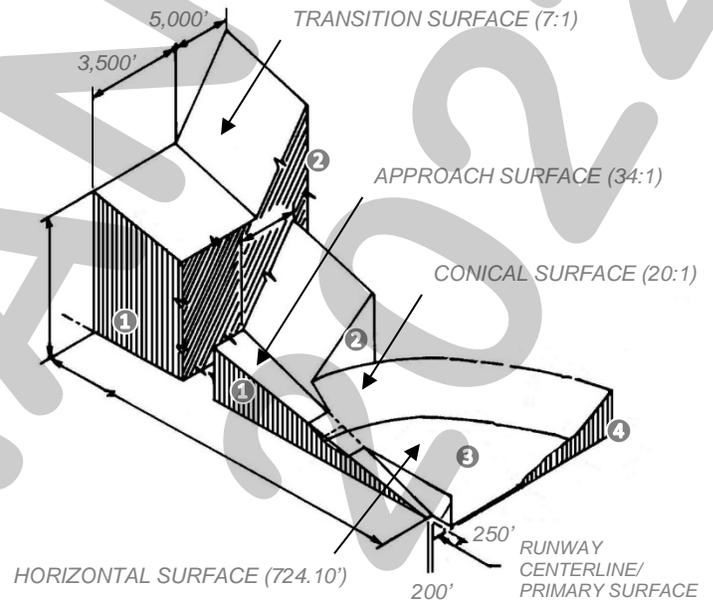
(4) **Horizontal Zone.** The *Horizontal Zone* consists of the land area within the perimeter of which is constructed by swinging arcs of 10,000-feet from the center of each *Primary Surface*, 200-feet beyond the centerline of each runway and connecting the adjacent arcs by lines of tangent to those arcs. The *Horizontal*

Zone does not include the *Approach Zone* and/or the *Transition Zone* [this is the land area that exists underneath the *Horizontal Surface*].

(5) **Conical Zone.** The *Conical Zone* consists of the land area that commences at the periphery of the *Horizontal Zone* and extends outward for a distance of 4,000-feet, at a 20:1 slope or one (1) foot in height for each 20-feet of horizontal distance. The *Conical Zone* does not include the *Approach Zone* and/or the *Transition Zone* [this is the land area that exists underneath the *Conical Surface*].

FIGURE 26: AIRSPACE ZONES

①: APPROACH ZONE; ②: TRANSITION ZONE; ③: HORIZONTAL ZONE;
④: CONICAL ZONE



(H) **Height Limitations.** Except as otherwise provided in this ordinance, no structure or tree shall be erected, altered, allowed to grow, or be maintained in any zone created above to a height in excess of the limits established herein for each of the imaginary surfaces created by the airspace zones (Title 14 CFR, Section 77.19, *Civil Airport Imaginary Surfaces*), which are defined as follows:

(1) **Approach Surface.** The *Approach Surface* is the surface that is created by the *Approach Zone*, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending into the area required for an aircraft's navigable airspace. The *Approach Surface* is the same starting width as the *Primary Surface* (i.e. 500-feet), and has a slope of 34:1 or one (1) foot in height for each 34-feet in horizontal distance commencing at the *Primary Surface* and extending to a point 10,000-feet from the point of beginning and widening to a width of 3,500-feet.

(2) **Transitional Surface.** The *Transitional Surface* is the surface that is created by the *Transitional Zone*, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending in the area required for an aircraft's navigable airspace. The *Transitional Surface* is the surface that extends outward and upward, at right angles to the runway



centerline (at any point 250-feet normal to and at the elevation of the centerline) and extended runway centerline (i.e. 200-feet beyond the end of the runway), from the sides of the Primary Surface and the Approach Surfaces to a point of 150-feet above the airport elevation (i.e. 724.10-feet) [the airport elevation is 574.10-feet above mean sea level]. The Transitional Surface has a slope of 7:1 or one (1) foot in height for each seven (7) feet in horizontal distance.

- (3) **Horizontal Surface.** The Horizontal Surface is the surface that is created by the Horizontal Zone, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending into the area required for an aircraft's navigable airspace. The Horizontal Surface is the horizontal plane created by swinging arcs with a 10,000-foot radius centered on the extended runway centerline where it crosses the Primary Surface, and is situated 150-feet above the established airport elevation (i.e. 724-feet) [the airport elevation is 574-feet above mean sea level], which coincides with the extent of the Horizontal Zone.
- (4) **Conical Surface.** The Conical Surface is the surface that is created by the Conical Zone, and is required to prevent existing or proposed objects, objects of natural growth or terrain from extending into the area required for an aircraft's navigable airspace. The Conical Surface extends upward and outward from the outer limits or the periphery of the Horizontal Surface at a slope of 20:1 or one (1) foot in height for each 20-feet of horizontal distance for a horizontal distance of 4,000-feet. The Conical Surface extends to a height of 350-feet above the airport's elevation (i.e. 924-feet) [the airport elevation is 574-feet above mean sea level].

[Where an area is covered by more than one (1) height limitation, the more restrictive limitation shall prevail. Nothing in this ordinance shall be construed as prohibiting the growth, construction or maintenance of any tree or structure to a height up to 45-feet above the surface of the land, except in the Approach Zones.]

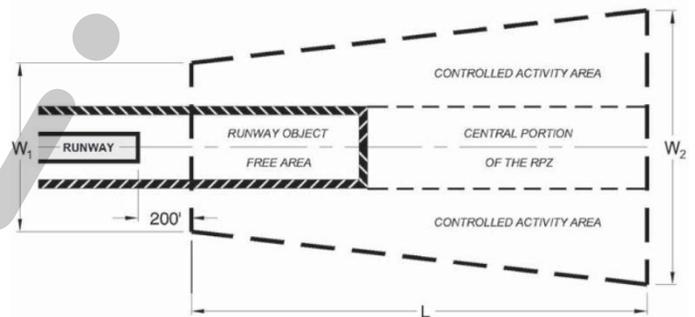
- (I) **Airport Hazard Area.** The Airport Hazard Area is an area of land or water on which an airport hazard could exist. An airport hazard is defined as a structure or object of natural growth that obstructs the airspace required for the taking off, landing, and flight of aircraft or that interferes with visual, radar, radio, or other systems for tracking, acquiring data relating to, monitoring, or controlling aircraft. For the purposes of this ordinance, the Airport Hazard Area is defined as the entirety of all the imaginary surfaces stated in Section H, Height Limitations, of this ordinance (see Figure 31: Airspace Zone Boundaries).
- (J) **Land Use Compatibility.**
 - (1) **Intent.** The Airport Overlay (AP OV) District is intended to overlay any other zoning district's regulations comprising or pertaining to areas to which it is applicable, to prevent undue negative interaction between aviation activities associated with the airport and the surrounding community. It is intended to protect the lives and property of the users of the airport and of the occupants of the land in its general vicinity by restricting places of public assembly within this Airport Overlay (AP OV) District. The overlay is intended to preserve the utility of the airport and the public investment therein.

(2) **Development Zones.** The Development Zones are hereby established within the Airport Overlay (AP OV) District. These zones are depicted in Figure 30: Development Zones within the Airport Overlay (AP OV) District of this ordinance. The Development Zones are defined and described as follows:

- (a) **Airport Runway Protection Zones (RPZs).** The Airport Runway Protection Zones are hereby established as the trapezoidal areas centered about the extended runway centerline. The RPZ dimensions for a particular runway end are a function of the type of aircraft and approach/departure visibility minimum associated with the runway end. The RPZs for the Ralph M. Hall/Rockwall Municipal Airport commence 200-feet from the edge of pavement at the end of each runway, beginning with a base of 500-feet (i.e. inner width or W_1), extending 1,000-feet along the runway centerline (i.e. length or L), and terminating at the outboard corners of a 700-foot line segment (i.e. outer width or W_2) [see Figure 27: Airport Runway Protection Zone (RPZ)], creating a 13.770-acre trapezoidal area, which is intended to service Aircraft Approach/Departure Categories 'A' & 'B' (i.e. small single and multi-engine planes). Contained within the two (2) trapezoidal areas that make up the RPZs are the Controlled Activity Area and a portion of the ROFA (Object Free Area). These areas are defined as follows:

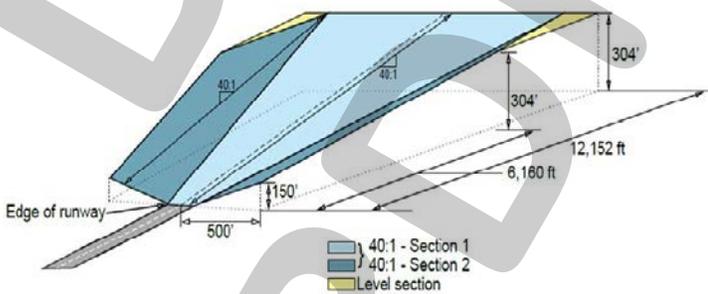
- (1) **The Runway Object Free Area (ROFA).** The Runway Object Free Area (ROFA) is centered on the runway centerline. The ROFA clearing standard requires clearing the ROFA of above ground objects protruding above the runway safety area edge elevation. Except where precluded by other clearing standards, it is acceptable to place objects that need to be located in the ROFA for air navigation or aircraft ground maneuvering purposes to protrude above the nearest point of the runway safety area, and to taxi and hold aircraft in the ROFA. To the extent practicable, objects in the ROFA should meet the same frangibility requirements as the runway safety area. Objects non-essential for air navigation or aircraft ground maneuvering purposes are not permitted to be placed in the ROFA. This includes parked airplanes and agricultural operations.

FIGURE 27: AIRPORT RUNWAY PROTECTION ZONE (RPZ)



- (2) The Controlled Activity Area. The *Controlled Activity Area* is the portion of the *RPZ* beyond the boundaries of the *ROFA*.
- (b) Municipal Airport Zone. The *Municipal Airport Zone* is hereby established as the real property boundaries of the Ralph M. Hall/Rockwall Municipal Airport. This zone contains the majority of all airport related land uses and structures.
- (c) Airport Influence Zone. The *Airport Influence Zone* contains all areas within the 500-foot buffer excluding the *Municipal Airport Zone* and the *RPZ*.
- (d) Height Restriction Zone. The *Height Restriction Zone* extends to the edge of the *Conical Zone* and is subject only to the requirements stipulated in Section H, *Height Limitations*, of this ordinance (see Figure 29: Airport Overlay District Boundaries).
- (e) Departure Surface. The *Departure Surface* starts at the end of the runway end elevation and matches the width of the usable runway. From the edge of the usable runway, the surface rises upward to 150-feet above the runway end elevation at a point 500-feet on either side of the runway centerline. The new surface rises upward along the extended centerline at a slope of 40:1 or one (1) foot in height for each 40-feet in horizontal distance until reaching 304-feet above the runway end elevation (i.e. 6,160-feet across at its outer width at the runway end elevation). Upon reaching the 304-foot marker, the surface levels out until the end of the departure surface at 12,152-feet. The area splays outward at a rate of 15-degrees relative to the extended runway centerline (see Figure 28: Departure Surface).

FIGURE 28: DEPARTURE SURFACE



(3) Land Use Restrictions.

- (a) Runway Object Free Area (ROFA) and Controlled Activity Area. No uses are permitted within the *Runway Object Free Area (ROFA)* or the *Controlled Activity Area* unless deemed essential to air navigation or aircraft ground maneuvering purposes by the Federal Aviation Administration (FAA) with the following exceptions:
- (1) Permitted Uses. See the current *FAA Standard*.
 - (2) Specific Use Permit (SUP).

- (a) Roadways, Automobile Parking Areas, and Railroads that Adhere to the Height Restrictions
- (b) Municipal Airport Zone.
- (1) Permitted Uses.
 - (a) Aircraft Runways, Taxiways, Taxi Lanes, Ramps, Parking Areas and Fuel Storage Facilities
 - (b) Aircraft Operational Facilities (including but not limited to *Instrument Landing Systems, Visual Navigational Aids, and Related Equipment; Communication Facilities; Weather Service Offices and Equipment*)
 - (c) Hangars (includes all buildings which may be used for the *Storage or Maintenance of Aircraft, Airport Snow Removal, Sweeping and Other Maintenance Equipment, and/or Other Aviation-Related or Ancillary Activities*)
 - (d) Terminal Buildings (which may contain *Offices or Airline Companies, and Other Businesses and Concessionaires*)
 - (e) Offices and Facilities for Airport Management, Air Charter, Air Taxi, Crop Spraying, Aircraft Sales or Rentals, and Air Cargo Processing Facilities
 - (f) Agriculture (other than *Forestry or Livestock*), Tourism Information Centers and Museums
 - (g) Flight Schools, Flying Clubs, and Other Schools or Training Facilities (relating to *Aviation or Air-Related Transportation*)
 - (h) Offices and Facilities for the Operation and Maintenance of Air Rescue, Emergency and Firefighting Services
 - (i) Aircraft Maintenance, Manufacturing, and Testing Facilities
 - (j) Offices and Facilities of Federal, State and Local Government Entities that Incorporate an *Aeronautical Land Use (Unless the Property has been Designated for Non-Aeronautical Land Uses)*
 - (2) Prohibited Uses.
 - (a) No uses other than those uses explicitly permitted above.
 - (c) Airport Influence Zone. All uses permitted within the underlying zoning depicted on the official zoning map of the City of Rockwall, with the following additional uses and exceptions:
 - (1) Specific Use Permits (SUP).
 - (a) Residential Airpark or Aviation Homes
 - (b) Driving Test Track

(2) Prohibited Uses.

- (a) Residential Uses (e.g. Single Family, Multi Family, etc.)
- (b) Educational Centers (including all types of Primary and Secondary Schools, Pre-Schools, and Child Care Facilities)
- (c) Hospitals, Medical Inpatient Treatment Facilities, Nursing Homes and/or Convalescent Home Facilities
- (d) Places of Worship
- (e) Places of Public Assembly (Not Previously Listed)
- (f) Fuel Handling and Storage Facilities (Does Not Include Gas Station)

(d) Height Restriction Zone. Properties within the Height Restriction Zone, outside of the Airport Overlay (AP OV District), are subject to the use requirements stipulated by the underlying zoning depicted on the official zoning map of the City of Rockwall (see Figure 29: Airport Overlay District Boundaries).

(4) Additional Use Restrictions.

(a) Notwithstanding any other provision of this ordinance, no use may be made of land within any zone established by this ordinance in such a manner as to (1) create electrical interference with radio communication between the Airport and aircraft, (2) make it difficult for flyers to distinguish between airport lights and others, (3) result in glare in the eyes of flyers using the Airport, (4) impair visibility in the vicinity of the Airport or otherwise endanger the landing, taking-off, or maneuvering of aircraft.

(5) Legal Non-Conforming Land Uses.

(a) Regulations Not Retroactive. The regulations prescribed by this ordinance shall not be construed to require the removal, lowering, changes and/or alteration of any structure (e.g. building) or object of natural growth (e.g. tree) not conforming to the regulations as of the effective date of this ordinance, or otherwise interfere with the continuance of any legal non-conforming use. Nothing herein contained shall require any change in the construction, alteration, or intended use of any structure or property, for which the construction or alteration of said structure or property was commenced prior to the effective date of this ordinance.

(b) Hazard Marking and Lighting. Notwithstanding the preceding provision of this section, the owner of any non-conforming structure or tree is hereby required to permit the installation, operation, and maintenance thereon of such markers and lights as shall be deemed necessary by the City Manager or his designee to indicate to the operators of aircraft in the vicinity of the Airport, the presence of such airport hazards. Markers and lighting necessary for existing non-conforming structures or trees shall be operated and maintained at the expense of the

property owner. Markers and lighting necessary for future non-conforming structures or trees, approved per the requirements of this ordinance, shall be installed, operated, and maintained at the expense of the property owner.

(K) Development Standards.(1) Architectural Standards.

- (a) All buildings within the Municipal Airport Zone shall be designed by a licensed, professional architect and all drawings submitted for approval and/or permits shall bear the architect's seal of the State of Texas.
- (b) All buildings intended for airport related use such as hangars, maintenance facilities, offices and facilities for airport management, terminal buildings and other similar types of uses with exterior walls visible from a public right-of-way shall consist of 90% masonry materials, excluding doors and windows as defined in Article 13, Definitions, of the Unified Development Code (UDC) [i.e. "Masonry"]. Building exterior walls not visible from the public rights-of-way may be earth-tone colored, pre-finished aluminum, steel or masonry. Materials that are unfinished are prohibited.

[All other buildings not related to airport uses within the Airport Overlay (AP OV) District shall conform to building materials requirements as stipulated within the Unified Development Code (UDC).]

In addition, all buildings intended for airport related uses shall adhere to the following standards:

- (1) A Material Sample Board indicating all exterior materials and colors must be submitted to the Planning and Zoning Commission, upon a recommendation by the Architecture Review Board (ARB), for approval prior to the commencement of construction. All sides of the exterior building shall be architecturally integrated and similar in nature with respect to the design and aesthetic.
- (2) All roofs shall be metal. If galvanized metal is being proposed, it shall be limited to a roofing material only.
- (3) Building glazing or reflectors shall not be incorporated into a building if it will cause a glare or reflection that could interfere with airport operations or ground circulation.
- (4) All windows or large glass elements shall be oriented and/or treated to avoid reflections that could cause a distraction to air traffic that is landing or taking off.
- (5) All new construction shall be of a high quality and utilize materials and finishes that will maintain their appearance with relatively low maintenance.
- (6) All steel used for roofing or siding shall be a minimum of 28-gauge steel, with a factory finish in a color that has been approved by the Planning and Zoning Commission, and which has been warranted by the



manufacturer for a minimum of 20 years with regards to the durability and color fastness.

- (7) All floors must be constructed of a minimum of four (4) inches thick concrete and reinforced with steel to a standard approved by the Engineering and Building Inspections Departments.
- (8) All hangars facing a taxiway (i.e. a path connecting runways with ramps, hangars, terminals, etc.) shall have a hangar door that has a minimum opening of 55-feet in width by 16-feet in height (i.e. 55' [w] x 16' [h]). Buildings facing a taxilane (i.e. a path connecting the taxiways to aircraft parking positions) shall have a hangar door that has a minimum opening of 41-feet, 6-inches in width by 12-feet in height (i.e. 41'-6" [w] x 12' [h]). Approved swing out, overhead or sliding doors may also be used. All pedestrian doors must be of a pre-finished metal construction positioned in metal doorjamb. No wood doorjamb will be permitted on exterior doors.
- (9) Mechanical equipment shall be screened so as not to be visible from the public and private rights-of-way. All screens, whether situated on the ground or on the building, shall be constructed to be aesthetically integrated into the design of the building. The rooftops of all buildings shall be free of any mechanical equipment unless completely screened from all points of view along all public rights-of-way by an architectural parapet. All screening materials shall be compatible with the material used on the building.

(2) Landscaping.

- (a) The requirements contained within Article 05, *District Development Standards*, and Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), whichever would be applicable to the subject property independent of the AP OV District, shall apply to a property located within the overlay (i.e. the landscaping percentage of the underlying zoning district would apply); however, landscaping plans in the AP OV District should be designed with the consideration of aircraft movement and should not be designed using trees and/or plants that have the propensity to attract hazardous wildlife. In cases where aircraft requirements would conflict with certain landscaping elements, the Planning and Zoning Commission may approve requirements that deviate from those stipulated by the Unified Development Code (UDC) if, in its opinion, such alternate requirements provide for a safer and more efficient use of the property. In addition, the Planning and Zoning Commission may request that a qualified Airport Wildlife Biologist review landscaping plans in sensitive areas and provide recommendations for planting placement and alternatives.
- (3) Variances. The City Council may, upon request from the applicant, grant a variance to the any of the provisions contained within Section K.6, *Architectural Standards*, and Section K.7, *Landscaping*, of this ordinance where unique or

extraordinary conditions exist or where strict adherence to the provisions of this ordinance would create a hardship. Approval of any variance to any provision of this section shall require City Council approval by a three-quarter (¾) majority vote of the City Council members present with a minimum of four (4) affirmative votes.

(L) Administrative Procedures and Permits.

- (1) Notice of Proposed Construction or Alteration (i.e. FAA Form 7460-1). Any tree or structure (new or alteration of an existing structure) proposed within the AP OV District or 20,000-feet of the runway shall require an applicant to file a *Notice of Proposed Construction or Alteration* form (i.e. FAA Form 7460-1) with the Federal Aviation Administration (FAA) to determine if the tree or structure creates a hazard to air navigation or will result in an inefficient use of airspace.
- (2) Future Use. Except as specifically provided herein, no change shall be made in the use of land and no structure or tree shall be erected, altered, planted or otherwise established in any zone hereby created unless a permit therefore shall have been applied for and granted. Each application for a permit shall indicate the purpose for which the permit is desired, with sufficient particularity to permit it to be determined whether the resulting use, structure or tree would conform to the regulations herein prescribed. If such determination is in the affirmative, the permit shall be granted.
 - (a) In the area lying within the limits of the *Horizontal Zone* and *Conical Zone*, no permit -- *except as required by Section (L)(1) above* -- shall be required for any tree or structure less than 75-feet of vertical height above the ground as measured at grade, except when because of terrain, land contour or topographic features such tree or structure would extend above the height limits prescribed for such zone.
 - (b) In the areas lying within the limits of the *Approach Zones* but at the horizontal distance of not less than 4,000-feet from each end of the runways, no permit -- *except as required by Section (L)(1) above* -- shall be required for any tree or structure less than 75-feet of vertical height above the ground as measured at grade, except when because of terrain, land contour or topographic features such tree or structure would extend above the height limit prescribed for the *Approach Zone*.
 - (c) In the areas lying within the limits of the *Transitional Zones* ending at the perimeter of the *Horizontal Zone*, no permit -- *except as required by Section (L)(1) above* -- shall be required for any tree or structure less than 75-feet of vertical height above the ground as measured at grade, except when such tree or structure because of terrain, land-contour or topographic features would extend above the height limit prescribed for such *Transitional Zones*.
- (3) Exceptions/Variances/Non-Conforming Uses. Nothing contained in any of the foregoing exceptions shall be construed as permitting or intending to permit any construction, alteration or growth of any structure or tree in excess of any of the height



limits established by this Ordinance except as set forth in Section H, *Height Limitations*.

- (a) *Existing Uses*. No permit shall be granted that would allow the establishment or creation of an airport hazard or permit a non-conforming use, structure, or tree to be made or become higher, or become a greater hazard to air navigation, than it was on the effective date of this Ordinance or any amendments thereto or than it is when the application for a permit is made. Except as indicated, all applications for such a permit shall be granted.
- (b) *Non-Conforming Uses Abandoned or Destroyed*. Whenever the Board of Adjustment (BOA) determines that a non-conforming structure or use has been abandoned for a period of six (6) months, or more than eighty (80%) percent of a non-conforming structure or tree has been torn down, physically deteriorated, or decayed, no permit shall be granted that would allow such structure or tree to exceed the applicable height limit or otherwise deviate from the zoning regulations.
- (c) *Variances*. Any person desiring to erect or increase the height of any structure, or permit the growth of any tree, or use of their property, not in accordance with the regulations prescribed in this ordinance, may apply to the Board of Adjustment (BOA) for a variance from such regulations. Such variances shall be allowed where it is duly found that a literal application or enforcement of the regulation would result in practical difficulty or unnecessary hardship and the relief granted would not be contrary to the public interest but will do substantial justice to be in accordance with the spirit and intent of this Ordinance.
- (d) *Hazard Marking and Lighting*. Any permit or variance granted may, if such action is deemed advisable to effectuate the purpose of this Ordinance and be reasonable in the circumstances, be so conditioned as to require the owner of the structure or tree in question to permit the owners at their own expense, to install, operate, and maintain thereon such markers and lights as may be necessary to indicate to flyers the presence of an airport hazard.

(M) *Enforcement*. It shall be the duty of the City Manager or his designee to administer and enforce the regulations prescribed herein. Application of permits shall be made to the City Manager or his designee upon a form published for that purpose. Applications required by this ordinance to be submitted to the City Manager or his designee shall be promptly considered and granted or denied. Applications for variances shall be made to the Board of Adjustment (BOA) by first filing said application for variance with the City Manager or his designee who shall forthwith transmit said application to the Board of Adjustment for determination.

~~(A)~~(N) *Appeals*. Requests for appeals to administrative decisions by the City Manager or his designee concerning the enforcement of this ordinance shall be directed to the Board of Adjustment (BOA) in compliance with Section 04, Board of Adjustments, of Article 02, Authority and Administrative Procedures, of the Unified Development Code (UDC).

Continued on Next Page ...



FIGURE 29: AIRPORT OVERLAY (AP OV) DISTRICT BOUNDARIES

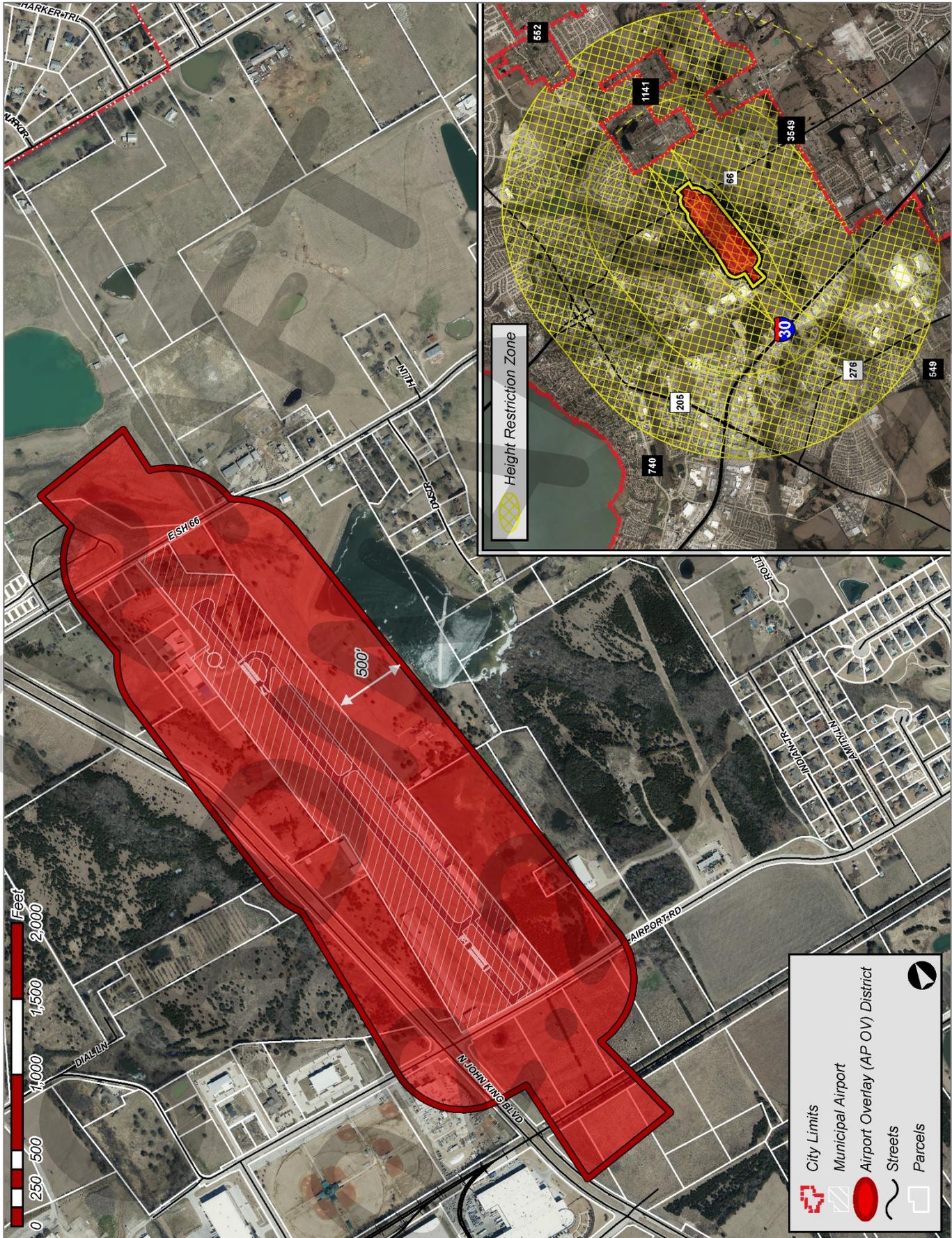




FIGURE 30: DEVELOPMENT ZONES WITHIN THE AIRPORT OVERLAY (AP OV) DISTRICT

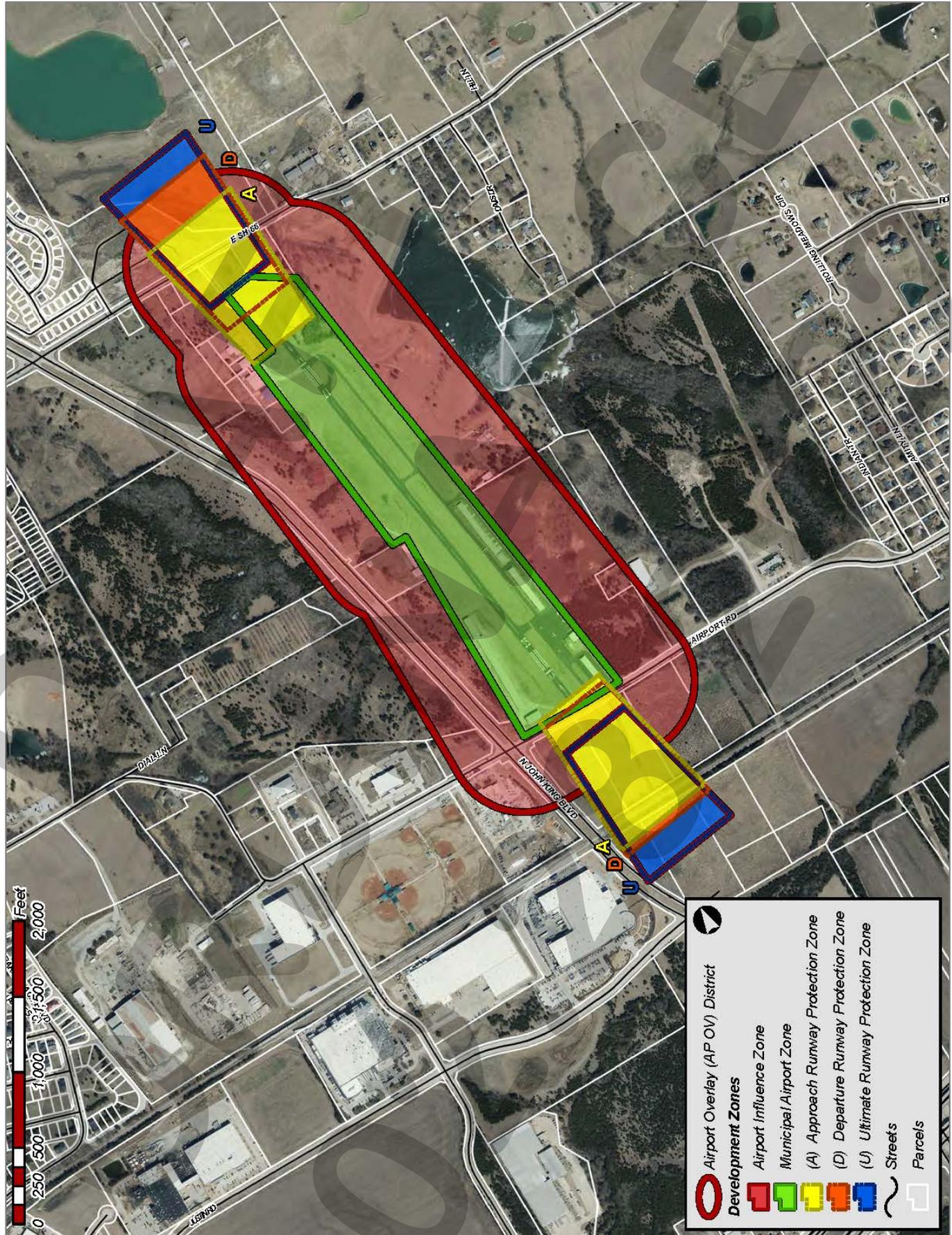




FIGURE 31: AIRSPACE ZONE BOUNDARIES

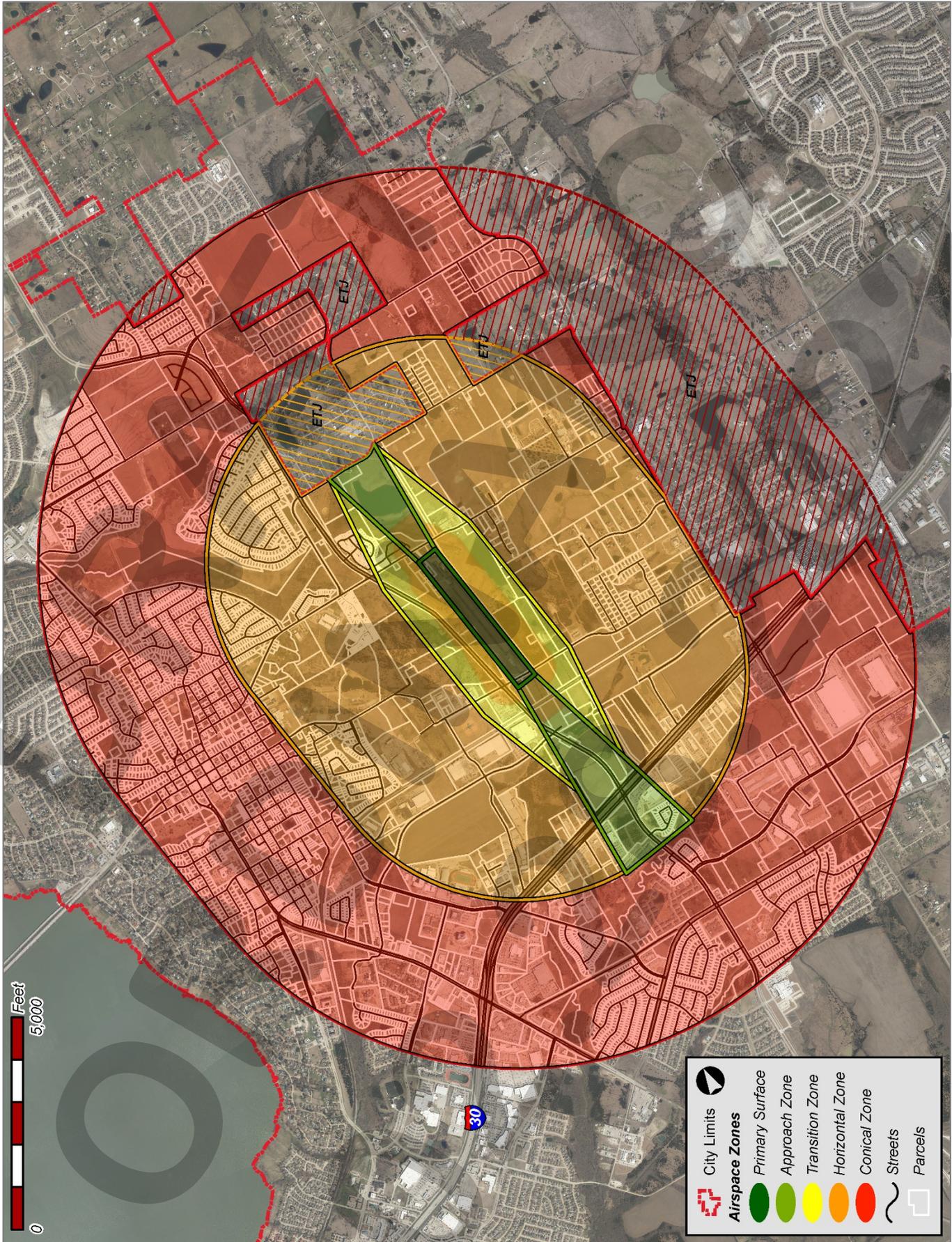
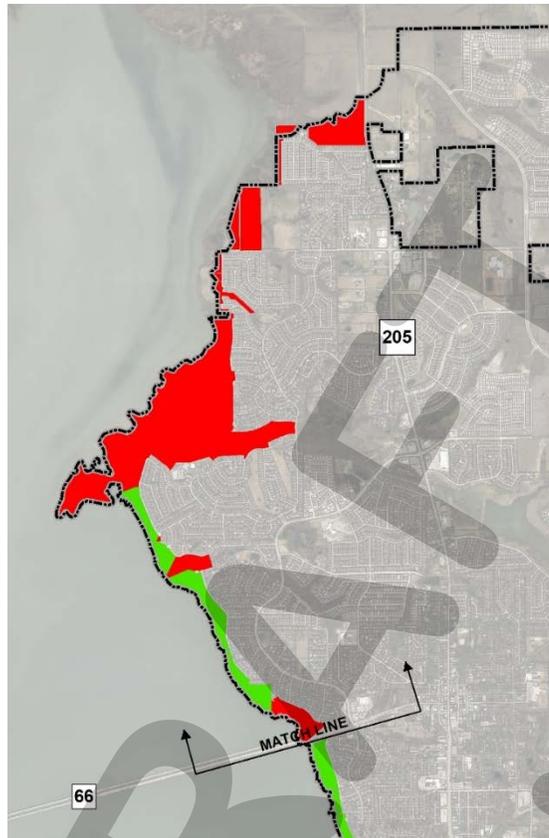




FIGURE 2632: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT MAP

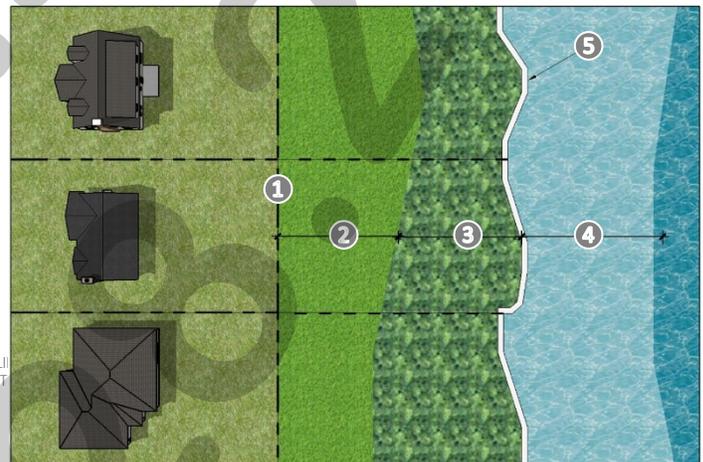


RED: NON-LEASEABLE PROPERTY
GREEN: LEASABLE PROPERTY

SUBSECTION 06.1516: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT

- (A) **Purpose.** The purpose of the *Lake Ray Hubbard Takeline Overlay (TL OV) District* is to permit the development of property along the shoreline of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth the procedures for the development of said property, and establishing an appeal process for the development standards of the district. This zoning district has its basis in and is intended serve as an implementation tool for the Lake Ray Hubbard Master Plan (adopted by the City of Dallas), the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the *Lake Cities Coalition* (i.e. *Garland, Rockwall, and Rowlett*) and the City of Dallas, and the OURHometown Vision 2040 Comprehensive Plan. The adoption of this zoning district is intended to provide a means for the protection of water quality.
- (B) **Boundaries.** The Lake Ray Hubbard Takeline (TL OV) District includes all property that is located between the City of Dallas Takeline as shown on the boundary map for Lake Ray Hubbard (i.e. File 612D-1 on file in the City of Dallas Records Vault and depicted below in Figure 26, *Lake Ray Hubbard Takeline [TL OV] District Map*) and the meandering of the contour line 435.5-foot sea level elevation. In addition, *Figure 27: Elevation Contours*, shows the elevation zones used to delineate where certain land uses are permitted.

FIGURE 2733: ELEVATION CONTOUR ZONES



- (C) **Applicability.**
 - (1) **Applicable Lots.** The standards set forth within Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, shall apply only to those lots within the takeline that are zoned and used for detached, single-family residential land uses, and that either have a minimum lot width of 45-feet when measured at the front building line or a minimum width of 35-feet at the front building line when located on a curved street or cul-de-sac that are eligible to lease. The properties eligible to lease the takeline area are depicted in *Figure 26: Lake Ray Hubbard Takeline Overlay (TL OV) District Map* above.



- (2) Exceptions for Lots Not Meeting the Applicability Standards. The City Council shall have the authority to consider special exceptions to the eligibility standards set forth within this section that apply to those lots within the Lake Ray Hubbard Takeline Overlay (TL OV) District that are zoned and used for detached, attached, or zero-lot-line single-family residential land uses and meet the minimum lot width requirements as prescribed in [Subsection 06.15\(C\)\(1\)](#) above.
- (D) Definitions. The terms used in this section shall be as defined in this Unified Development Code (UDC), the Lake Ray Hubbard Interlocal Agreement, and the sublease agreements prepared by the City of Rockwall. For specific land use definitions refer to [Subsection \(J\), Specifications for Permitted Land Uses](#). In addition, the following terms shall be defined as follows:
- (1) Catwalk. The narrow walkway of a dock providing people access to moored watercraft.
 - (2) Centerline. An established line that is equidistant from the surface or sides of something (e.g. *parcel boundaries*).
 - (3) Cleat. A metal fitting with two (2) projecting pieces used to wrap a rope around to secure a watercraft in position.
 - (4) Dredging. The process of deepening a waterway for the safe and efficient movement of watercraft by the removal of dirt either by digging or by suction.
 - (5) Habitable Structure. A structure fit for human habitation usually containing amenities (e.g. *fireplace, furniture, plumbing, bathing facilities, and cooking facilities*). Structures allowed by this section shall not be habitable structures and may not contain such amenities.
 - (6) Lake. Refers to Lake Ray Hubbard.
 - (7) Lake Area. The City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the lake at a normal lake pool elevation (i.e. *property at or below an elevation of 435.5-foot mean sea level*).
 - (8) Leased Area. Means the take area that is within the corporate limits of the City of Rockwall, or where the takeline is directly adjacent to the corporate limits of the City of Rockwall.
 - (9) Lift. A temporary means of elevating a watercraft out of the water by use of a hoist.
 - (10) Locker Box. A secured chest fixed onto a dock used for storage of watercraft equipment.
 - (11) Moor. Securing a watercraft to a fixed object such as a fixed cleat on a seawall while the watercraft is still in the water.
 - (12) Mooring. A place where a watercraft can be tied up and secured while in the water (e.g. *a slip*) for not more than 156-consecutive hours.
 - (13) Power Source Station. Used as a power supply for lighting a dock just below watercraft level.
 - (14) Shoreline. Refers to the line along the shore of the lake, established by the normal lake pool elevations (i.e. *435.5-foot mean sea level*).
 - (15) Slip. A watercraft's berth between two (2) piers or between finger piers.
 - (16) Take or Takeline Area. Refers to the land owned by Dallas between the takeline and the normal lake pool elevations (i.e. *435.5-foot mean sea level*).
 - (17) Treated Wood. Wood treated by the impregnation or application of chemical solutions or chemical mixtures for the purpose of retarding or preventing deterioration or destruction cause by insects, fungi, bacteria, or other wood destroying organisms.
 - (18) View Clear Zone. The area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.
 - (19) View Corridor. A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, and manmade lakes expressed through a view preservation angle from either a generally recognized center point or various center points along a road corridor or public view area ([see Figure 28: Visual Measurements for View Corridors of Subsection \(E\)](#)).
 - (20) View Preservation Angle. The angle determined as the line extending from the center point -- or 30-foot point depending on lot size -- along the quarter distance line of the leased area extending back toward the opposite corner where the takeline area crosses the lease area's side yard ([see Figure 28: Visual Measurements for View Corridors](#)).
 - (21) Watercraft (or Boat). A craft for water transport. Examples of watercrafts are as follows:
 - (a) Motorized Boat. A boat propelled by an internal combustion engine.
 - (b) Sail Boat. A boat with a mast and sail propelled by the wind.
- (E) Visual Measurements for View Corridors.
- (1) View Corridors. View clear zones are established to protect a property owner's views of the lake and to maintain the aesthetic value of the lake's shoreline. The view clear zones for the takeline areas are established by the shoreline frontage of the takeline lease area. This measurement is determined by projecting the lease areas side yards to the normal pool elevation (i.e. *435.5-foot mean sea level*), and connecting these two (2) points in a straight line ([see Figure 28: Visual Measurements for View Corridors](#)). Based on this linear measurement, the view clear zones are determined by the following:
 - (a) Lots That Have Less Than 100-Feet of Shoreline Frontage. The view corridor for lots that have less than 100-feet of shoreline frontage is defined by the view preservation angle determined as the quarter distance (i.e. 25%) center point from the shoreline frontage line along the centerline of the leasing property owner's side yard with the angle running from the quarter distance center point to the opposite corners where the takeline

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: P2022-008
PROJECT NAME: Preliminary Plat for Marina Villages
SITE ADDRESS/LOCATIONS:
CASE CAPTION:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/25/2022	Approved w/ Comments

02/25/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Preliminary Plat for the Marina Village Subdivision being a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 92-39] for Zero Lot Line (ZL-5) District land uses, generally located on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740].
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (P2022-008) in the lower right-hand corner of all pages on future submittals.
- I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), Planned Development District 8 (PD-8), and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.
- M.5 Please correct the Title Block to the following: [Subsection 04.01, of Article 11, UDC]

Preliminary Plat
Marina Village
Lots 1-29, Block A; Lots 1-9, Block B
6.889 Acres
36 Townhome Lots
Situated within the
Edward Teal Survey, Abstract No. 207
City of Rockwall, Rockwall County, Texas

- M.6 Indicate the building setbacks adjacent to a street. [Subsection 04.01, of Article 11, UDC]
- M.7 Indicate the zoning and land use information. [Subsection 04.01, of Article 11, UDC]
- M.8 Label the open space lots as "open space." Clearly indicate the acreage and square footage of open space provided. [Subsection 04.01, of Article 11, UDC]
- M.9 Please label the distance between buildings. [Subsection 04.01, of Article 11, UDC]
- M.10 The buildings associated with Spyglass Phase 3 do not need to be shown. [Subsection 04.01, of Article 11, UDC]
- M.11 For cleanliness please indicate the contours at 2-foot intervals. [Subsection 04.01, of Article 11, UDC]

M.12 Staff has reviewed the submitted Treescap Plan. Based on the plan 207.5 caliper inches are being removed, with 172 caliper inches being planted; this leaves a remaining balance of 35.5-inches or 9 (4-inch) trees. [Subsection 04.01, of Article 11, UDC]

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections, and provide any additional information that is requested by staff. Revisions for this case will be due as soon as possible or within 30 days of approval.

M.14 Please provide one (1) hard copy and a PDF/electronic version for review by staff.

I.15 Please note the scheduled meetings for this case:

Planning & Zoning work session meeting will be held on February 28, 2022.

Planning & Zoning public hearing meeting will be held on March 15, 2022.

Parks Board meeting will be held on March 1, 2022.

City Council regular meeting will be held on March 21, 2022.

I.16 All meetings will be held in person in the City's Council Chambers and are scheduled to begin at 6:00 PM in the City's Council Chambers. The City requires that a representative(s) be present for all scheduled meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

02/24/2022: - Drainage plans will be fully reviewed with the engineering design process.

- No dead-end water lines allowed. Connect the water line across Henry M Chandler Street.

General Items:

- Must meet City of Rockwall Standards of Design.
- 4% Engineering Inspection Fees
- Impact Fees
- Engineering plan review fees apply.
- No structures in easements. Min. easement width is 20'.
- Required 10' utility easement required along all street frontage.
- No vertical walls are allowed in detention easements.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.
- Landscape Entrance Islands to be in there own Lot and Block, to be maintained by HOA.

Paving Items:

- Must install a 5' sidewalk along Henry Chandlers Drive.
- All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- Alleys to be 20' ROW, 12' wide paving.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.

Utility Items:

- Must loop water line on site. No dead-end lines allowed. Loop into Spyglass Phase 3 line.

Drainage Items:

- No detention is required as long as the site drains to the lake. Pipe storm sewer to Lake Ray Hubbard, City of Dallas permit is required.
- City of Dallas storm sewer easement is required.
- If plan on utilizing existing storm drainage systems rather than install new system and obtain new drainage easement to Lake then entirety of existing systems will have to be analysis to make sure that they meet current City Standards and that they are not compromised by the additional flow being added.

Landscaping Items:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved w/ Comments

02/22/2022: Please submit the two street names for review, and forward a cad .dwg (lot lines and road centerlines) to lsingleton@rockwall.com so addressing can begin.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

02/22/2022: Tree mitigation plan approved
Treescape plan approved

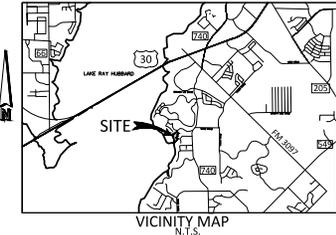
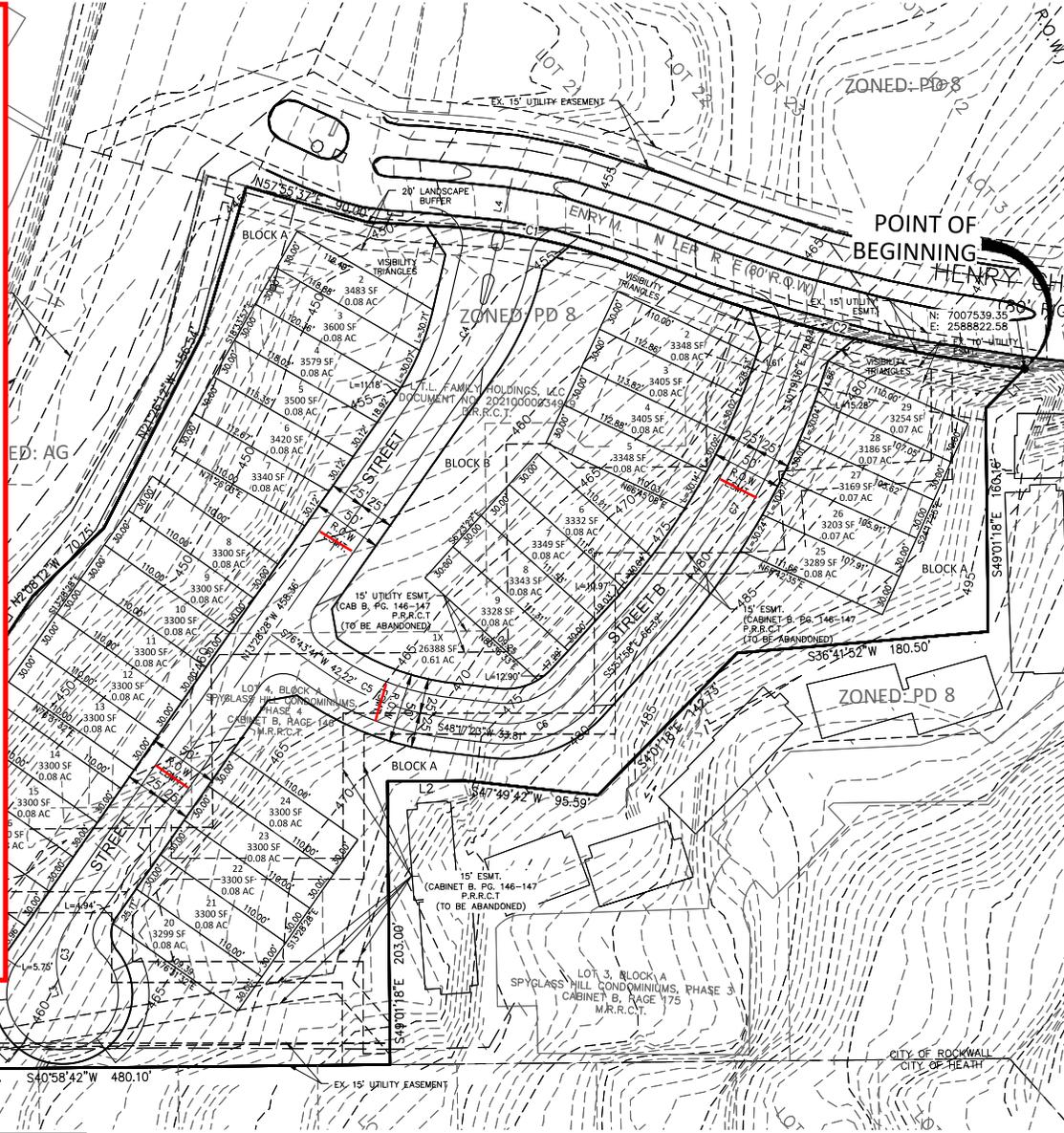
- General Items:**
- Must meet City of Rockwall Standards of Design.
 - 4% Engineering Inspection Fees
 - Impact Fees
 - Engineering plan review fees apply.
 - No structures in easements. Min. easement width is 20'.
 - Required 10' utility easement required along all street frontage.
 - No vertical walls are allowed in detention easements.
 - Retaining walls 3' and taller must be designed by a structural engineer.
 - All walls must be rock or stone face. No smooth concrete walls.
 - Landscape Entrance Islands to be in there own Lot and Block, to be maintained by HOA.

- Paving Items:**
- Must install a 5' sidewalk along Henry Chandlers Drive.
 - All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
 - Alleys to be 20' ROW, 12' wide paving.
 - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.

- Utility Items:**
- Must loop water line on site. No dead-end lines allowed. Loop into Spyglass Phase 3 line.

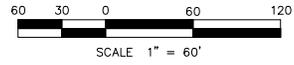
- Drainage Items:**
- No detention is required as long as the site drains to the lake. Pipe storm sewer to Lake Ray Hubbard, City of Dallas permit is required.
 - City of Dallas storm sewer easement is required.
 - If plan on utilizing existing storm drainage systems rather than install new system and obtain new drainage easement to Lake then entirety of existing systems will have to be analysis to make sure that they meet current City Standards and that they are not compromised by the additional flow being added.

- Landscaping Items:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
CI Curve No.
<C/M> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
ESmt Easement
LI Line No.
SF Square Feet
UE Utility Easement
VAM Visibility Easement
D.R.R.C.T.= Deed Records of Rockwall County, Texas
P.R.R.C.T.= Plat Records of Rockwall County, Texas
O.R.R.C.T.= Official Records of Rockwall County, Texas

- GENERAL NOTES:**
1. ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
 2. ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
 3. BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
 4. LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48139C0325F DATED JUNE 3, 2013.
 5. LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100 YR WSEL.
 6. DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE PROPERTY OWNERS.



**PRELIMINARY PLAT
MARINA VILLAGES
6.889 ACRES**

BLOCK A, LOTS 1X, 2, 29; BLOCK B, LOTS 1X, 2, 9
36 TOWNHOME LOTS
1.526 AC ROW DEDICATION
OUT OF THE
EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
XXX XX 2021

February 17, 2022
SHEET 1 OF 2

BENCHMARKS:

MONUMENT NO. 1:
CITY OF ROCKWALL MONUMENT NO. COR 5:
STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF HENRY W. CHANDLER DRIVE AND COMMODORE PLAZA APPROXIMATELY 400' WEST OF THE INTERSECTION OF HENRY W. CHANDLER DRIVE AND RIDGE ROAD.
ELEVATION = 560.58'

MONUMENT NO. 2:
CITY OF ROCKWALL MONUMENT NO. COR 7:
STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED ON THE SOUTH SIDE OF SUMMER LEE DRIVE APPROXIMATELY 250' WEST OF THE INTERSECTION OF SUMMER LEE DRIVE AND RIDGE ROAD.
ELEVATION = 567.52'

Line Table		
Line	Length	Direction
L1	39.64	S4° 01' 18"E
L2	56.00	S40° 58' 42"W
L3	7.57	N85° 13' 41"W
L4	72.96	N35° 35' 51"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	153.06	471.19	018°36'42"	152.39	N54° 13' 19"E
C2	278.35	1040.00	015°20'06"	277.52	N55° 51' 37"E
C3	45.16	50.00	051°45'13"	43.64	S39° 21' 05"E
C4	96.53	250.00	022°07'23"	95.93	N24° 32' 09"W
C5	99.27	200.00	028°26'17"	98.25	N62° 30' 32"E
C6	66.29	70.00	054°15'21"	63.84	N21° 09' 42"E
C7	212.59	500.00	024°21'38"	210.99	N18° 08' 47"W

Owner/Applicant:
LTL Family Holdings, LLC
William Johnson
14918 Mystic Terrace Lane
Cypress, Texas 77429
Phone: 713 325 4294

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972 201 3102
Contact: Joel Richey, PE

JOHNSON VOLK CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

BEING a tract of land situated in the E. TEAL SURVEY, ABSTRACT NO. 207, City of Rockwall, Rockwall County, Texas and being all of Lot 4, Block A of SPYGLASS HILL CONDOMINIUMS PHASE FOUR, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Page 146, Map Records, Rockwall County, Texas and being all of that tract of land described in Deed to L.T.L. Family Holdings, LLC, as recorded in Document No. 20210000034919, Deed Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found in the southeast line of Henry Chandler Drive, an 80 foot right-of-way, for the common northeast corner of said L.T.L. Family Holdings, LLC tract, northeast corner of said Lot 4 and northwest corner of Lot 3, Block A of SPYGLASS HILL CONDOMINIUMS, PHASE 3, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Page 175, Map Records, Rockwall County, Texas;

THENCE Southerly, with the common east line of said Lot 4, east line of said L.T.L. Family Holdings, LLC tract and west line of said Lot 3, the following seven (7) courses and distances:

South 04 degrees 01 minutes 18 seconds East, leaving said southeast line, a distance of 39.64 feet to a 1/2 inch iron rod found for corner;

South 49 degrees 01 minutes 18 seconds East, a distance of 160.16 feet to a 1/2 inch iron rod found for corner;

South 36 degrees 41 minutes 52 seconds West, a distance of 180.50 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

South 04 degrees 01 minutes 18 seconds East, a distance of 142.73 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

South 47 degrees 49 minutes 42 seconds West, a distance of 95.59 feet to a 1/2 inch iron rod found for corner;

South 40 degrees 58 minutes 42 seconds West, a distance of 56.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

South 49 degrees 01 minutes 18 seconds East, a distance of 203.00 feet to a 1/2 inch iron rod found in the northwest line of WINDWARD SLOPE, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet A, page 368, Map Records, Rockwall County, Texas for the common south corner of said Lot 3 and an exterior ell corner of said Lot 4 and said L.T.L. Family Holdings, LLC tract;

THENCE South 40 degrees 58 minutes 42 seconds West, with the common southeast line of said Lot 4 and said L.T.L. Family Holdings, LLC tract and said northwest line, a distance of 480.10 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common south corner of said Lot 4 and said L.T.L. Family Holdings, LLC tract;

THENCE Northerly, with the west line of said L.T.L. Family Holdings, LLC tract, the following four (4) courses and distances:

North 15 degrees 09 minutes 39 seconds West, a distance of 407.29 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

North 02 degrees 08 minutes 12 seconds West, a distance of 70.75 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

North 21 degrees 26 minutes 12 seconds West, a distance of 156.54 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

North 32 degrees 04 minutes 21 seconds West, a distance of 109.80 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set in the southeast line of the above mentioned Henry Chandler Drive for the northwest corner of said L.T.L. Family Holdings, LLC tract;

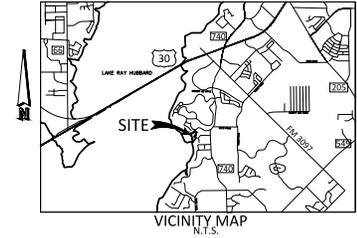
THENCE Northeasterly, with said southeast line, the following four (4) courses and distances:

North 57 degrees 55 minutes 37 seconds East, a distance of 90.00 feet to a 1/2 inch iron rod found for corner;

North 44 degrees 54 minutes 57 seconds East, a distance of 54.37 feet to a 1/2 inch iron rod found for corner at the beginning of a curve to the right having a central angle of 18 degrees 36 minutes 42 seconds, a radius of 471.19 feet and a chord bearing and distance of North 54 degrees 13 minutes 19 seconds East, 152.39 feet;

Northeasterly, with said curve to the right, an arc distance of 153.06 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a reverse curve to the left having a central angle of 15 degrees 20 minutes 06 seconds, a radius of 1,040.00 feet and a chord bearing and distance of North 55 degrees 51 minutes 37 seconds East, 277.52 feet;

Northeasterly, with said curve to the left, an arc distance of 278.35 feet to the POINT OF BEGINNING and containing 6.889 acres of land, more or less.



PRELIMINARY PLAT MARINA VILLAGES

6.889 ACRES

BLOCK A, LOTS 1X, 2-29; BLOCK B, LOTS 1X, 2-9
36 TOWNHOME LOTS

1.526 AC ROW DEDICATION

OUT OF THE
EDWARD TEAL SURVEY, ABSTRACT NO. 207

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

XXX-XX-2021

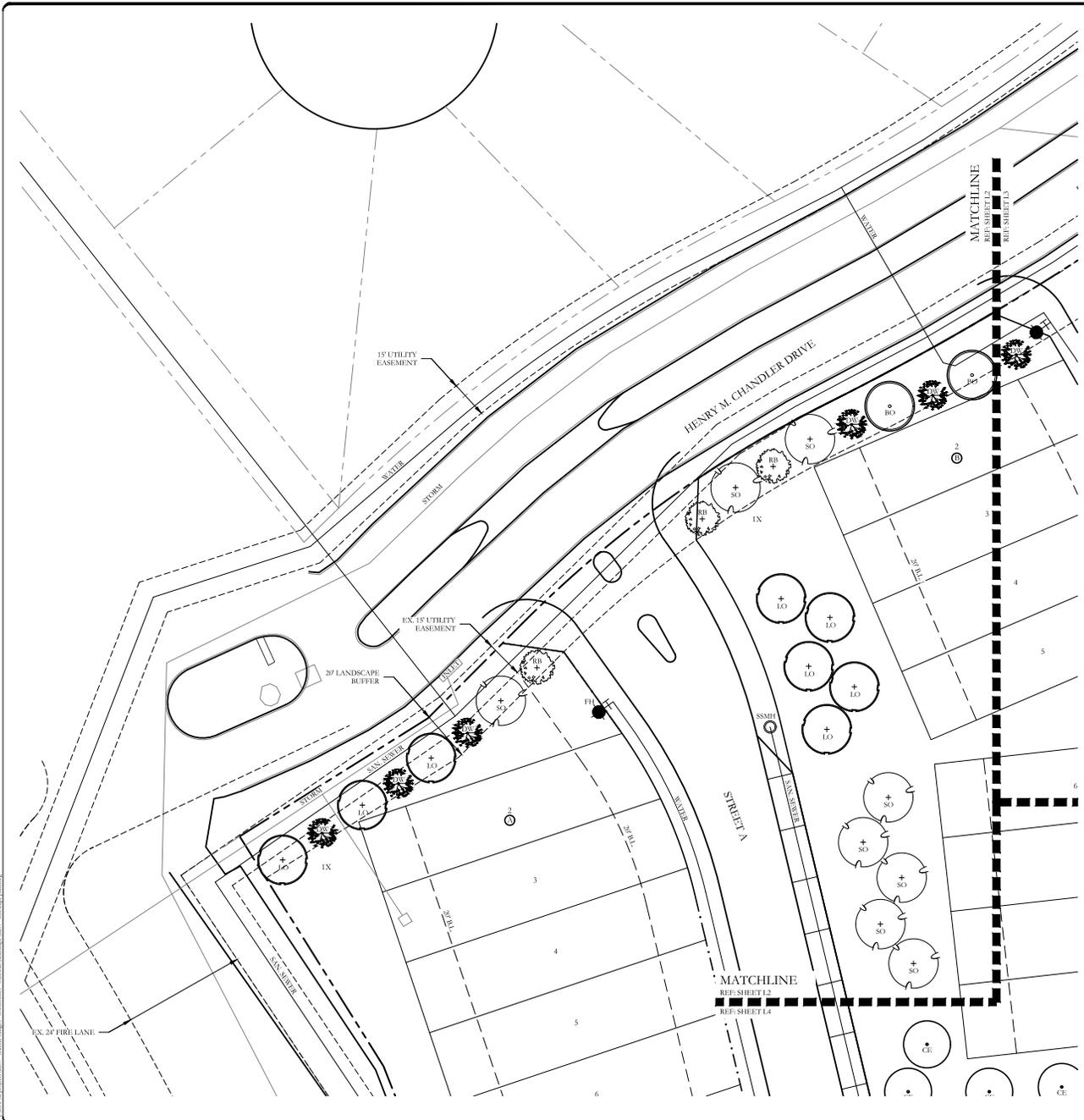
February 17, 2022

SHEET 2 OF 2

Owner/Applicant:
LTL Family Holdings, LLC
William Johnson
14918 Mystic Terrace Lane
Cyprus, Texas 77429
Phone: 713-325-4294

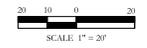
Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Joel Richey, PE

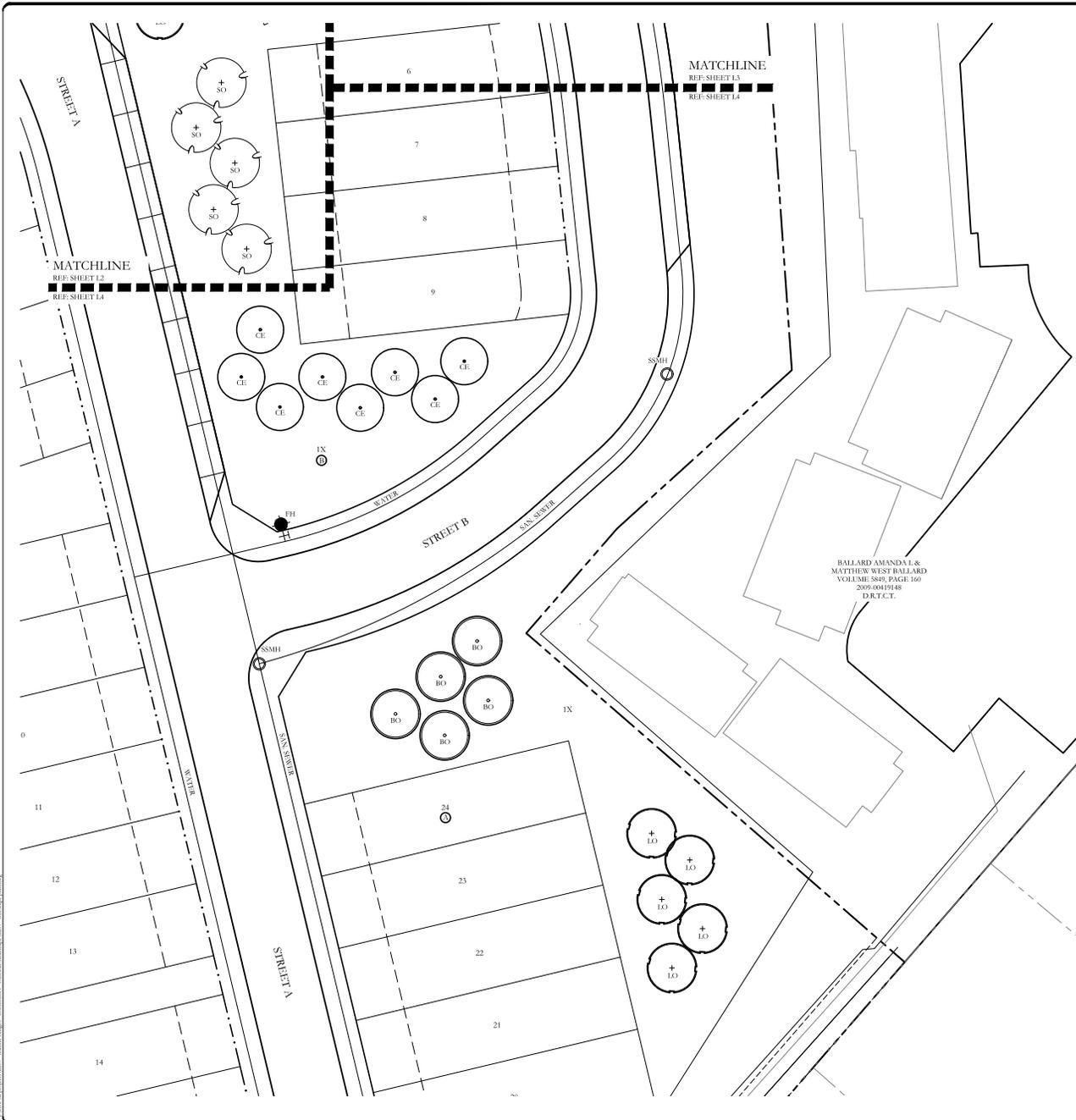
 **JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TENNENSIS	2" CALIPER	AS SHOWN

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BALLARD AMANDA L. &
MATTHEW WEST BALLARD
VOLUME 5889, PAGE 160
2023/04/18/18
D.R.T.C.T.



LANDSCAPE PROVIDED

HENRY M. CHANDLER DR.

MINIMUM TEN (10) FOOT LANDSCAPE BUFFER PROVIDED

1 - 4" CAL. CANOPY TREE & 1 ACCENT TREE / 50 LF OF LINEAR FRONTAGE
57% LF OF FRONTAGE / 50 LF = 12 - 4" CAL. TREES & 12 ACCENT TREES REQUIRED
PROVIDED: 12 - 4" CALIPER CANOPY TREES & 13 ACCENT TREES PROVIDED

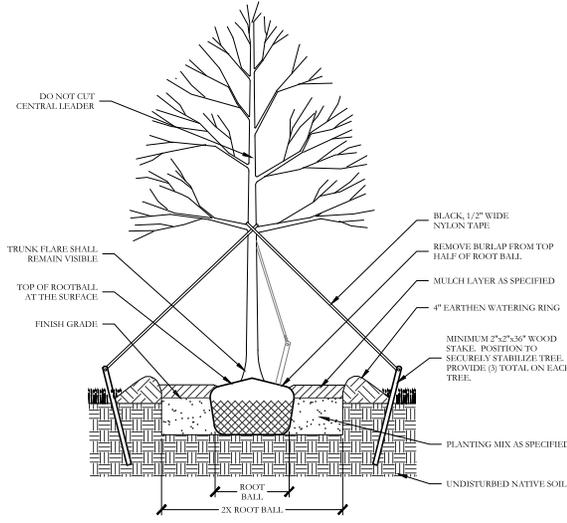
TREE MITIGATION

19.5 CAL. INCHES REMOVED

43 - 4" CAL. CANOPY TREES & 13 - 2" CAL. ACCENT TREES = 198 CAL. INCHES REPLACED.

PLANT LIST

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	13	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN, FULL HEAD, MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	11	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN, FULL HEAD, MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	8	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN, FULL HEAD, MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	11	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN, FULL HEAD, MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	7	DISERT WILLOW	CHILLOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN, FULL HEAD, MINIMUM 8'-0" OVERALL HEIGHT.
RB	6	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN, FULL HEAD, MINIMUM 8'-0" OVERALL HEIGHT.



1 TYPICAL TREE PLANTING SECTION
NOT TO SCALE

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT—CONTACT THE PUBLIC WORKS DEPARTMENT FOR MORE INFORMATION.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING, AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PERMISSIVE TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (1) MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (2) MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24 HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL. TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STRUCTS, DRIVE ARKES, AND TREE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES SHALL BE FED FROM STUBBED LATERALS OR BULL HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SPLIT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HULLED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

JOHNSON VOLK CONSULTING



MARINA VILLAGE TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TRESCAPE PLAN
TRESCAPE DETAILS



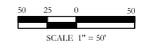
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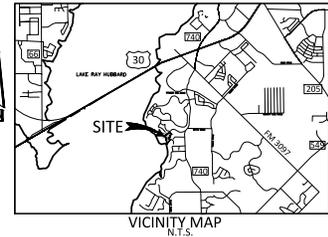
One Inch
JVC No. 2209

L5 of 5



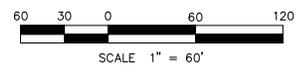
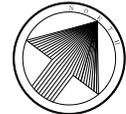
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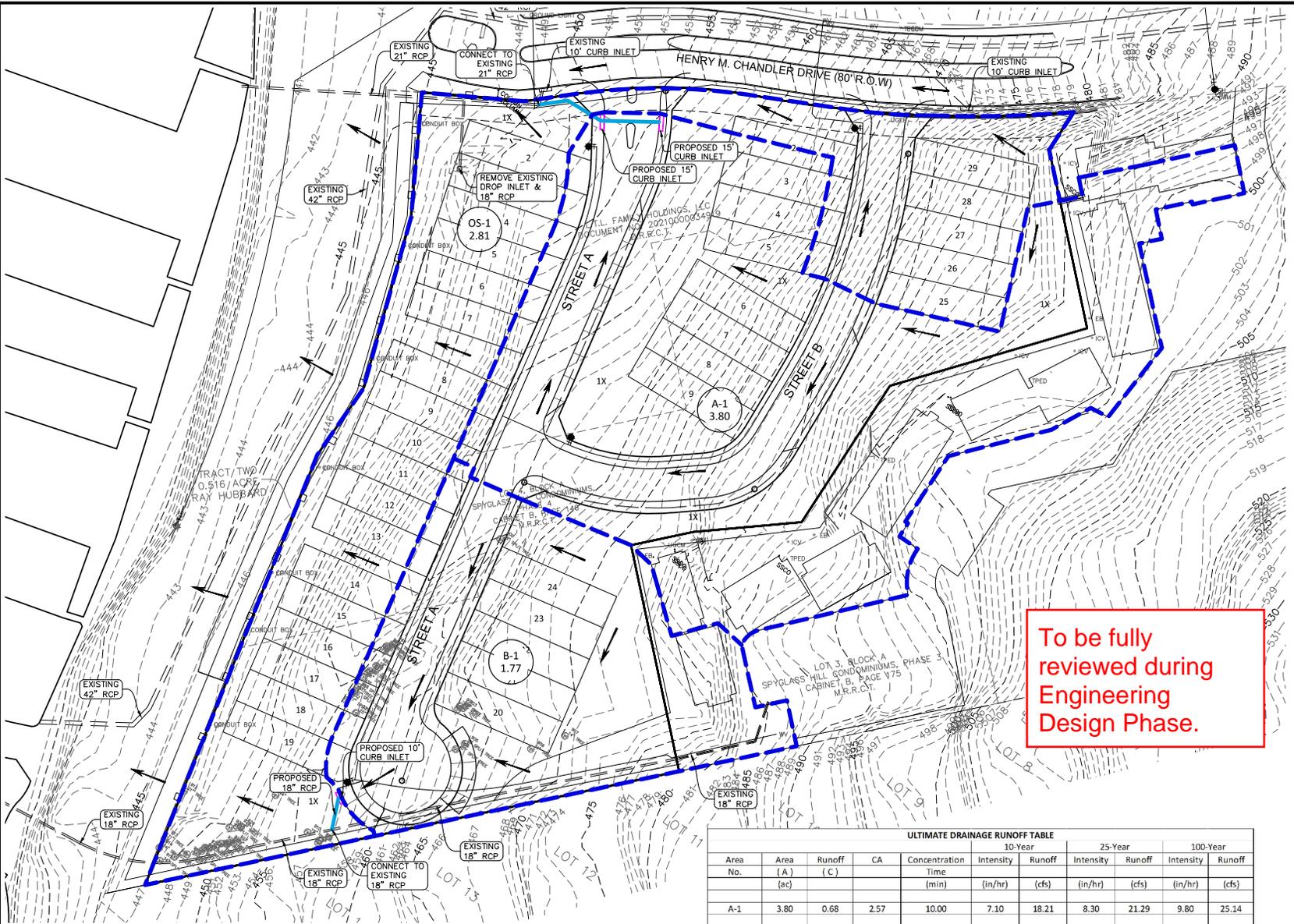


LEGEND

- C-1
22.64 AC DRAINAGE AREA DESIGNATION
DRAINAGE AREA SIZE (AC.)
- PROPOSED DRAINAGE AREA DIVIDE
- DIRECTION OF FLOW
- STORM DRAIN LINE & INLET
- EXISTING CONTOUR



To be fully reviewed during Engineering Design Phase.



BENCHMARKS:

MONUMENT NO. 1:
CITY OF ROCKWALL MONUMENT NO. COR-5:
STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF HENRY W. CHANDLER DRIVE AND COMMODORE PLAZA APPROXIMATELY 400' WEST OF THE INTERSECTION OF HENRY W. CHANDLER DRIVE AND RIDGE ROAD.
ELEVATION = 560.58'

MONUMENT NO. 2:
CITY OF ROCKWALL MONUMENT NO. COR-7:
STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED ON THE SOUTH SIDE OF SUMMER LEE DRIVE APPROXIMATELY 250' WEST OF THE INTERSECTION OF SUMMER LEE DRIVE AND RIDGE ROAD.
ELEVATION = 567.52'

ULTIMATE DRAINAGE RUNOFF TABLE										
Area No.	Area (A) (ac)	Runoff (C) (C)	CA	Concentration Time (min)	10-Year		25-Year		100-Year	
					Intensity (in/hr)	Runoff (cfs)	Intensity (in/hr)	Runoff (cfs)	Intensity (in/hr)	Runoff (cfs)
A-1	3.80	0.68	2.57	10.00	7.10	18.21	8.30	21.29	9.80	25.14
B-1	1.77	0.66	1.17	10.00	7.10	8.32	8.30	9.73	9.80	11.49
OS-1	2.81	0.64	1.80	10.00	7.10	12.75	8.30	14.91	9.80	17.60

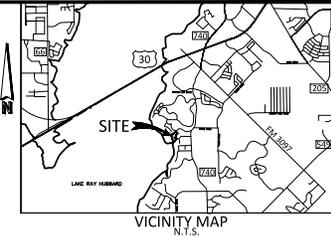
PRELIMINARY DRAINAGE PLAN

MARINA VILLAGES
6.889 ACRES
BLOCK A, LOTS 1X, 2-29; BLOCK B, LOTS 1X, 2-9
36 TOWNHOME LOTS
1.526 AC ROW DEDICATION
OUT OF THE
EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
XXX-XX-2021
February 18, 2022
SHEET 1 OF 1

Owner/Applicant:
LTL Family Holdings, LLC
William Johnson
14918 Mystic Terrace Lane
Cyprus, Texas 77429
Phone: 713-325-4294

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Joel Richey, PE



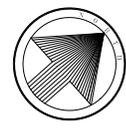


LEGEND

- Point of Curvature or Tangency on Center Line
- 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
- 1/2" IRF (unless otherwise noted)

AC Acre
 BL Building Line
 C1 Curve No.
 <CM> Control Monument
 DE Drainage Easement
 DUE Drainage Utility Easement
 Esmt Easement
 L1 Line No.
 SF Square Feet
 UE Utility Easement
 VAM Visibility Easement
 D.R.R.C.T.= Deed Records of Rockwall County, Texas
 P.R.R.C.T.= Plat Records of Rockwall County, Texas
 O.R.R.C.T.= Official Records of Rockwall County, Texas

- GENERAL NOTES:**
1. ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
 2. ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
 3. BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
 4. LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48139C0325F DATED JUNE 3, 2013.
 5. LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
 6. DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE PROPERTY OWNERS.



**PRELIMINARY UTILITIES
 MARINA VILLAGES
 6.889 ACRES**

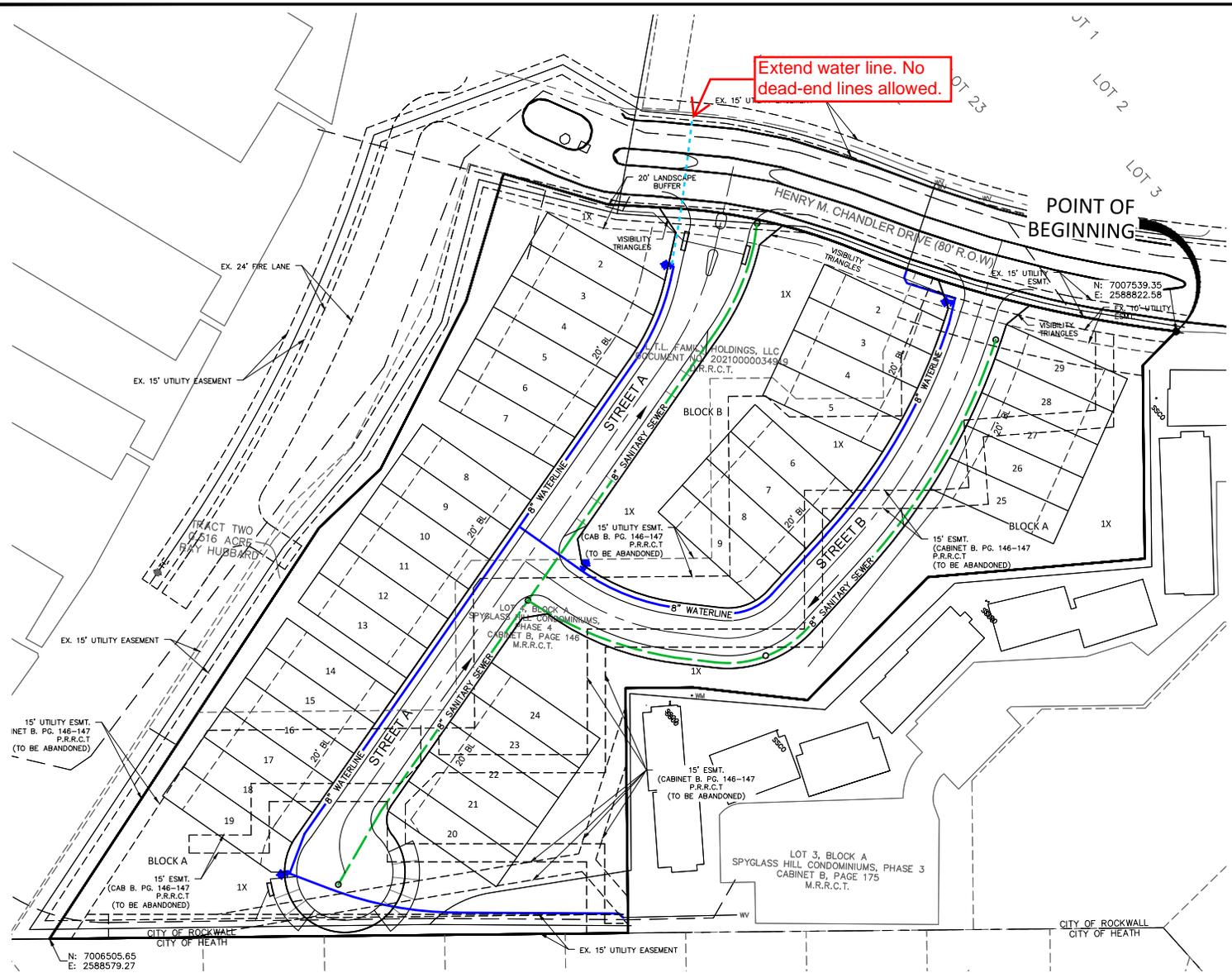
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**JOHNSON VOLK
 CONSULTING**
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

Owner/Applicant:
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 Phone: 713-325-4294

Engineer/Surveyor:
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 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Joel Richey, PE



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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2022-008

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Prop ID 452487 & A0207 E Teal, Tract 134-12

SUBDIVISION Spyglass Hill #4 LOT 4 BLOCK A

GENERAL LOCATION Adjacent to Chandlers Landing Marina

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-08 Attached Townhomes CURRENT USE Vacant

PROPOSED ZONING _____ PROPOSED USE Attached Townhomes

ACREAGE 6.88 LOTS [CURRENT] 0 LOTS [PROPOSED] 36

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER LTL Family Holdings, LLC APPLICANT

CONTACT PERSON William Johnson CONTACT PERSON

ADDRESS 14918 Mystic Terrace LN ADDRESS

CITY, STATE & ZIP Cypress, TX 77429 CITY, STATE & ZIP

PHONE 713.325.4294 PHONE

E-MAIL LTLFAMILY@YAHOO.COM E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED William Johnson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 303.20 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF FEBRUARY, 2022.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 
 P2022-008- Preliminary Plat for Marina Villages

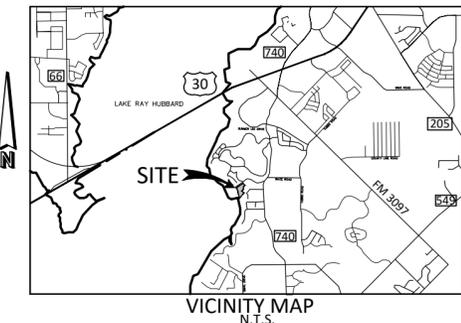


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



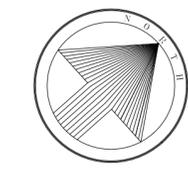
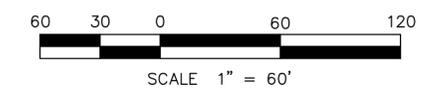


LEGEND

- Point of Curvature or Tangency on Center Line
- 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
- ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre
- BL Building Line
- C1 Curve No.
- <CM> Control Monument
- DE Drainage Easement
- DUE Drainage Utility Easement
- Esmt Easement
- L1 Line No.
- SF Square Feet
- UE Utility Easement
- VAM Visibility Easement
- D.R.R.C.T.= Deed Records of Rockwall County, Texas
- P.R.R.C.T.= Plat Records of Rockwall County, Texas
- O.R.R.C.T.= Official Records of Rockwall County, Texas

GENERAL NOTES:

1. ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
2. ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
3. BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
4. LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48139C0325F DATED JUNE 3, 2013.
5. LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
6. DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE PROPERTY OWNERS.



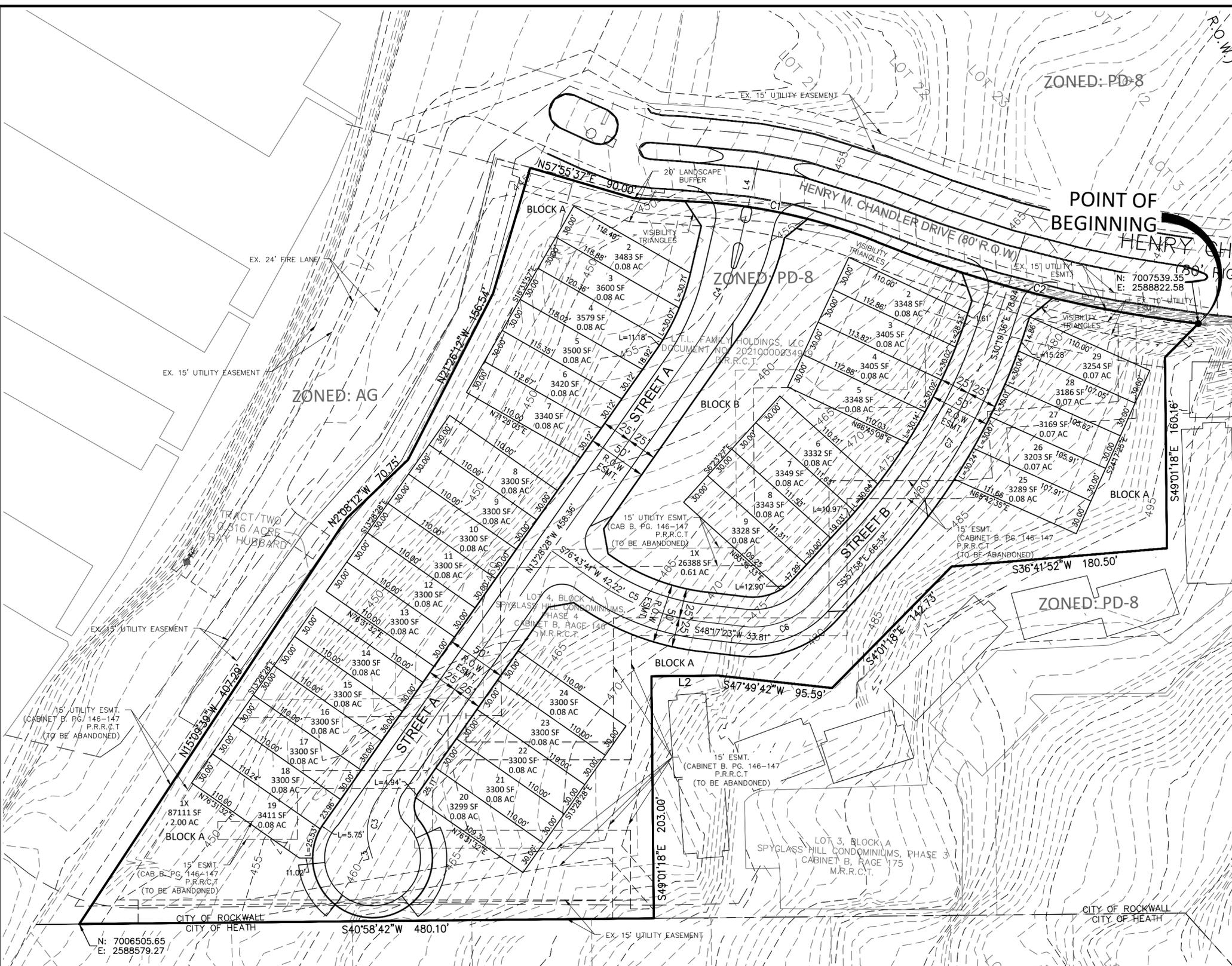
PRELIMINARY PLAT
MARINA VILLAGES
 6.889 ACRES
 BLOCK A, LOTS 1X, 2-29; BLOCK B, LOTS 1X, 2-9
 36 TOWNHOME LOTS
 1.526 AC ROW DEDICATION
 OUT OF THE
 EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
 XXX-XX-2021

February 17, 2022
 SHEET 1 OF 2

JOHNSON VOLK
CONSULTING
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

Owner/Applicant:
 LTL Family Holdings, LLC
 William Johnson
 14918 Mystic Terrace Lane
 Cyprus, Texas 77429
 Phone: 713-325-4294

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Joel Richey, PE



BENCHMARKS:
MONUMENT NO. 1:
 CITY OF ROCKWALL MONUMENT NO. COR-5:
 STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED AT THE
 NORTHEAST CORNER OF THE INTERSECTION OF HENRY W. CHANDLER DRIVE
 AND COMMODORE PLAZA APPROXIMATELY 400' WEST OF THE INTERSECTION
 OF HENRY W. CHANDLER DRIVE AND RIDGE ROAD.
 ELEVATION = 560.58'
MONUMENT NO. 2:
 CITY OF ROCKWALL MONUMENT NO. COR-7:
 STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED ON THE SOUTH
 SIDE OF SUMMER LEE DRIVE APPROXIMATELY 250' WEST OF THE INTERSECTION
 OF SUMMER LEE DRIVE AND RIDGE ROAD.
 ELEVATION = 567.52'

Line Table

Line	Length	Direction
L1	39.64	S4° 01' 18"E
L2	56.00	S40° 58' 42"W
L3	7.57	N65° 13' 41"W
L4	72.96	N35° 35' 51"W

Curve Table

Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	153.06	471.19	018°36'42"	152.39	N54° 13' 19"E
C2	278.35	1040.00	015°20'06"	277.52	N55° 51' 37"E
C3	45.16	50.00	051°45'13"	43.64	S39° 21' 05"E
C4	96.53	250.00	022°07'23"	95.93	N24° 32' 09"W
C5	99.27	200.00	028°26'17"	98.25	N62° 30' 32"E
C6	66.29	70.00	054°15'21"	63.84	N21° 09' 42"E
C7	212.59	500.00	024°21'38"	210.99	N18° 08' 47"W

BEING a tract of land situated in the E. TEAL SURVEY, ABSTRACT NO. 207, City of Rockwall, Rockwall County, Texas and being all of Lot 4, Block A of SPYGLASS HILL CONDOMINIUMS PHASE FOUR, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Page 146, Map Records, Rockwall County, Texas and being all of that tract of land described in Deed to L.T.L. Family Holdings, LLC, as recorded in Document No. 20210000034919, Deed Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found in the southeast line of Henry Chandler Drive, an 80 foot right-of-way, for the common northeast corner of said L.T.L. Family Holdings, LLC tract, northeast corner of said Lot 4 and northwest corner of Lot 3, Block A of SPYGLASS HILL CONDOMINIUMS, PHASE 3, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Page 175, Map Records, Rockwall County, Texas;

THENCE Southerly, with the common east line of said Lot 4, east line of said L.T.L. Family Holdings, LLC tract and west line of said Lot 3, the following seven (7) courses and distances:

South 04 degrees 01 minutes 18 seconds East, leaving said southeast line, a distance of 39.64 feet to a 1/2 inch iron rod found for corner;

South 49 degrees 01 minutes 18 seconds East, a distance of 160.16 feet to a 1/2 inch iron rod found for corner;

South 36 degrees 41 minutes 52 seconds West, a distance of 180.50 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

South 04 degrees 01 minutes 18 seconds East, a distance of 142.73 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

South 47 degrees 49 minutes 42 seconds West, a distance of 95.59 feet to a 1/2 inch iron rod found for corner;

South 40 degrees 58 minutes 42 seconds West, a distance of 56.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

South 49 degrees 01 minutes 18 seconds East, a distance of 203.00 feet to a 1/2 inch iron rod found in the northwest line of WINDWARD SLOPE, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet A, page 368, Map Records, Rockwall County, Texas for the common south corner of said Lot 3 and an exterior ell corner of said Lot 4 and said L.T.L. Family Holdings, LLC tract;

THENCE South 40 degrees 58 minutes 42 seconds West, with the common southeast line of said Lot 4 and said L.T.L. Family Holdings, LLC tract and said northwest line, a distance of 480.10 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common south corner of said Lot 4 and said L.T.L. Family Holdings, LLC tract;

THENCE Northerly, with the west line of said L.T.L. Family Holdings, LLC tract, the following four (4) courses and distances:

North 15 degrees 09 minutes 39 seconds West, a distance of 407.29 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

North 02 degrees 08 minutes 12 seconds West, a distance of 70.75 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

North 21 degrees 26 minutes 12 seconds West, a distance of 156.54 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

North 32 degrees 04 minutes 21 seconds West, a distance of 109.80 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set in the southeast line of the above mentioned Henry Chandler Drive for the northwest corner of said L.T.L. Family Holdings, LLC tract;

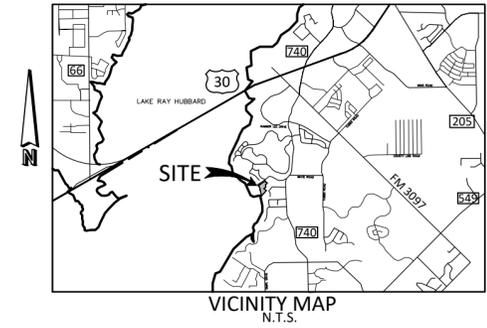
THENCE Northeasterly, with said southeast line, the following four (4) courses and distances:

North 57 degrees 55 minutes 37 seconds East, a distance of 90.00 feet to a 1/2 inch iron rod found for corner;

North 44 degrees 54 minutes 57 seconds East, a distance of 54.37 feet to a 1/2 inch iron rod found for corner at the beginning of a curve to the right having a central angle of 18 degrees 36 minutes 42 seconds, a radius of 471.19 feet and a chord bearing and distance of North 54 degrees 13 minutes 19 seconds East, 152.39 feet;

Northeasterly, with said curve to the right, an arc distance of 153.06 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a reverse curve to the left having a central angle of 15 degrees 20 minutes 06 seconds, a radius of 1,040.00 feet and a chord bearing and distance of North 55 degrees 51 minutes 37 seconds East, 277.52 feet;

Northeasterly, with said curve to the left, an arc distance of 278.35 feet to the POINT OF BEGINNING and containing 6.889 acres of land, more or less.



PRELIMINARY PLAT MARINA VILLAGES

6.889 ACRES

BLOCK A, LOTS 1X, 2-29; BLOCK B, LOTS 1X, 2-9

36 TOWNHOME LOTS

1.526 AC ROW DEDICATION

OUT OF THE

EDWARD TEAL SURVEY, ABSTRACT NO. 207

CITY OF ROCKWALL

ROCKWALL COUNTY, TEXAS

XXX-XX-2021

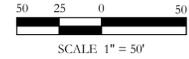
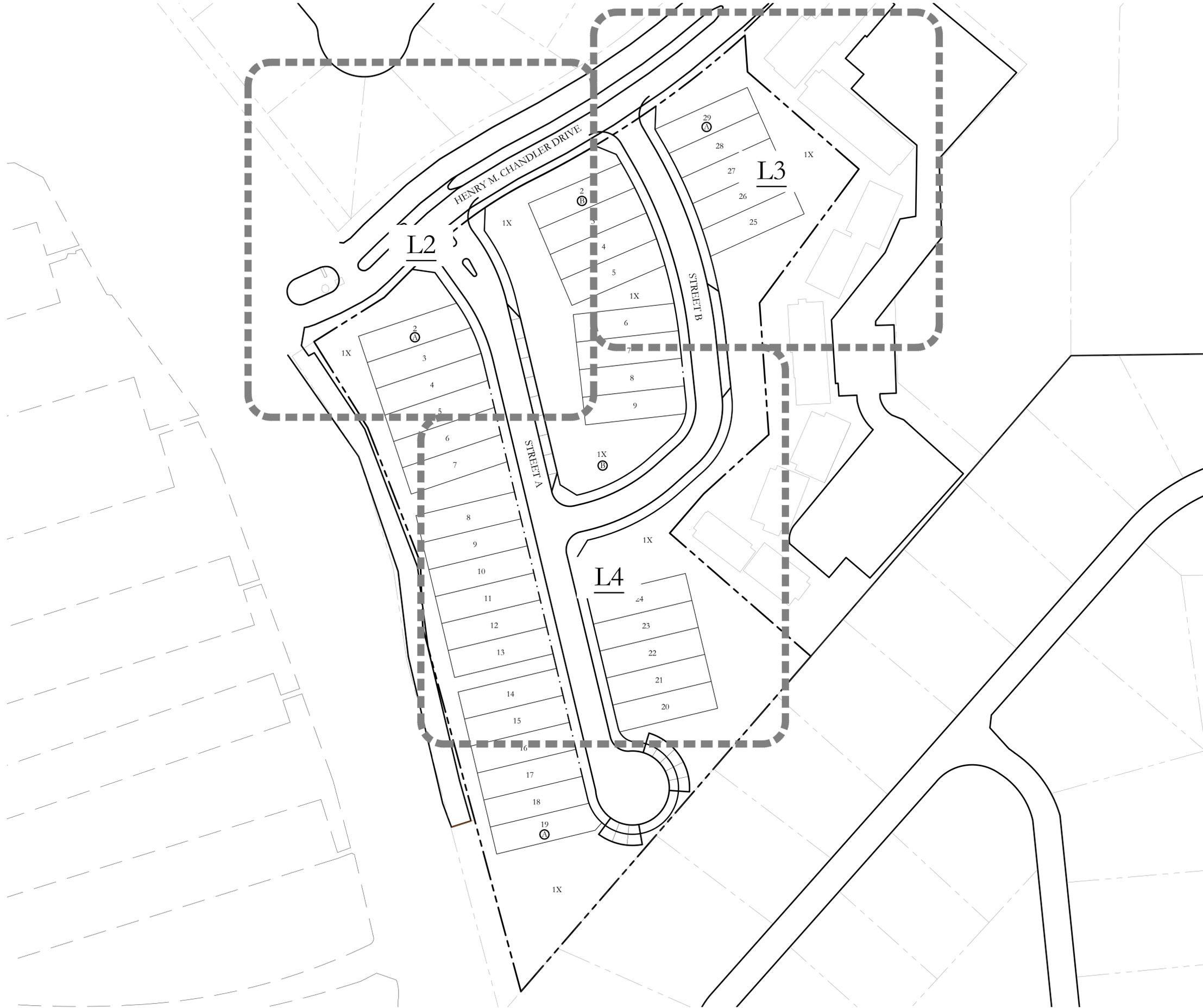
February 17, 2022

SHEET 2 OF 2

Owner/Applicant:
LTL Family Holdings, LLC
William Johnson
14918 Mystic Terrace Lane
Cyprus, Texas 77429
Phone: 713-325-4294

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Joel Richey, PE

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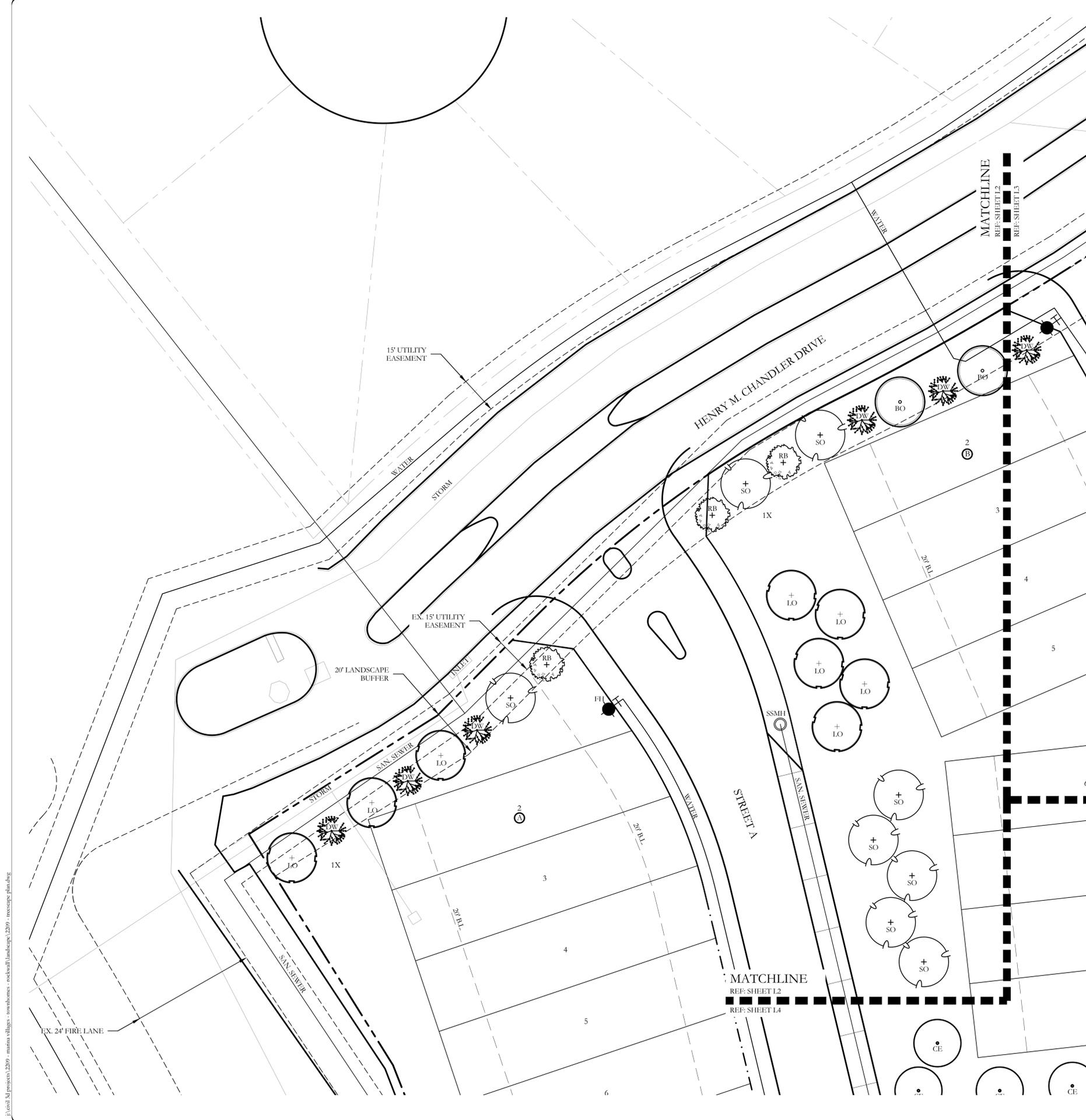


SCALE:
1" = 50'
One Inch
JVC No 2209

TREESCAPE PLAN
OVERALL LAYOUT PLAN

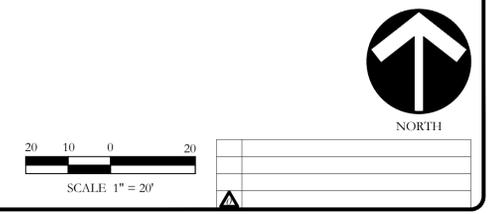


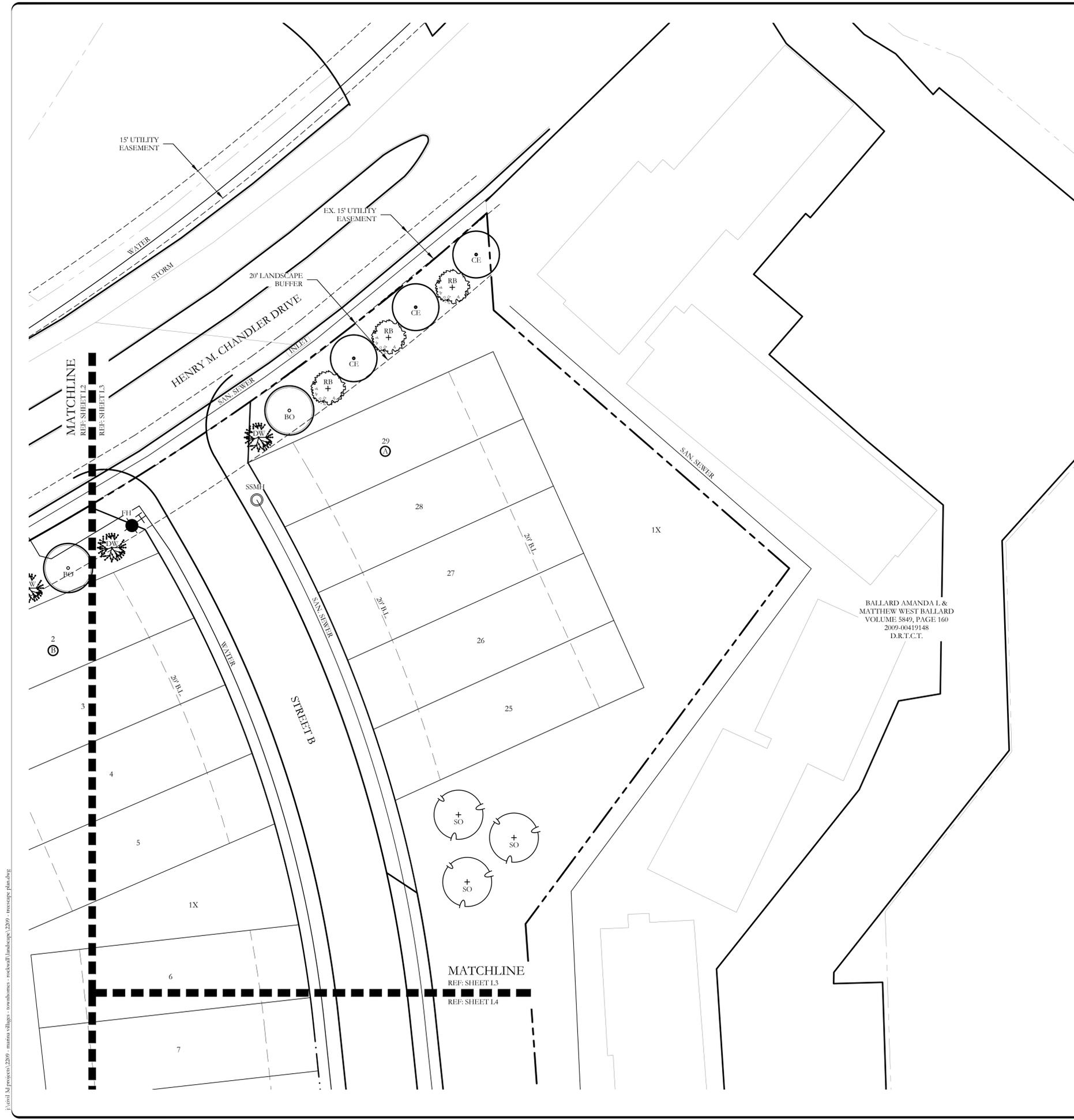
MARINA VILLAGE TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

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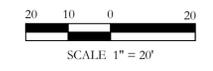
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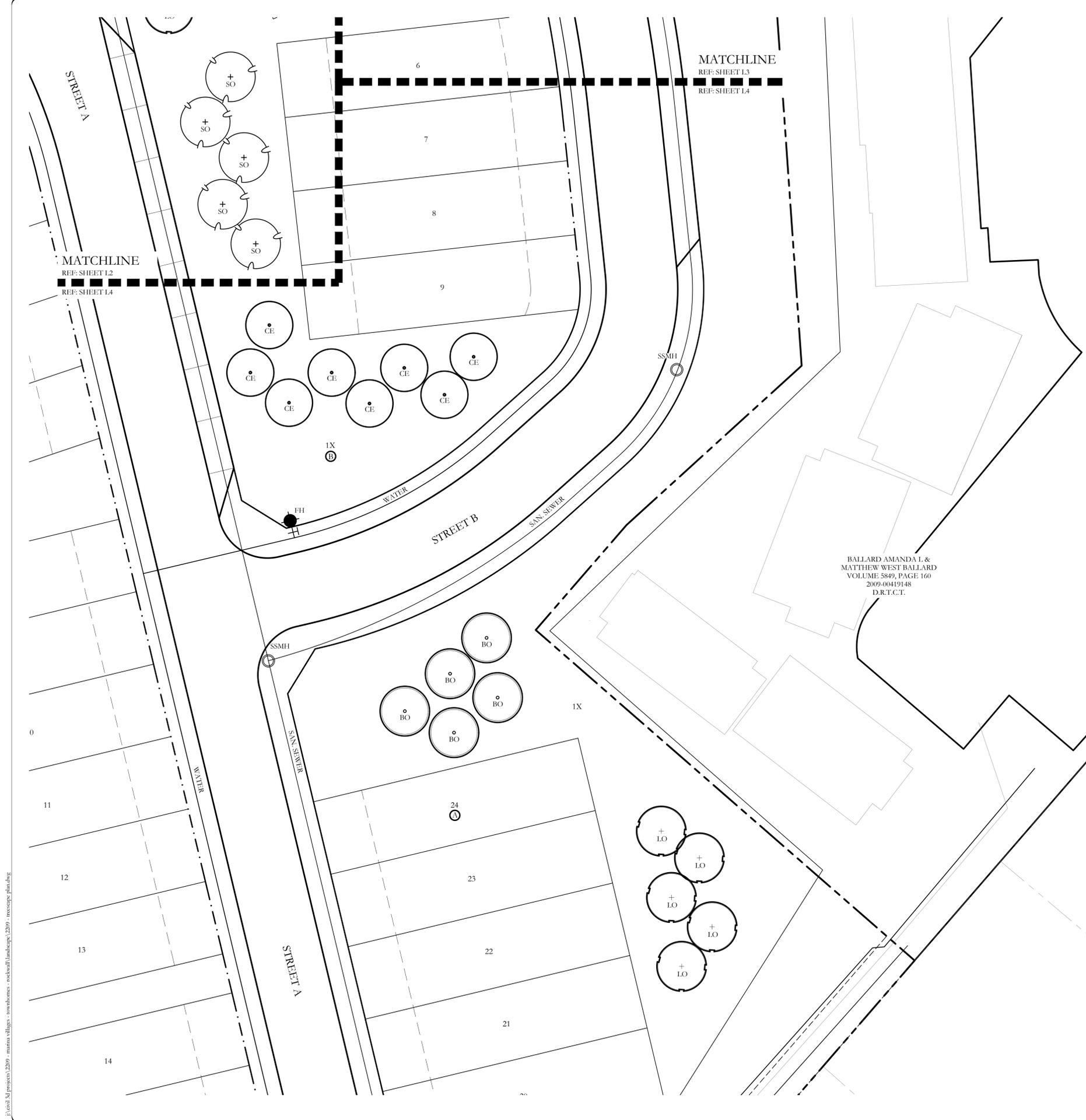
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MATTHEW WEST BALLARD
VOLUME 5849, PAGE 160
2009-00419148
D.R.T.C.T.

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SCALE: 1" = 20'
 One Inch
 JVC No 2209





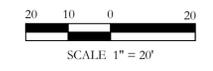
MATCHLINE
REF: SHEET L3
REF: SHEET L4

MATCHLINE
REF: SHEET L2
REF: SHEET L4

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
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BALLARD AMANDA L &
MATTHEW WEST BALLARD
VOLUME 5849, PAGE 160
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D.R.T.C.T.

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LANDSCAPE PROVIDED

HENRY M. CHANDLER DR.

MINIMUM TEN (10) FOOT LANDSCAPE BUFFER PROVIDED

1 - 4" CAL. CANOPY TREE & 1 ACCENT TREE / 50 LF OF LINEAR FRONTAGE
576 LF OF FRONTAGE / 50 LF = 12 - 4" CAL. TREES & 12 ACCENT TREES REQUIRED.
PROVIDED: 12 - 4" CALIPER CANOPY TREES & 13 ACCENT TREES PROVIDED

TREE MITIGATION

191.5 CAL. INCHES REMOVED

43 - 4" CAL. CANOPY TREES & 13 - 2" CAL. ACCENT TREES = 198 CAL. INCHES REPLACED.

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	13	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	11	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	8	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	11	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	7	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	6	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

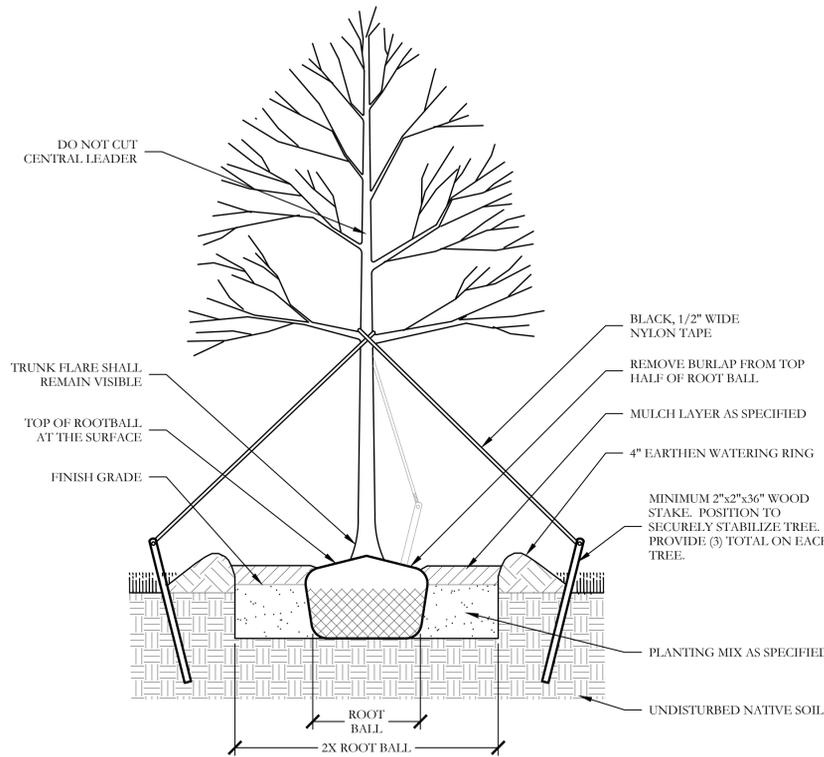
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

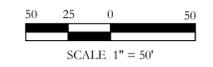
TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



1 TYPICAL TREE PLANTING SECTION NOT TO SCALE

\\civild\j\projects\2209 - marina villges - townhomes - rockwall\landscpe\2209 - tree survey plan.dwg





SCALE:
1" = 50'
One Inch
JVC No 2209

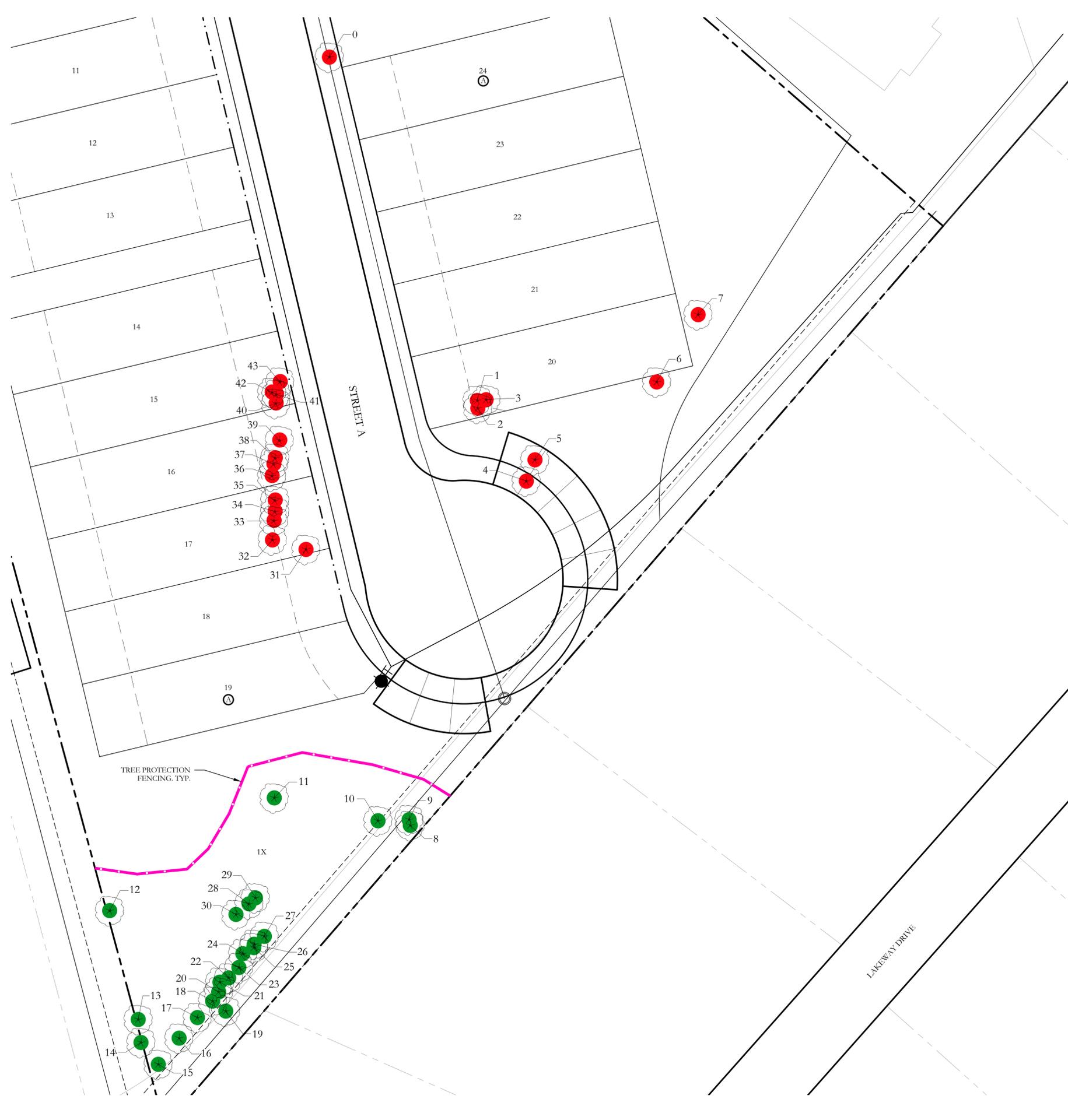


TREE SURVEY PLAN
TREE SURVEY PLAN

MARINA VILLAGE TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

JOHNSON VOLK
CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

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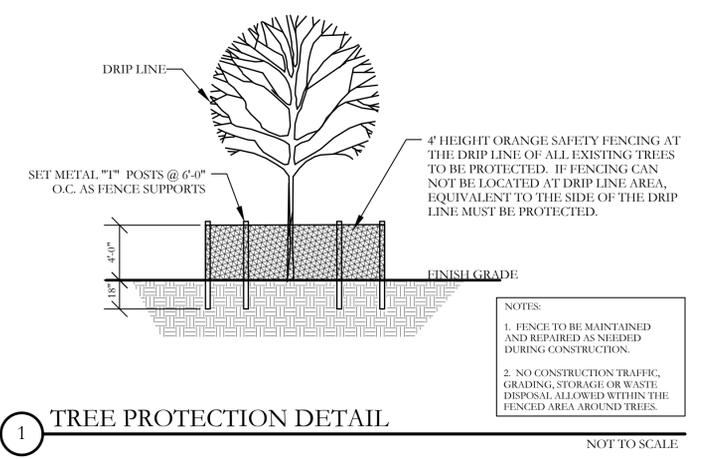


LEGEND

- 7 EXISTING TREE TO BE REMOVED
- 23 EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE, TYP.

TREE PROTECTION NOTES

1. EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
2. DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
3. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
4. NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
5. NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED.



Tree ID Number	Diameter at Breast Height (DBH) (inches)	Common Name	Scientific Name	Protected Tree?	Condition	Comment	Location	Remove or Remain	Mitigation Required, Percentage	Mitigation Required in Caliper Inches
0	28.0	Mesquite	Prosopis spp.	Yes	Healthy	Multi-trunk		Remove	100%	28.0
1	40.0	Bois d'Arc	Machua pomifera	No	Damaged	Leaning/Fall Hazard		Remove	0%	0.0
2	20.0	Bois d'Arc	Machua pomifera	No	Healthy			Remove	0%	0.0
3	8.0	Hackberry	Celtis occidentalis	No	Healthy			Remove	0%	0.0
4	12.0	Grape Myrtle	Lagerstroemia indica	Yes	Healthy			Remove	100%	12.0
5	8.0	Hackberry	Celtis occidentalis	No	Healthy	Multi-trunk		Remove	0%	0.0
6	14.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	7.0
7	14.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remove	100%	14.0
8	9.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
9	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
10	19.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
11	44.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
12	21.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
13	11.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
14	24.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remain		0.0
15	34.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy	Multi-trunk		Remain		0.0
16	35.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy	Multi-trunk		Remain		0.0
17	12.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy			Remain		0.0
18	9.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
19	29.0	Bois d'Arc	Machua pomifera	No	Healthy	Multi-trunk		Remain		0.0
20	10.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
21	12.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
22	10.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
23	9.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
24	15.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
25	8.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
26	7.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
27	29.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy	Multi-trunk		Remain		0.0
28	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
29	21.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy	Multi-trunk		Remain		0.0
30	7.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy	Multi-trunk		Remain		0.0
31	20.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	10.0
32	24.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy	Multi-trunk		Remove	50%	12.0
33	23.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remove	50%	11.5
34	9.0	Hackberry	Celtis occidentalis	No	Healthy			Remove	0%	0.0
35	20.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remove	50%	10.0
36	24.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy	Multi-trunk		Remove	100%	24.0
37	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	6.0
38	21.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remove	50%	10.5
39	19.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	9.5
40	21.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	10.5
41	24.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remove	50%	12.0
42	17.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	8.5
43	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	6.0
	789.0									191.5
	Total Tree Population									Total Tree Replacements, caliper inches

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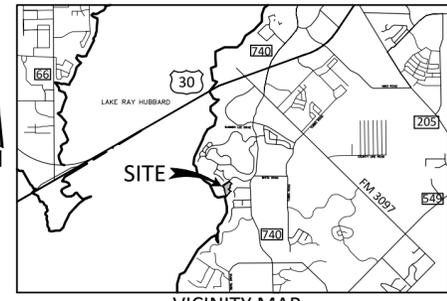


MARINA VILLAGE TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TREE SURVEY PLAN
TREE SURVEY DETAILS

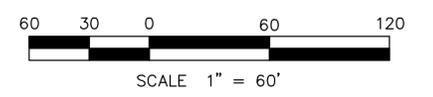
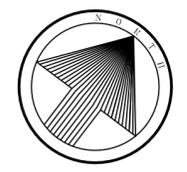


SCALE:
One Inch
JVC No 2209



LEGEND

- C-1
22.64 AC DRAINAGE AREA DESIGNATION
DRAINAGE AREA SIZE (AC.)
- PROPOSED DRAINAGE AREA DIVIDE
- DIRECTION OF FLOW
- STORM DRAIN LINE & INLET
- EXISTING CONTOUR

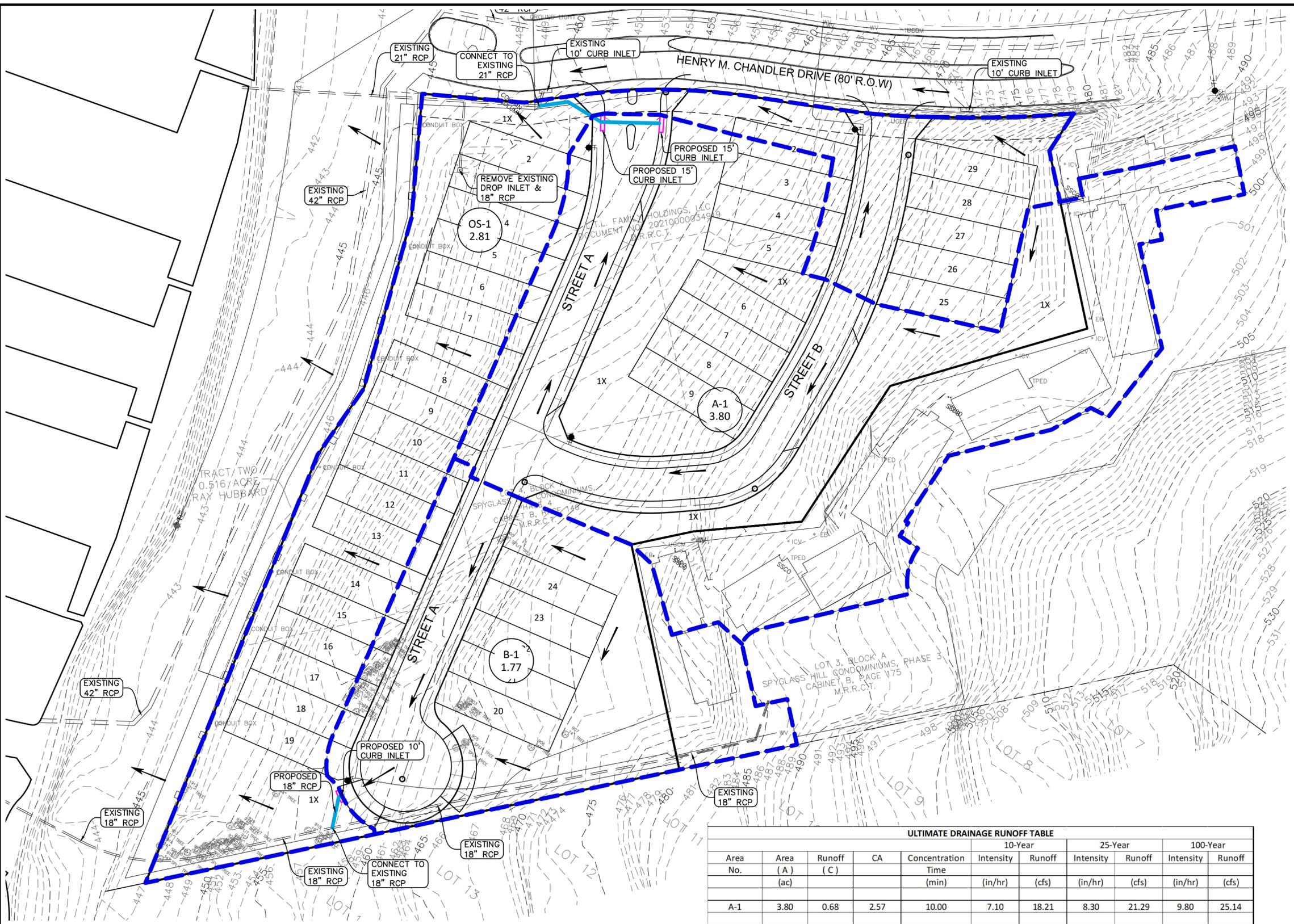


**PRELIMINARY
DRAINAGE PLAN**

MARINA VILLAGES

6.889 ACRES
 BLOCK A, LOTS 1X, 2-29; BLOCK B, LOTS 1X, 2-9
 36 TOWNHOME LOTS
 1.526 AC ROW DEDICATION
 OUT OF THE
 EDWARD TEAL SURVEY, ABSTRACT NO. 207
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 XXX-XX-2021

February 18, 2022
 SHEET 1 OF 1



ULTIMATE DRAINAGE RUNOFF TABLE										
Area No.	Area (A) (ac)	Runoff (C)	CA	Concentration Time (min)	10-Year		25-Year		100-Year	
					Intensity (in/hr)	Runoff (cfs)	Intensity (in/hr)	Runoff (cfs)	Intensity (in/hr)	Runoff (cfs)
A-1	3.80	0.68	2.57	10.00	7.10	18.21	8.30	21.29	9.80	25.14
B-1	1.77	0.66	1.17	10.00	7.10	8.32	8.30	9.73	9.80	11.49
OS-1	2.81	0.64	1.80	10.00	7.10	12.75	8.30	14.91	9.80	17.60

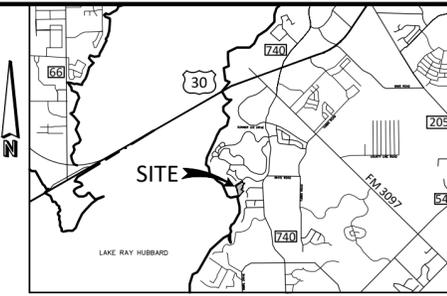
BENCHMARKS:
MONUMENT NO. 1:
 CITY OF ROCKWALL MONUMENT NO. COR-5:
 STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF HENRY W. CHANDLER DRIVE AND COMMODORE PLAZA APPROXIMATELY 400' WEST OF THE INTERSECTION OF HENRY W. CHANDLER DRIVE AND RIDGE ROAD.
 ELEVATION = 560.58'

MONUMENT NO. 2:
 CITY OF ROCKWALL MONUMENT NO. COR-7:
 STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED ON THE SOUTH SIDE OF SUMMER LEE DRIVE APPROXIMATELY 250' WEST OF THE INTERSECTION OF SUMMER LEE DRIVE AND RIDGE ROAD.
 ELEVATION = 567.52'

Owner/Applicant:
 LTL Family Holdings, LLC
 William Johnson
 14918 Mystic Terrace Lane
 Cyprus, Texas 77429
 Phone: 713-325-4294

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Joel Richey, PE



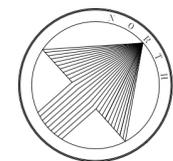
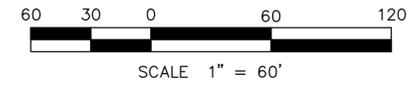


VICINITY MAP
N.T.S.

LEGEND	
•	Point of Curvature or Tangency on Center Line
●	1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
⊙	1/2" IRF (unless otherwise noted)
AC	Acre
BL	Building Line
C1	Curve No.
<CM>	Control Monument
DE	Drainage Easement
DUE	Drainage Utility Easement
Esmt	Easement
L1	Line No.
SF	Square Feet
UE	Utility Easement
VAM	Visibility Easement
D.R.R.C.T.=	Deed Records of Rockwall County, Texas
P.R.R.C.T.=	Plat Records of Rockwall County, Texas
O.R.R.C.T.=	Official Records of Rockwall County, Texas

GENERAL NOTES:

1. ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
2. ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
3. BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
4. LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48139C0325F DATED JUNE 3, 2013.
5. LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
6. DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE PROPERTY OWNERS.



**PRELIMINARY UTILITIES
MARINA VILLAGES**

6.889 ACRES

BLOCK A, LOTS 1X, 2-29; BLOCK B, LOTS 1X, 2-9

36 TOWNHOME LOTS

1.526 AC ROW DEDICATION

OUT OF THE

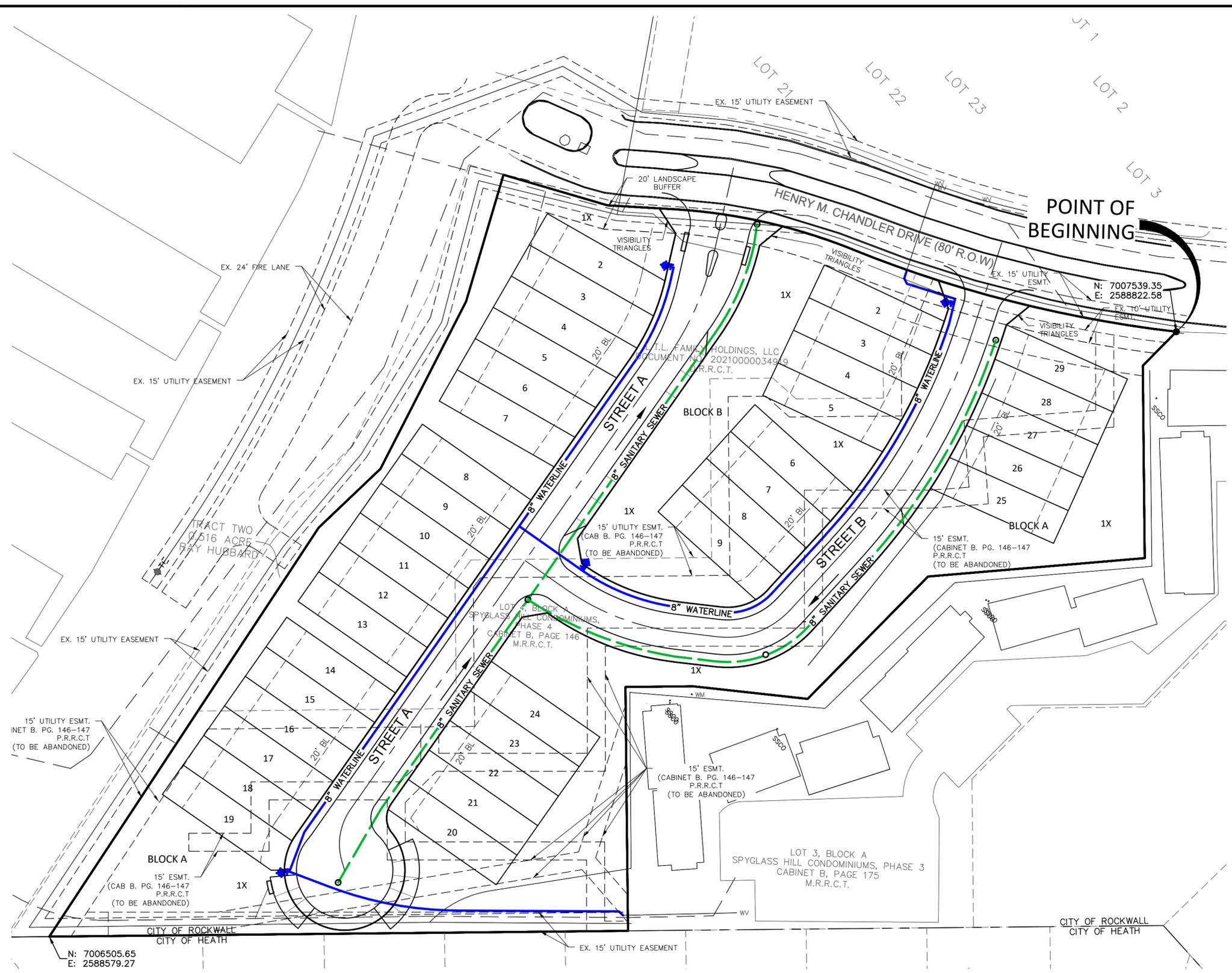
EDWARD TEAL SURVEY, ABSTRACT NO. 207

CITY OF ROCKWALL

ROCKWALL COUNTY, TEXAS

XXX-XX-2021

February 18, 2022



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CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: SP2022-004
PROJECT NAME: Site Plan for Lefere Office
SITE ADDRESS/LOCATIONS: 1501 AIRPORT RD, ROCKWALL, TX 75087

CASE MANAGER: Bethany ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	02/25/2022	Approved w/ Comments

02/25/2022: SP2022-004; Site Plan for an Office Building

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an Office Building on a 0.47-acre tract of land identified as Lot 4, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1501 Airport Road.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. March 7, 2022 is the deadline to have all comments; please provide staff revised plans before March 7, 2022 to ensure all comments are addressed.

M.3 For reference, include the case number (SP2022-004) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.5 Site Plan:

- (1) Indicate the perimeter dimensions of the site. (Subsection 03.04. B, of Article 11)
- (2) Indicate the dimensions of all existing and proposed buildings on site. (Subsection 03.04. B, of Article 11)
- (3) Indicate all building setbacks adjacent to the Right-of-Way. (Subsection 03.04. B, of Article 11)
- (4) Indicate all drive/turning radii. (Subsection 03.04. B, of Article 11)
- (5) Indicate all drive widths. (Subsection 03.04. B, of Article 11)
- (6) Label new and existing sidewalks and their widths per the Engineering Standards. (Subsection 03.04. B, of Article 11)
- (7) Indicate the centerline for Airport Road. (Subsection 03.04. B, of Article 11)
- (8) Label all adjacent right-of-way and properties lines. (Subsection 03.04.B of Article 11)
- (9) Provide parking table indicating the total number of required parking spaces by use (current site plan is deficient 6), the total number of required handicapped parking spaces and the total parking provided. Will there be a shard parking request? If so please provide a parking analysis of the development conforming to the ratios required by the UDC. (Subsection 05.01 of Article 11)
- (10) Are there any roof mounted or pad mounted utility equipment? If so, indicate them on the site plan and building elevations and show any subsequent required screening. (Subsection 01.05. C, of Article 05)
- (11) The dumpster enclosure must include a self-latching gate and be faced with materials matching the primary structure. (Subsection 01.05. B, of Article 05)

M.6 Landscape Plan:

- (1) Correct the landscaping table to reflect a percentage of 20% as opposed to 15% (Subsection 01.01. B, of Article 05)
- (2) Ensure all trees are planted far enough away from utility lines; confirm that the Engineering Standards are being met. (Subsection 05.03. E, of Article 08)
- (3) Add three (3) accent trees and a berm along Airport Road. (Subsection 05.03.B of Article 8)
- (4) Remove the parking table from the landscape plan.
- (5) Please confirm that all parking spaces are within 80-feet of a tree. (Subsection 05.03.E4 of Article 8)

M.7 Photometric Plan:

- (1) If any lighting is proposed with this project a photometric plan must be provided. Included with the photometric plan must be lighting cutsheets for the light fixtures. (Subsection 3.04 of Article 07)

M.8 Building Elevations:

- (1) Label each exterior elevation and indicate which elevations are adjacent to Public Right-of-Way.
- (2) Indicate the surface area of each façade and the percentage and square footage of each material used on that façade. (Subsection 04.01 of Article 5)
- (3) Provide all specifications and descriptions of each proposed building materials and please provide a physical material sample board that meets the City's submittal requirements. (Subsection 04.01 of Article 5)
- (4) All parapets shall be finished on the interior side using the same materials as the exterior facing wall. (Subsection 04.01A of Article 5)
- (5) Indicate all roof mounted mechanical equipment and indicate how these will be screened from the view of all adjacent properties and roadways. (Subsection 01.05.C of Article 5)

I.9 Based on the materials submitted staff has identified the following exceptions for this project:

- (1) Parking. According to Article 06, Parking and Loading Standards, of the Unified Development Code (UDC), office land uses require a minimum of one (1) parking space per 300 SF of building area. In this case, the proposed site plan is showing a parking deficiency of six (6) parking spaces.
- (2) Building Articulation on Primary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all primary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01C1. In this case the two (2) primary facades (i.e. the west and north building elevations) do not meet these standards.
- (3) Building Articulation on Secondary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all secondary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01C2. In this case the two (2) secondary facades (i.e. the east and south building elevations) do not meet these standards.

M.10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In this case, staff has identified three (3) exceptions. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and the six (6) required compensatory measures.

I.11 Based on the required compensatory measures, staff would recommend that the applicant look at meeting the material requirements of the General Overlay District Standards, which would involve changing the EFIS to three (3) part stucco and the cultured stone to natural stone. In addition, additional landscaping could be used to meet the required compensatory measures.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on March 7, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning & Zoning Meeting.

I.14 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on February 28, 2022.
- (2) Planning & Zoning meeting/public hearing meeting will be held on March 15, 2022.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

02/24/2022: - Lot and building to drain to the inlet to your northeast.
 - Need to plat to dedicate fire lane, access, and utility easement.
 - There should already be a double cleanout for the sewer to connect to.
 - The water stub out is 2" and 1.5" existing. There is not a 6" existing stub to my knowledge.
 - No trees to be within 5' of water lines.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved w/ Comments

02/22/2022: Assigned Address will be *1501 AIRPORT RD, ROCKWALL, TX 75087*

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

02/22/2022: Please ensure that trees are not planted within 5' of water and sewer lines.
 Please ensure that all parking spaces are within 80' of a tree

Need to plat off-site lot to dedicate fire lane, access, and utility easement

Need to plat to dedicate fire lane, access, and utility easement

Lot and building to drain to inlet to northeast.

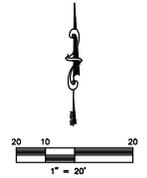
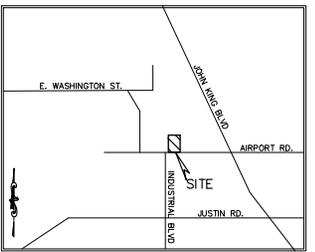
Need to plat off-site lot to dedicate access easement

Should already be a double CO there

Fire Line? Why do you have two?

Irrigation Service? There is a 2" stub and 1 1/2" stub not 6"

Not a stub. There is a looped 8" water line



SITE DATA:

LOT AREA: 0.47 Acres, 20,655 sq.ft.
 LOT COVERAGE: 37.6%
 FLOOR TO AREA RATIO: 2.66:1
 BUILDING AREA: General Office: 7,766 sq.ft.
 CONSTRUCTION TYPE: IIB & IIV
 BUILDING HEIGHT: 1 Story
 PROPOSED FUTURE USE: General Office IMPERVIOUS AREA (Including buildings): 13,803 sq.ft.
 ZONING: C
 SHARED PARKING: Required: Office (1/300sf) = 25
 Handicap = 1
 Provided: Standards = 19
 Handicapped = 1
 Total Provided = 20
 LANDSCAPE AREA: Required: (15%) 3,099 sq.ft.
 Provided: 6,852 sq.ft.
 FIRESPRINKLER: Yes
 * THERE ARE NO EXIST. BUILDINGS ON THIS SITE

VICINITY MAP NOT TO SCALE

LEGEND

- = PROPERTY LINE
- Ex. SS = EXISTING SANITARY SEWER LINE
- Ex. W = EXISTING WATER LINE
- Ex. H = EXISTING FIRE HYDRANT
- Ex. M = EXISTING WATER METER
- Ex. PP = EXISTING POWER POLE
- Ex. LP = EXISTING LIGHT POLE
- Ex. M = EXISTING SS MANHOLE
- Ex. T = EX. TELEPHONE BOX
- Ex. = EXISTING
- = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- ROP = REINFORCED CONCRETE PIPE
- M = MINIMUM
- B = MAXIMUM
- M-X = BACK OF CURB TO BACK OF CURB
- = EXIST PAVING
- = PROPOSED PAVING

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & IBC/COC STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

PAVING NOTES:

- 1) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER, (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 2) DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER, (O.C.)
- 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 6" THICK (SIDEWALK TO BE 4"), 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE, (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
- 6) NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL IS REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.



REVISIONS

**** NOTICE TO CONTRACTORS ****

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WARNING:

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL UTILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
 2. Fire lanes shall be designed and constructed per city standards.
 3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
 5. All signage contingent upon Building Inspection Department.
 6. Approval of the site plan is not final until all engineering plans are approved.
 7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
 8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 9. All electrical transmission, distribution and service lines must be underground.

PROJECT #: SP

SITE PLAN

LEFERE OFFICE

AIRPORT ROAD
 LANDING POINT ADDITION
 Lot 4, Blk A, 0.47 ACRES
 City of Rockwall, Rockwall County, Texas 75087

owner:
 Kevin Leferé
 Contact: 469-628-9106

designed by:
MONK CONSULTING ENGINEERS
 1200 W. State Street, Garland Texas 75040
 972-272-1763 Fax 972-272-8761
 © 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-4 REC. NO.: F-2567

date: 2/9/22 scale: 1"=20' sheet: C101



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

AIRPORT RD

SUBDIVISION

LANDING POINT ADDITION

LOT

4

BLOCK

A

GENERAL LOCATION

ON AIRPORT RD ACROSS FROM INDUSTRIAL BLVD.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

C - COMMERCIAL

CURRENT USE

N/A

PROPOSED ZONING

N/A

PROPOSED USE

OFFICE

ACREAGE

0.47 AC

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Airport Road, LLC.

APPLICANT

CARROLL ARCHITECTS

CONTACT PERSON

Kevin Lefere

CONTACT PERSON

JEFF CARROLL

ADDRESS

202 ENSK ST

ADDRESS

750 E. INTERSTATE 30

CITY, STATE & ZIP

Rockwall, TX 75087

CITY, STATE & ZIP

Rockwall, TX 75087

PHONE

469.628.9106

PHONE

214.632.1762

E-MAIL

klerefe@zanatas.com

E-MAIL

jc@carrollarch.com

NOTARY VERIFICATION [REQUIRED]

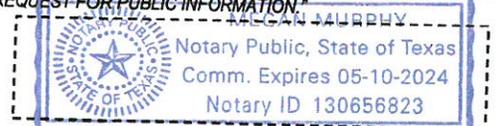
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Lefere [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ FEBRUARY, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF FEBRUARY, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

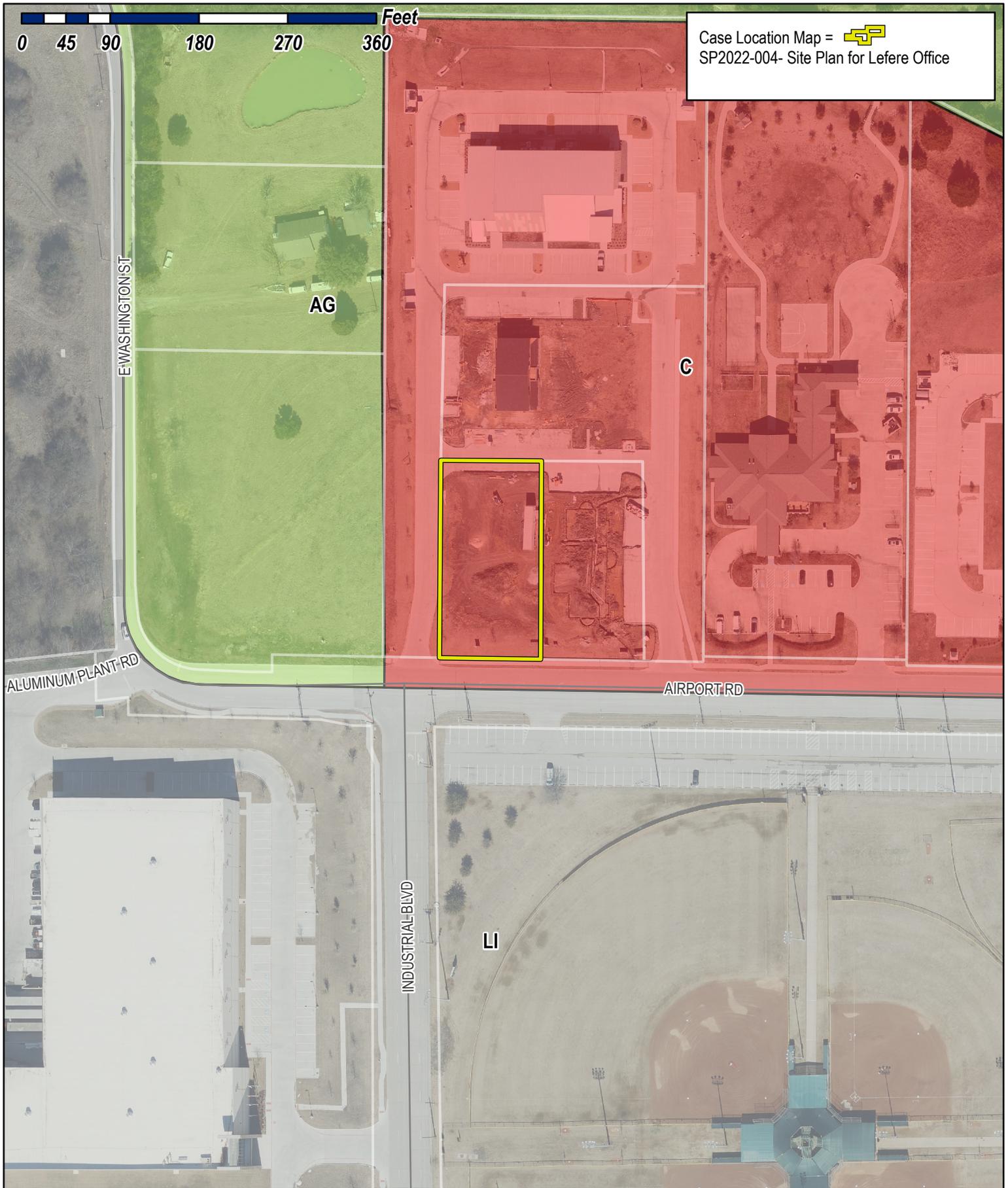
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF FEBRUARY, 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 5-10-2024



Case Location Map = 
 SP2022-004- Site Plan for Lefere Office

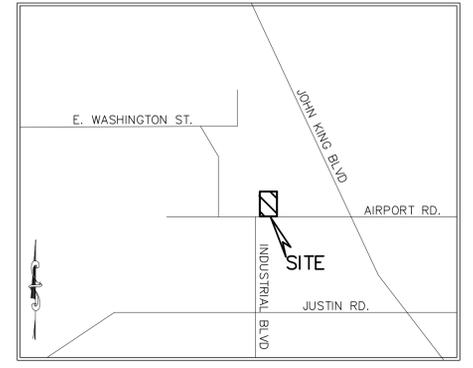
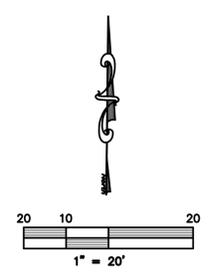
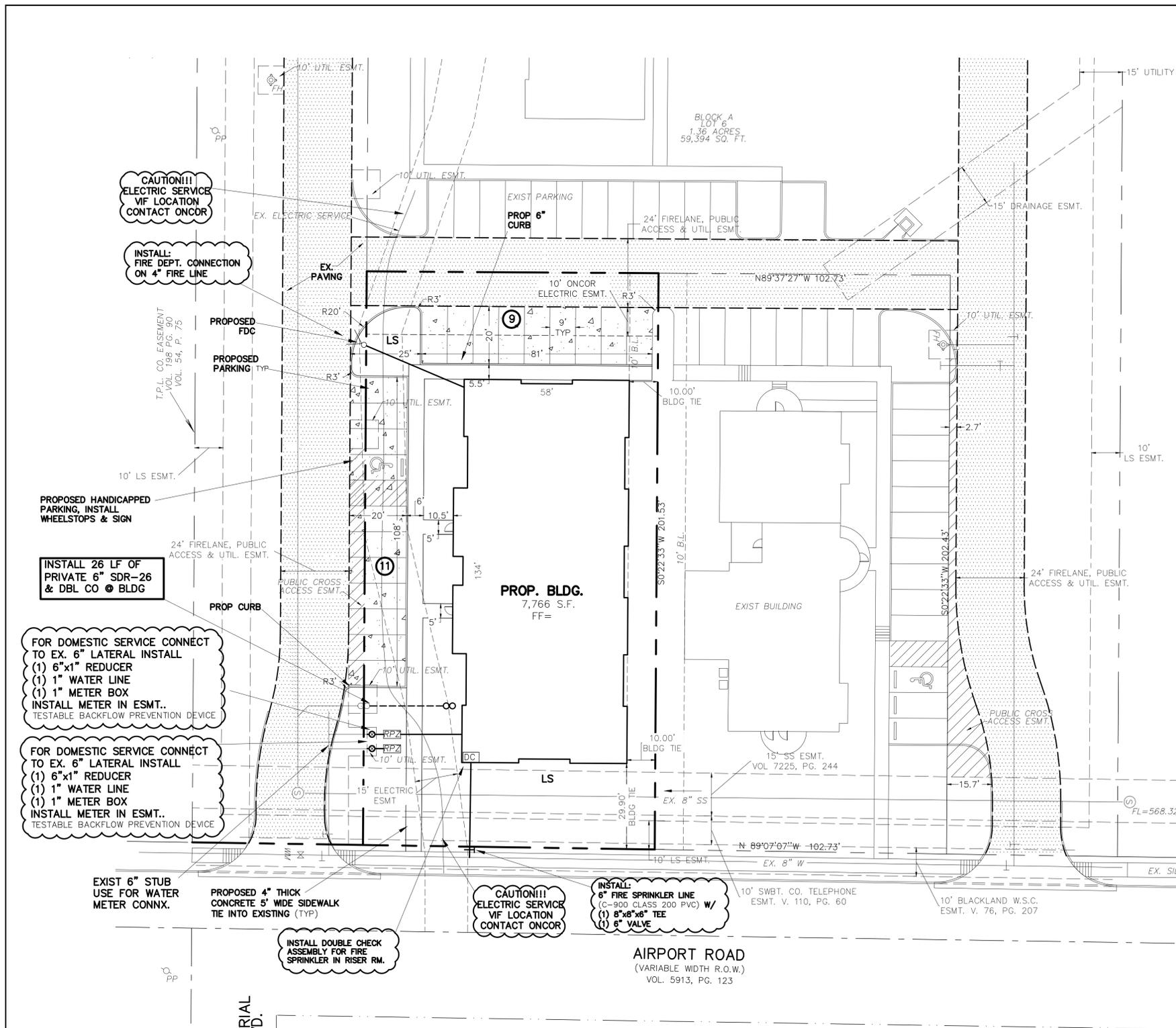


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITE DATA:
LOT AREA:
0.47 Acres, 20,655 sq.ft.
LOT COVERAGE:
37.6%
FLOOR TO AREA RATIO:
2.66:1
BUILDING AREA:
General Office: 7,766 sq.ft.
CONSTRUCTION TYPE:
IIB & IV
BUILDING HEIGHT:
1-Story
PROPOSED FUTURE USE:
General Office
IMPERVIOUS AREA
(including buildings):
13,803 sq.ft.
ZONING:
C
SHARED PARKING:
Required:
Office (1/300sf) = 25
Handicap = 1
Provided:
Standard = 19
Handicapped = 1
Total Provided = 20
LANDSCAPE AREA:
Required: (15%) 3,099 sq.ft.
Provided: 6,852 sq.ft.
FIRESPRINKLER:
Yes
 * THERE ARE NO EXIST.
BUILDINGS ON THIS SITE

VICINITY MAP
NOT TO SCALE

LEGEND

--- = PROPERTY LINE
 --- SS --- = EXISTING SANITARY SEWER LINE
 --- W --- = EXISTING WATER LINE
 FH = EXISTING FIRE HYDRANT
 WM = EXISTING WATER METER
 PP = EXISTING POWER POLE
 LP = EXISTING LIGHT POLE
 SS = EXISTING SS MANHOLE
 TB = EX. TELEPHONE BOX
 EXIST. or EX. = EXISTING
 CL = CENTERLINE
 PROP. = PROPOSED
 LS = LANDSCAPE
 RCP = REINFORCED CONCRETE PIPE
 min = MINIMUM
 max = MAXIMUM
 B-B = BACK OF CURB TO BACK OF CURB
 Yes = EXIST FIRELANE
 No = PROPOSED PAVING

NOTES:

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- 6) NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



REVISIONS

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PROJECT #: SP

SITE PLAN

LEFERE OFFICE

AIRPORT ROAD
LANDING POINT ADDITION
Lot 4, Blk A, 0.47 ACRES
City of Rockwall, Rockwall County, Texas 75087

owner
Kevin Leferé
Contact: 469-628-9106

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

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PROJECT NO.: 2022-4 REG. NO.: F-2567

date:	scale:	sheet:
2/9/22	1"=20'	C101



**STONE, ROUGH FACE
COLOR - BLANCO**



**HARDIE BOARD SIDING,
COLOR - GRAY SLATE**



**STANDING SEAM METAL ROOF
COLOR - CHARCOAL**



**STUCCO W/ EIFS FINISH
COLOR - GRAY MATTERS**

**OFFICE @ AIRPORT ROAD
ROCKWALL, TEXAS**



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: SP2022-005
PROJECT NAME: Site Plan for IDP
SITE ADDRESS/LOCATIONS: 1901 STATE HIGHWAY 276

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/25/2022	Approved w/ Comments

02/25/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an Office/Warehouse/Manufacturing Facility on a 3.81-acre parcel of land identified as Lot 4, Block B, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Innovation Drive and SH-276.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com. March 7, 2022 is the deadline to have all comments; please provide staff revised plans before March 7, 2022 to ensure all comments are addressed.

M.3 For reference, include the case number (SP2022-005) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be replatted after the engineering process to establish the property line and new easements.

M.5 Only refer to the property as Lot 4 on all sheets of the plans as it has not been replat yet to establish the new lot line.

M.6 Provide the City standard Site Plan Signature Block on all sheets of the plans. Also remove the placeholder text (i.e. [Day] [Month] [Year]).

I.7 All signage will be covered in a separate permit. (Subsection 06.02. F, of Article 05)

M.8 Site Plan:

- (1) Indicate the dimensions of the proposed building on site. (Subsection 03.04. B, of Article 11)
- (2) Label the new fire lane as "Fire Lane, Public Access, and Utility Easement." (Subsection 03.04. B, of Article 11)
- (3) Indicate the square footage of each use in order to confirm the parking total. (Subsection 05.01, of Article 06)
- (4) Is any new fencing being proposed? (Subsection 08.02. F, of Article 05)
- (5) The roof mounted utility equipment must be fully screened by the parapet. The parapet must also be finished on both sides. (Subsection 01.05. C, of Article 05)
- (6) Is there any pad mounted utility equipment? If so indicate the subsequent screening. (Subsection 01.05. C, of Article 05)
- (7) Provide a dumpster detail that outlines the materials and the dimensions; it must be 8-feet tall, have a self-latching gate, and be clad in the same material as the building. (01.05. B, of Article 05)
- (8) Please clarify where the roll up doors are on the site plan and label any wing walls. Also, are the roll up doors on the west side of the property for loading? (Subsection 01.05. A, of Article 05)

M.9 Landscape Plan:

- (1) Indicate the pervious vs. impervious cover. (Subsection 01.01. B, of Article 05)

- (2) Indicate the berm on the landscape plans. (Subsection 05.01, of Article 08)
- (3) Crape Myrtle are not considered an accent tree and cannot be within the landscape buffer. Provide a different plant to serve as the accent tree within the landscape buffer. (Subsection 01.01. B, of Article 05)
- (4) All parking spaces shall be located within 80-feet of a canopy tree. The east row of parking does not meet this requirement. (Subsection 05.03. E, of Article 08)
- (5) Provide a note that all irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08)

M.10 Treescape Plan:

- (1) Provide the site data on this plan (See Sec. 2.1 of this checklist)
- (2) Indicate the number of inches being replanted. (Subsection 03.01. G, of Article 09)

M.11 Photometric Plan:

- (1) Show the light levels at the property lines. Light levels at all property lines should be 0.2 FC or less. (Subsection 03.03, of Article 07)
- (2) All pole lighting shall not be taller than 20-feet. (Subsection 03.03. E, of Article 07)
- (3) Please provide cutsheets for all light fixtures. (Subsection 03.03, of Article 07)

M.12 Building Elevations:

- (1) Provide the material percentages for all materials on the building. (Subsection 05.01, of Article 05)
- (2) Indicate the wing walls on the elevations. (Subsection 05.01, of Article 05)
- (3) The use of 90% masonry material is required. Currently it appears that this requirement is not met, however once the material percentages are provided for each material this will be reevaluated. (Subsection 05.01. A. 1, of Article 05)
- (4) The vertical and horizontal articulation standards are not met. This is not uncommon with large industrial buildings. Simply update your variance letter with the 2 variances along with the 4 compensatory measures. (Subsection 05.01. C, of Article 05)
- (5) The roof mounted utility equipment must be fully screened by the parapet. The parapet must also be finished on both sides. (Subsection 01.05. C, of Article 05)

M.13 There are currently three (3) special exceptions and one (1) variance associated with this request, see below. Update your variance letter accordingly with the variances you wish to request; include the associated eight (8) compensatory measures.

- (1) Tilt-wall construction (Special Exception)
- (2) Horizontal articulation (Special Exception)
- (3) Vertical articulation (Special Exception)
- (4) 90% masonry (Potentially in compliance) (Variance)

I.14 Please note that failure to address all comments provided by staff by 3:00 PM on March 7, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning & Zoning Meeting.

I.16 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on February 28, 2022.
- 2) Planning & Zoning meeting/public hearing meeting will be held on March 15, 2022.

I.17 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

- 02/24/2022: - Water line must be centered in a 20' utility easement. No structures in easements.
 - All water lines to be 10' away from other utilities, including storm. Must be centered in a 20' utility easement.
 - Sewer line to have 10' easement on either side of proposed line, may need additional easement dedication.
 - Who will own lot 4?

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Manning's C Value for detention calculation is per zoning.
- No retaining walls in detention easement.

Roadway Paving Items:

- Fire lane radii depends on the height of the building. If the building height is 30' or more, the radii must be 30'. If shorter than 30', the radii can be 20' min.
- No dead-end parking

Water and Wastewater Items:

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must loop min 8" water line on site.
- Sewer pro-rata of \$2,773.07/acre.
- Public sewer lines must be 8" minimum.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Needs Review

02/23/2022: Fire Department Connection shall be located within 100-ft of a fire hydrant.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved w/ Comments

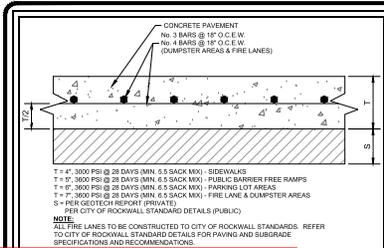
02/22/2022: Assigned address will be *1901 STATE HIGHWAY 276, ROCKWALL, TX 75032*

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	02/25/2022	N/A

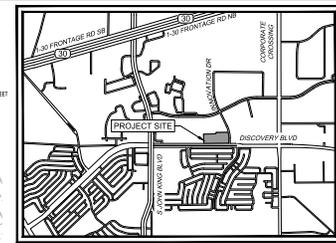
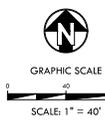
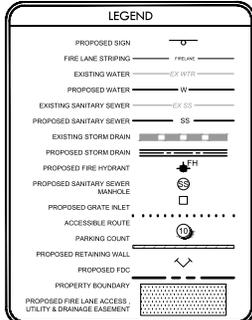
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

02/22/2022: Landscape plan approved
Tree mitigation plan approved



SITE DATA SUMMARY TABLE	
GENERAL SITE DATA	LOT 4
ZONING	U - LIGHT INDUSTRIAL
LAND USE	OFFICE/WAREHOUSE/MANUFACTURING
LOT AREA	109,758.57 / 50 AC
BUILDING FOOTPRINT AREA	70,009.57
TOTAL BUILDING AREA	20,929.57
BUILDING HEIGHT (# STORES)	2
BUILDING HEIGHT	29'-8"
LOT COVERAGE	12.59%
LOADS AREA RATIO	0.13
PARKING	
PARKING RATIO	OFFICE: ONE SPACE PER 300 SF WAREHOUSE: ONE SPACE PER 1000 SF MANUFACTURING: ONE SPACE PER 500 SF
REQUIRED PARKING (# SPACES)	31
PROVIDED PARKING (# SPACES)	50
ACCESSIBLE PARKING (# REQUIRED) (# SPACES)	7
ACCESSIBLE PARKING PROVIDED (# SPACES)	2



PRELIMINARY FOR REVIEW ONLY. THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND NOT INTENDED FOR THE PURPOSES OF CONSTRUCTION, BIDDING OR PERMIT. THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF: JEREMY B. NELSON, P.E. 131740 DATE: February 18, 2022



525 S. LOOP 288, SUITE 105 DENTON, TX 76206 (840) 566-5485

INTEGRATED DEFENSE PRODUCTS TM
LOT 4.5, BLOCK B
ROCKWALL TECHNOLOGY PARK,
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
(2.50 ACRES) J.M. ALLEN SURVEY A-2

- General Items:**
- Must meet City Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Wastewater & Roadway)
 - Minimum easement width is 20' for easements. No structures allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls must be rock or stone face. No smooth concrete walls.

- Drainage Items:**
- Manning's C Value for detention calculation is per zoning.
 - No retaining walls in detention easement.

- Roadway Paving Items:**
- Fire lane radii depends on the height of the building. If the building height is 30' or more, the radii must be 30'. If shorter than 30', the radii can be 20' min.
 - No dead-end parking

- Water and Wastewater Items:**
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Must loop min 8" water line on site.
 - Sewer pro-rata of \$2,773.07/acre.
 - Public sewer lines must be 8" minimum.

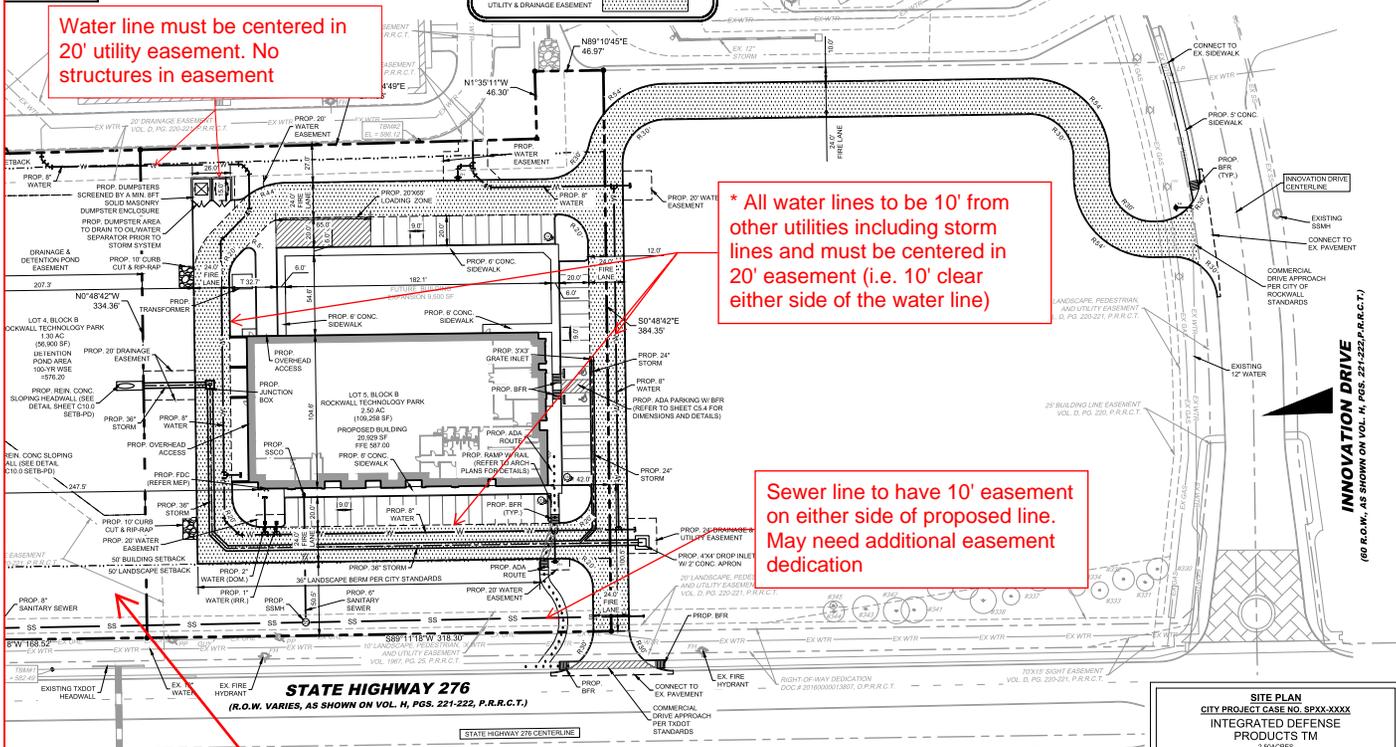
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

Water line must be centered in 20' utility easement. No structures in easement

* All water lines to be 10' from other utilities including storm lines and must be centered in 20' easement (i.e. 10' clear either side of the water line)

Sewer line to have 10' easement on either side of proposed line. May need additional easement dedication

Who will own lot 4?



CONTROL NOTES:
REFER TO THE FINAL PLAN TO SEE EASEMENT LOCATION. OTHERWISE, ALL PAVING CURBS, USE ALL CURB RADI SHALL BE AS SHOWN.

ARCHITECTURAL PLANS FOR CONSTRUCTION:
REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION AND FINISHES. REFER TO THE FINISHES SCHEDULE FOR FINISHES.

NOTE TO CONTRACTOR:
THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

OWNER:
ROCKWALL TECHNOLOGY PARK
PO BOX 988
ROCKWALL, TX 75087
PH: 972-724-2222
CONTACT: PHIL WAGNER

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the (DAY) day of (MONTH), (YEAR).
WITNESS OATH HANDS, THIS (DAY) day of (MONTH), (YEAR)

Planning & Zoning Commission, Chairman Director of Planning and Zoning

SITE PLAN
CITY PROJECT CASE NO. SPXX-XXXX
INTEGRATED DEFENSE PRODUCTS TM
2.50 ACRES
LOT 4.5, BLOCK B
ROCKWALL TECHNOLOGY PARK,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
PREPARATION DATE: 01/24/2022

APPLICANT:
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEVILLE, TX 76034
PH: 817-486-4800
CONTACT: JEREMY NELSON, PE

LANDSCAPE ARCHITECT:
HIZDO GREEN SPOT, INC.
1704 N. WAGNER ST., STE. 110
ALLEN, TX 75013
PH: 409-398-4448
CONTACT: CHRIS TRONANO, RLA

ENGINEER:
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEVILLE, TX 76034
PH: 817-486-4800
CONTACT: JEREMY NELSON, PE

SURVEYOR:
BARTON CRAPA SURVEYING
5200 STATE HIGHWAY 121
COLLEVILLE, TX 76034
PH: 817-486-1957
CONTACT: JACOB BARTON, RPS



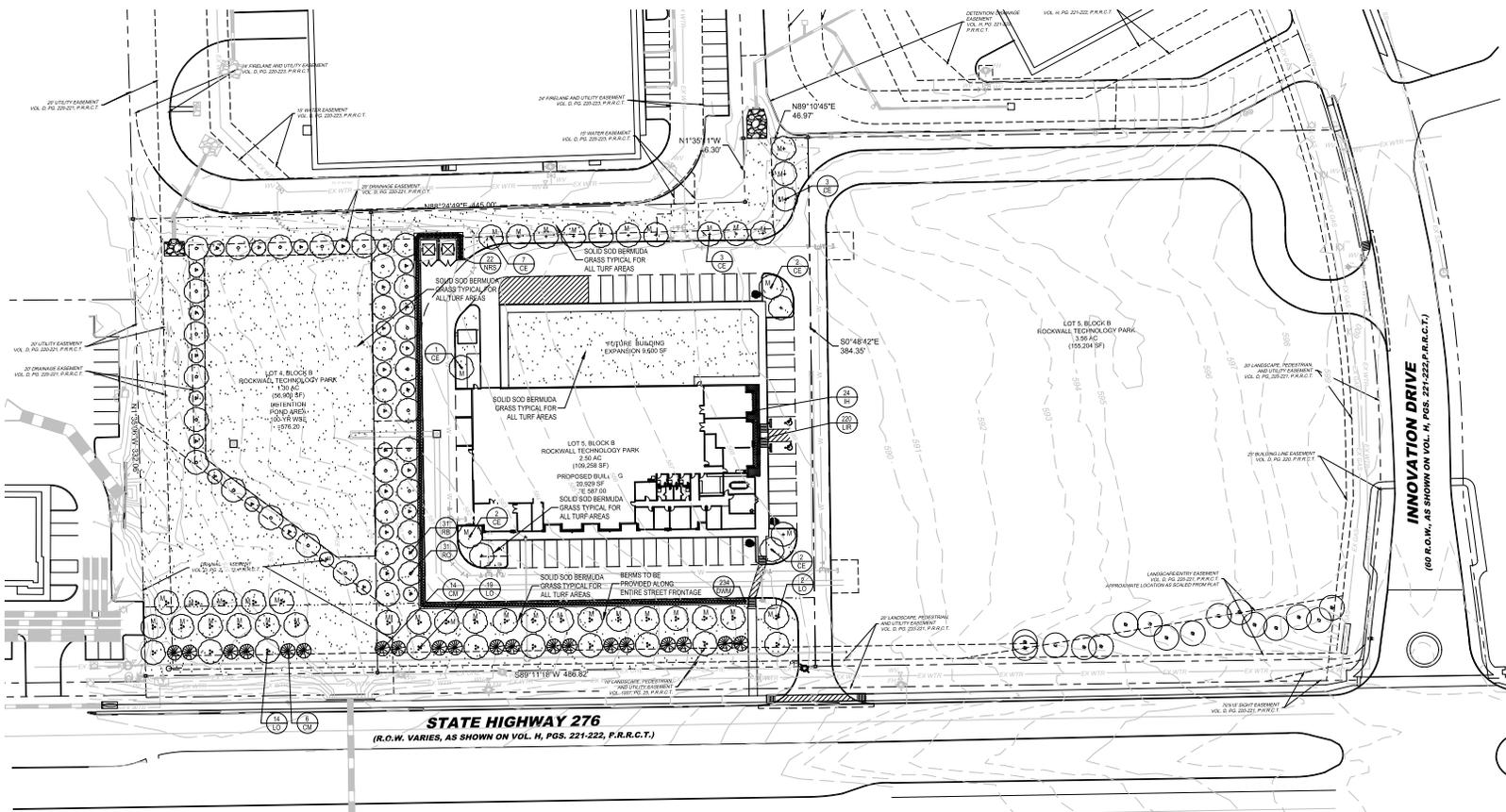
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEVILLE, TX 76034
TEXAS FIRM NO. 15574

JOB NUMBER: LNK1005
ISSUE DATE: 01/24/2022

SITE PLAN

SHEET:
C3.0

CASE NUMBER: SP2022-XX



- SOLID SOD NOTES**
1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 2" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
 2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 4. CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
 5. PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL JOISTS.
 6. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
 7. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
 8. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO, KNOWING WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
 9. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
 10. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER GREENGRASS AT A RATE OF 40 POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

- LANDSCAPE NOTES**
1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
 2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
 3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
 4. CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
 5. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
 6. ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
 7. ALL LAWN AREAS TO BE SOLID SOD BERBERAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 8. DECOMPOSED GRANITE SHALL BE (3) THREE INCHES DEEP W/ FILTER FABRIC BETWEEN NATIVE SOIL AND GRANITE.

- GENERAL LAWN NOTES**
1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
 2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 4. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION. INQUIRY AS TO BOTTOM AND SOIL FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
 5. ALL LAWN AREAS TO BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNERS' CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
 6. ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPILLS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
 7. CONTRACTOR SHALL PROVIDE (1) ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.



LANDSCAPE TABULATIONS:
SITE REQUIREMENTS (site area 166,159 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
24,924 s.f. (15%)	91,875 s.f. (55%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
12,462 s.f. (50%)	30,206 s.f. (121%)

STREET REQUIREMENTS
Requirements: (2) canopy tree, 4" cal. & (4) accent tree, 4" ht. per 100 l.f. of frontage

Required	Provided
(10) canopy trees	(10) canopy trees
(20) accent trees	(20) accent trees

STATE HIGHWAY 276 (487 L.F.)

Required	Provided
(1) canopy tree, 4" cal. per 20 parking spaces	(3) canopy trees

PARKING LOT REQUIREMENTS (50 spaces)

Required	Provided
(1) canopy tree, 4" cal. per 20 parking spaces	(3) canopy trees

DETENTION AREA REQUIREMENTS (23,448 s.f.)
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4" ht. per 750 s.f. of detention area

Required	Provided
(31) canopy trees	(31) canopy trees
(31) accent trees	(31) accent trees

M- TREES COUNTED FOR TREE MITIGATION

PLANT MATERIAL SCHEDULE

TREES						
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS	
CE	20	Cedar Elm	Ulmus crassifolia	4" cal.	container, 12" ht., 5" spread, 6' clear straight trunk	
CM	20	Crape Myrtle	Lagerstrœmia indica	4" ht.	container, 4" ht., 4" spread, 3/8" 5' cal. trunk	
LO	35	Live Oak	Quercus virginiana	4" cal.	container, 12" ht., 5" spread, 6' clear straight trunk	
RB	31	Redbud	Cercis canadensis	4" ht.	container, 4" ht., 4" spread, straight trunk	
RO	31	Red Oak	Quercus rubra	4" cal.	container, 12" ht., 5" spread, 6' clear straight trunk	
SHRUBS						
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS	
DWM	234	Dwarf Wax Myrtle	Myrica pauciflora	6 gal.	container, 30" ht., 24" spread	
IN	24	Indian Hawthorn	Rhamnus indica	5 gal.	container, 20" ht., 20" spread	
NRS	22	Nellie R. Stevens Holly	Ilex x 'Nellie R. Stevens'	7 gal.	container, 36" ht., 30" spread	
GROUNDCOVERS						
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS	
LIR	220	Liriodendron	Liriodendron chinensis	4" pots	container full, well rooted	
		4" 1/2" Bermudagrass	Cynodon dactylon '41/2"		Soils: sod root to roots	

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees are to be measured at Diameter Breast Height (DBH). Trees to have straight trunks and be matching within varieties.

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR.
SUITE 110
ALLEN, TEXAS 75013
(469) 369-4448
CHRS@STUDIOGREENSPOT.COM



INTEGRATED DEFENSE PRODUCT™
LOT 4, BLOCK B
ROCKWALL TECHNOLOGY PARK
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

ISSUE:
FOR APPROVAL 02/18/2022
CITY COMMENTS 02/18/2022

DATE:
02/18/2022

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:

L.2



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Intersection of SH-276 & Innovation Drive

SUBDIVISION Rockwall Technology Park

LOT 4,5 BLOCK B

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Technology/Light Industrial

PROPOSED ZONING Light Industrial

PROPOSED USE Office/Warehouse/Manufacturing

ACREAGE 3.81

LOTS [CURRENT] 1

LOTS [PROPOSED] 2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Technology Park

APPLICANT Kirkman Engineering

CONTACT PERSON Phil Wagner

CONTACT PERSON Jeremy Nelson, P.E.

ADDRESS PO Box 968

ADDRESS 5200 State Highway 121

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Colleyville, TX 76034

PHONE (972) 772-0025

PHONE (817) 488-4960

E-MAIL pwagner@rockwalledc.com

E-MAIL jeremy.nelson@trustke.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Phil Wagner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

¹ I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 326.20 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

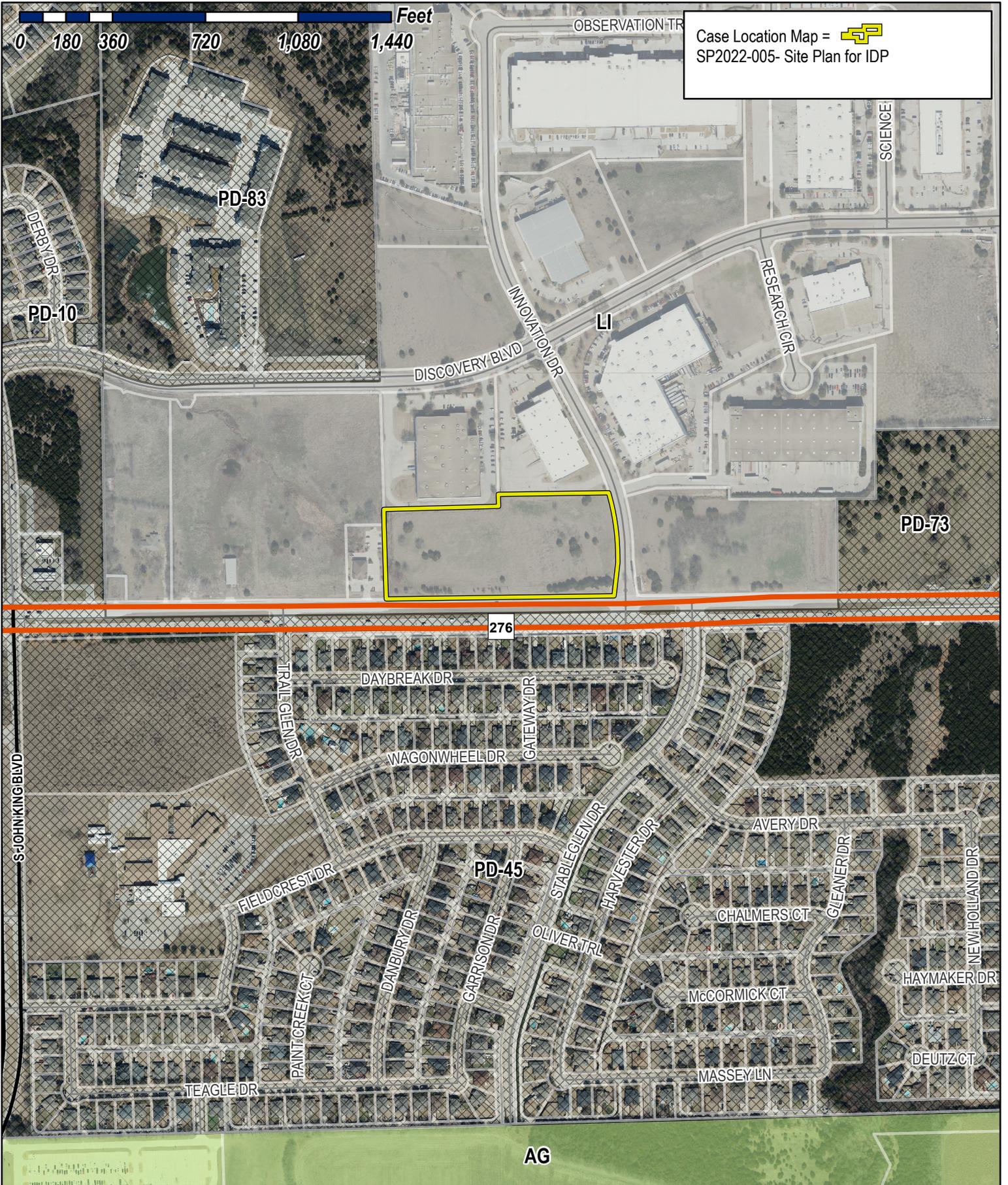
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF February, 2022

OWNER'S SIGNATURE Phil Wagner

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jennifer L. Hammonds



MY COMMISSION EXPIRES 1/01/24



Case Location Map = 
 SP2022-005- Site Plan for IDP

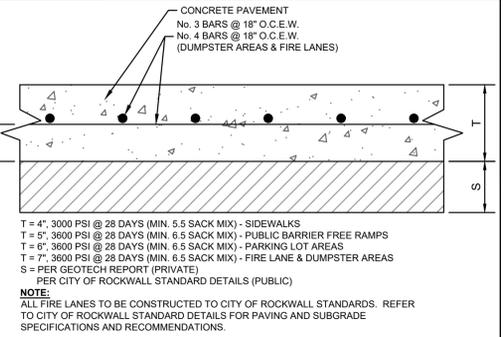


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

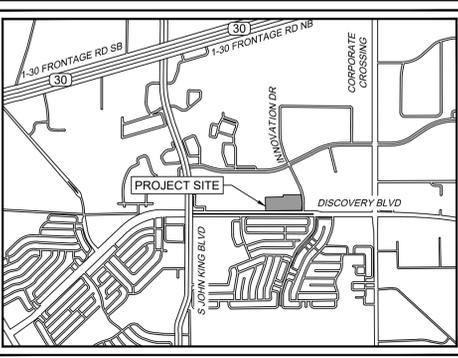
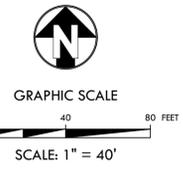
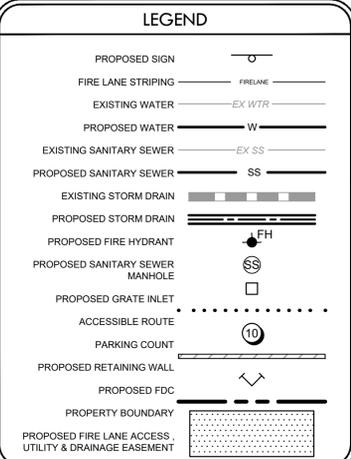
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





1 TYPICAL PAVEMENT SECTION

SITE DATA SUMMARY TABLE	
GENERAL SITE DATA	LOT 4
ZONING	LI - LIGHT INDUSTRIAL
LAND USE	OFFICE/WAREHOUSE/MANUFACTURING
LOT AREA	109,258 SF/2.50 AC
BUILDING FOOTPRINT AREA	20,929 SF
TOTAL BUILDING AREA	20,929 SF
BUILDING HEIGHT (# STORIES)	1
BUILDING HEIGHT	29'-8"
LOT COVERAGE	12.59%
FLOOR AREA RATIO	0.13
PARKING	
PARKING RATIO	OFFICE: ONE SPACE PER 300 SF WAREHOUSE: ONE SPACE PER 1000 SF MANUFACTURING: ONE SPACE PER 500 SF
REQUIRED PARKING (# SPACES)	31
PROVIDED PARKING (# SPACES)	50
ACCESSIBLE PARKING REQUIRED (# SPACES)	2
ACCESSIBLE PARKING PROVIDED (# SPACES)	2

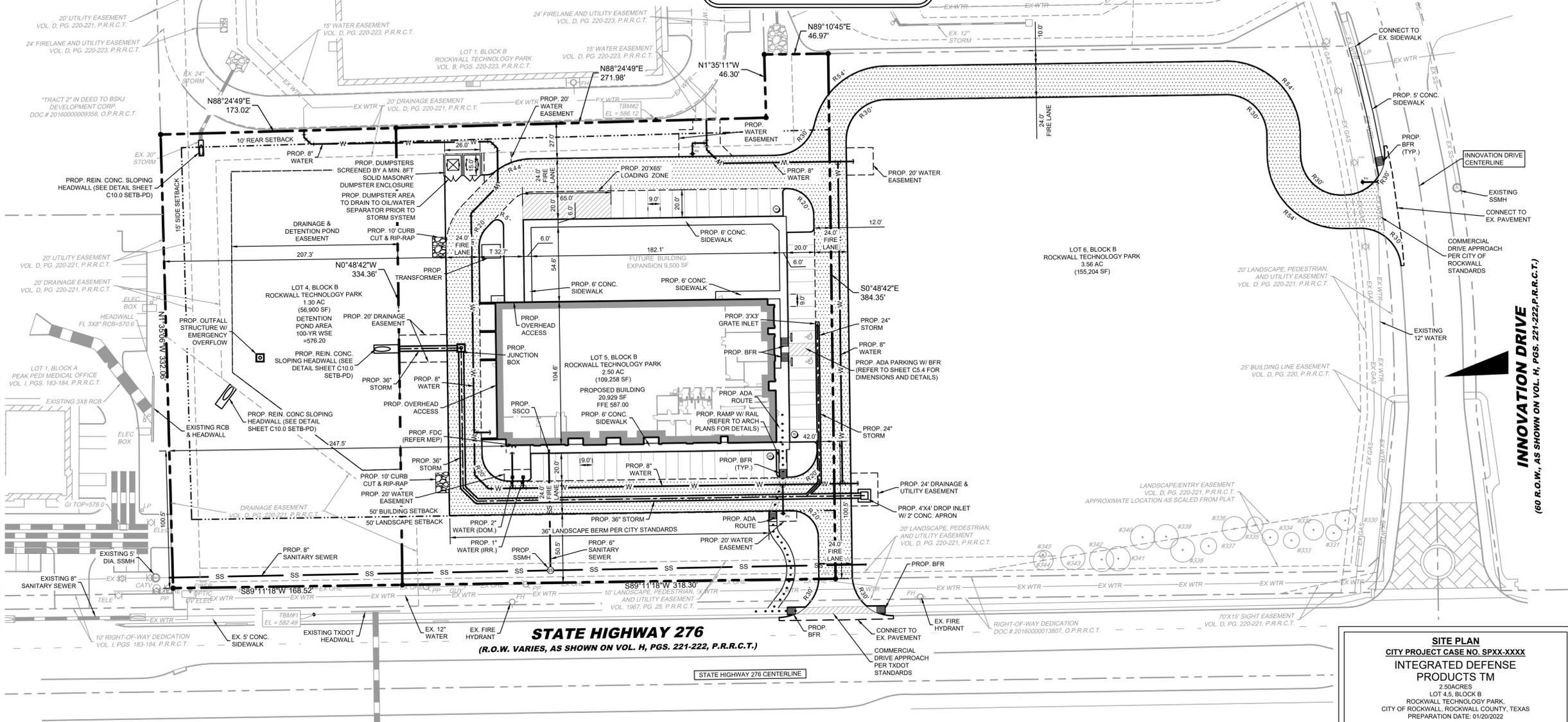


PRELIMINARY FOR REVIEW ONLY. THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND NOT INTENDED FOR THE PURPOSES OF CONSTRUCTION, BIDDING OR PERMIT. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF: JEREMY B. NELSON, P.E. # 138740. DATE: February 18, 2022.



525 S. LOOP 288, SUITE 105, DENTON, TX 76205 (940) 566-5465

INTEGRATED DEFENSE PRODUCTS TM
LOT 4.5, BLOCK B
ROCKWALL TECHNOLOGY PARK,
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
(2.50 ACRES) J.M. ALLEN SURVEY A-2



REV.	DATE	DESCRIPTION

APPLICANT
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-488-4980
CONTACT: JEREMY NELSON, PE

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR. STE. 110
ALLEN, TX 75013
PH: 489-309-4448
CONTACT: CHRIS TRONZANO, RLA

ENGINEER
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-864-1057
CONTACT: JEREMY NELSON, PE

SURVEYOR
BARTON CHAPA SURVEYING
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-864-1057
CONTACT: JACK BARTON, RPLS



- LAYOUT & DIMENSIONAL CONTROL NOTES:**
- BOUNDARY LINES AND EASEMENT: REFER TO THE FINAL PLAT TO VERIFY PROPERTY LINES AND EXISTING EASEMENT LOCATIONS.
 - DIMENSION CONTROL: UNLESS NOTED OTHERWISE, ALL PAVING DIMENSIONS SHOWN ARE TO FACE OF CURB.
 - CURB RADI: UNLESS NOTED OTHERWISE, ALL CURB RADI SHALL BE 3' AT FACE OF CURB.
 - BUILDING DIMENSIONS: REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES PRIOR TO CONSTRUCTION.
 - ALL COORDINATES ARE U.S. SURVEY FEET, NAD 83 SURFACE.

NOTE TO CONTRACTOR
THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].
WITNESS OUR HANDS, THIS [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman

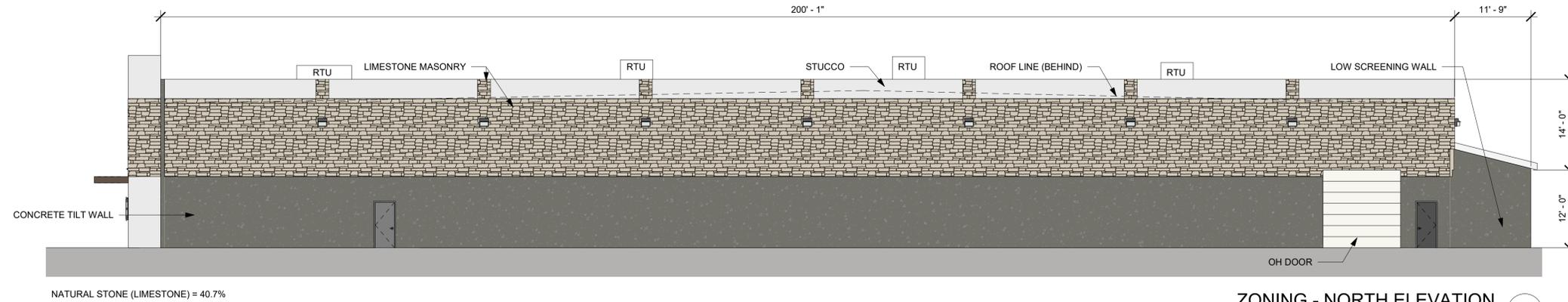
Director of Planning and Zoning

OWNER
ROCKWALL TECHNOLOGY PARK
PO BOX 989
ROCKWALL, TX 75087
PH: (972) 772-0025
CONTACT: PHIL WAGNER

SITE PLAN
CITY PROJECT CASE NO. SPXX-XXXX
INTEGRATED DEFENSE PRODUCTS TM
2.50 ACRES
LOT 4.5, BLOCK B
ROCKWALL TECHNOLOGY PARK,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
PREPARATION DATE: 01/20/2022

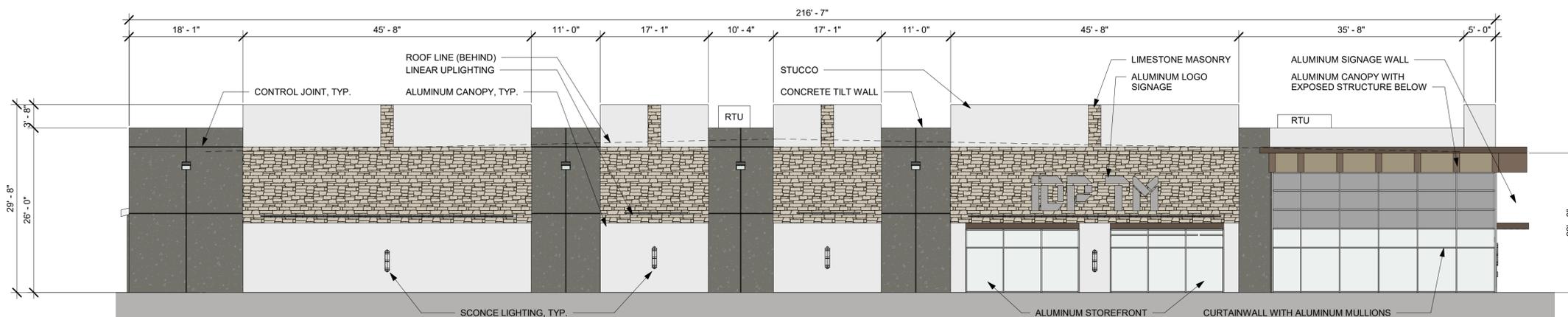
SITE PLAN
SHEET:
C3.0

CASE NUMBER: SP2022-XX



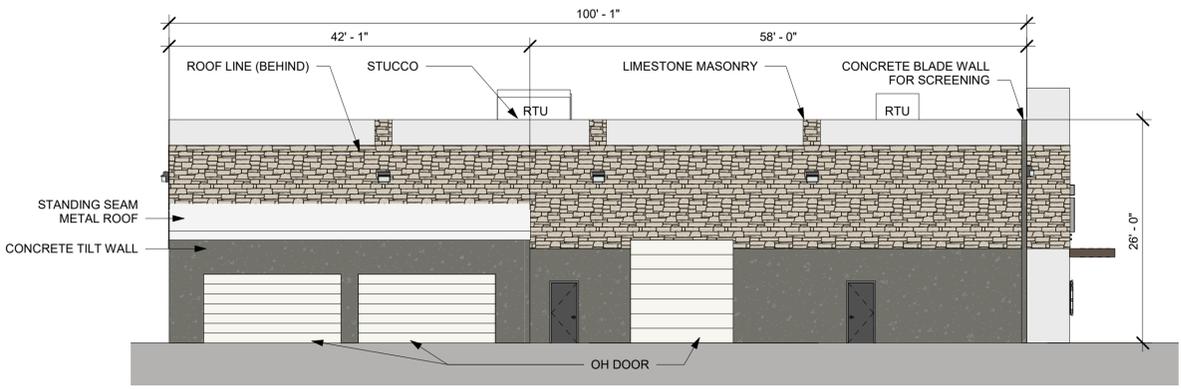
NATURAL STONE (LIMESTONE) = 40.7%

ZONING - NORTH ELEVATION 4
3/32" = 1'-0"



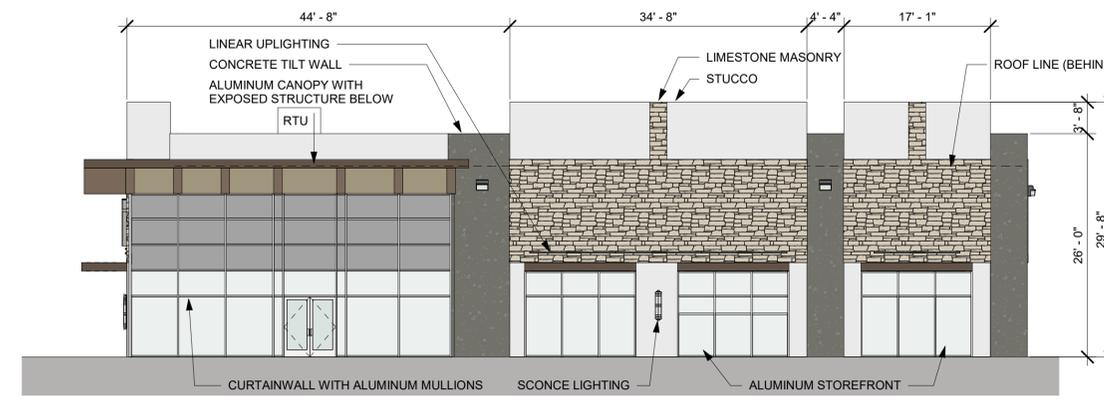
NATURAL STONE (LIMESTONE) = 25.6%

ZONING - SOUTH ELEVATION 3
3/32" = 1'-0"



NATURAL STONE (LIMESTONE) = 41.2%

ZONING - WEST ELEVATION 2
3/32" = 1'-0"



NATURAL STONE (LIMESTONE) = 22.2%

ZONING - EAST ELEVATION 1
3/32" = 1'-0"

PER ROCKWALL TECHNOLOGY PARK COVENANTS, CONDITIONS & RESTRICTIONS:

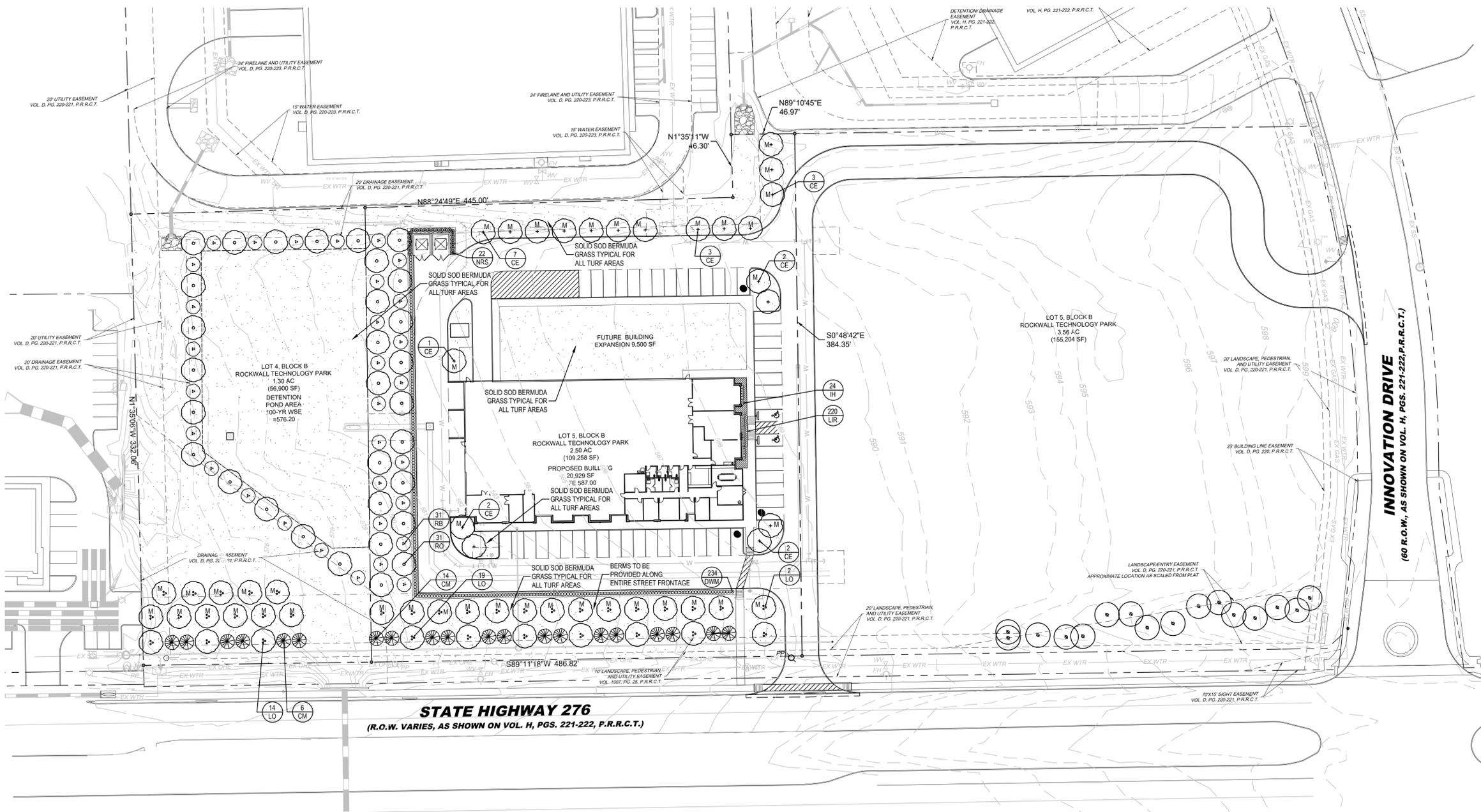
Windows, doors, eaves, parapets, soffits, overhangs, canopies, etc. should be used to provide Interest and variety to the building facade.

Entrances to buildings should be articulated with appropriate architectural features so as to distinguish them from the remainder of the building.

The use of decorative pilasters, moldings, cornices, and other façade treatments is encouraged to enrich the building appearance. Where appropriate, details such as canopies and columns should be used to create shade, cast shadows, and provide visual relief.

Canopies and awnings are encouraged, and when used, should be treated as architectural elements and be incorporated into the design of a building by producing a consistent pattern through their size, color, and shape.

One (1) and two (2) story buildings shall be designed in such a manner so as to provide for visual interest. To accomplish this, walls that face a public street or dedicated access easement shall have offsets to break up long expanses. (For purposes of this section, "facing a street or easement" shall mean that the angle between the building facade and the front property line, street, or easement is less than 45 degrees.) If a building's facade is less than 80 feet wide, the facade shall be broken up into at least two (2) different planes. For facades at least 80 feet wide but less than 250 feet wide, at least three (3) planes shall be designed. At least four (4) planes shall be designed for when the facade is greater than 250 feet wide. The cumulative total of these offset surfaces when viewed in plan shall equal a minimum of 40% of the width of the facade. When viewed in elevation the cumulative total of these offset surfaces shall equal a minimum of 10' or 1/3 of the height of the facade, whichever is greater. (Note: The required offsets are not required to be as tall as the primary facade.) The minimum depth of the offset between adjacent planes shall be at least 15% of the wall's height. (See Exhibits B, Figure 1-3.4/5)



- SOLID SOD NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
 - PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
 - ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDLINATIONS.
 - WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
 - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
 - IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

- LANDSCAPE NOTES**
- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
 - CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
 - CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
 - ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
 - ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
 - ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - DECOMPOSED GRANITE SHALL BE (3) THREE INCHES DEEP W/ FILTER FABRIC BETWEEN NATIVE SOIL AND GRANITE.

- GENERAL LAWN NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
 - ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
 - ALL ROCKS 3" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
 - CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
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(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM

INTEGRATED DEFENSE PRODUCT TM
LOT 4, BLOCK B
ROCKWALL TECHNOLOGY PARK
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

ISSUE:
FOR APPROVAL 02.04.2022
CITY COMMENTS 02.18.2022

DATE:
02.18.2022

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:

L.2

01 LANDSCAPE PLAN
SCALE 1"=40'-0"

LANDSCAPE TABULATIONS:
SITE REQUIREMENTS (site area 166,159 s.f.)
Requirements: 15% site area to be landscaped

Required	24,924 s.f. (15%)	Provided	31,875 s.f. (55%)
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FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	12,462 s.f. (50%)	Provided	30,208 s.f. (121%)
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STREET REQUIREMENTS
Requirements: (2) canopy tree, 4" cal. & (4) accent tree, 4" ht. per 100 l.f. of frontage

STATE HIGHWAY 276 (487 l.f.)

Required	(10) canopy trees	Provided	(10) canopy trees
	(20) accent trees		(20) accent trees

PARKING LOT REQUIREMENTS (50 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	(3) canopy trees	Provided	(3) canopy trees
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DETENTION AREA REQUIREMENTS (23,448 s.f.)
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4" ht. per 750 sf denton area

Required	(31) canopy trees	Provided	(31) canopy trees
	(31) accent trees		(31) accent trees

M- TREES COUNTED FOR TREE MITIGATION

PLANT MATERIAL SCHEDULE

TREES					
TYPE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	20	Cedar Elm	<i>Ulmus Crassifolia</i>	4" cal.	container, 12" ht., 5' spread, 6' clear straight trunk
CM	20	Crape Myrtle	<i>Lagerstroemia indica</i>	4" ht.	container, 4" ht., 4' spread, 3 or 5 caines
LO	35	Live Oak	<i>Quercus virginiana</i>	4" cal.	container, 12" ht., 5' spread, 6' clear straight trunk
RB	31	Redbud	<i>Cercis canadensis</i>	4" ht.	container, 4" ht., 4' spread, straight trunk
RO	31	Red Oak	<i>Quercus rubra</i>	4" cal.	container, 12" ht., 5' spread, 6' clear straight trunk
SHRUBS					
TYPE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DWM	234	Dwarf Wax Myrtle	<i>Myrica pusilla</i>	5 gal.	container, 30" ht., 24" spread
IH	24	Indian Hawthorn	<i>Rhapholepis indica</i>	5 gal.	container, 20" ht., 20" spread
NRS	22	Nellie R Stevens Holly	<i>Ilex x Nellie R. Stevens</i>	7 gal.	container, 36" ht., 30" spread
GROUNDCOVERS					
TYPE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
LIR	220	Liriope	<i>Liriope muscari</i>	4" pots	container full, well rooted
		'419' Bermudagrass	<i>Cynodon dactylon '419'</i>		Solid Sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees are to be measured at Diameter Breast Height (dbh). Trees to have straight trunks and be matching within varieties.

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

- 1.1 REFERENCED DOCUMENTS**
Refer to bidding requirements, special provisions, and schedules for additional requirements.

- 1.2 DESCRIPTION OF WORK**
Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
- Bed preparation and fertilization
- Notification of sources
- Water and Maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition, by American National Standards Institute, Inc. (Z60.1) – plant material.
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards.
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- C. Product Data: Submit complete product data and specifications on all other specified materials.
- D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustans or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
 - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 - Areas to be Hydrotouch Common Bermudagrass: Hydrotouch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation. General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

B. Guarantee:

- Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.
- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
 - Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 - Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 - Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

2.2 SOIL PREPARATION MATERIALS

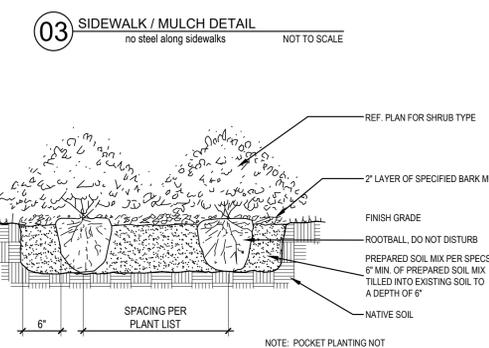
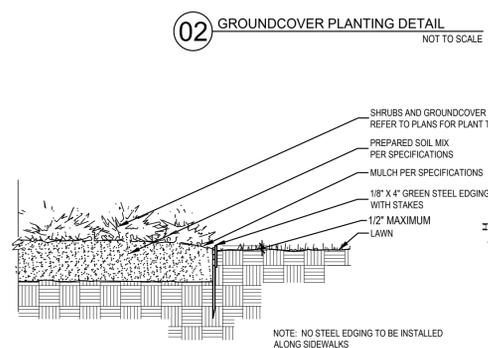
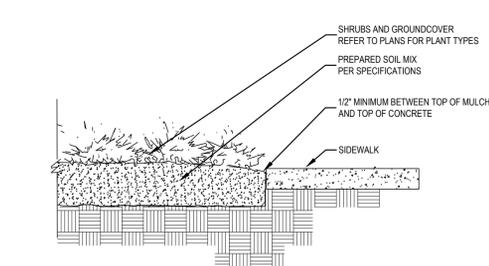
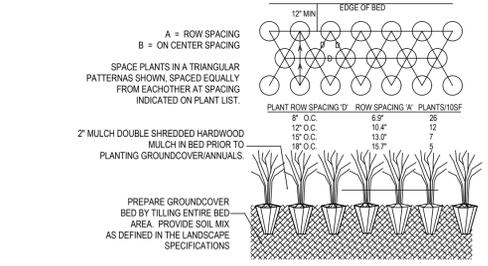
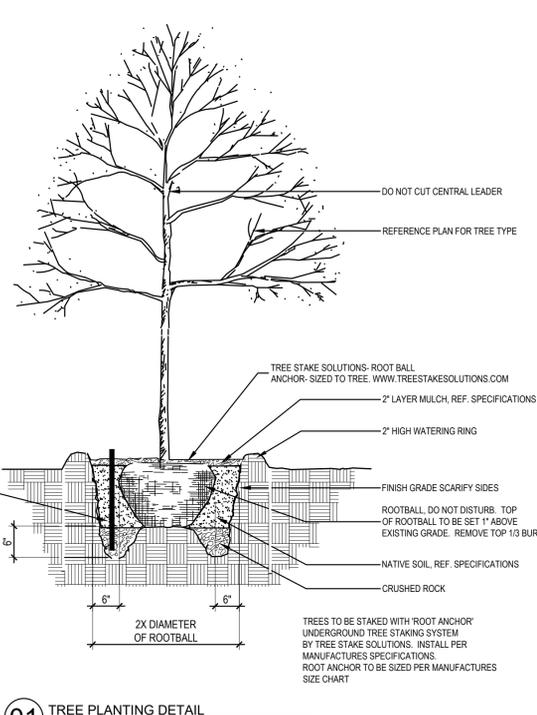
- A. Sandy Loam:
 - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 - Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: FertiLid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
- D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- E. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball. Nomenclature conforms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- B. Staking Material for Shade Trees:
 - Post: Studded T-Post, #1 Armo with anchor plate, 6'-0" length; paint green.
 - Wire: 12 gauge, single strand, galvanized wire.
 - Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- D. Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co. (214) 631-5250 or approved equal.



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR.
SUITE 110
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



02.04.2022

INTEGRATED DEFENSE PRODUCT TM
 LOT 4, BLOCK B
 ROCKWALL TECHNOLOGY PARK
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS

ISSUE:
FOR APPROVAL 02.04.2022

DATE:
02.04.2022

SHEET NAME:
LANDSCAPE SPECIFICATION

SHEET NUMBER:

L.3



02.18.2022

INTEGRATED DEFENSE PRODUCT TM

**LOT 4, BLOCK B
ROCKWALL TECHNOLOGY PARK
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**

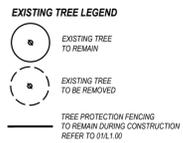
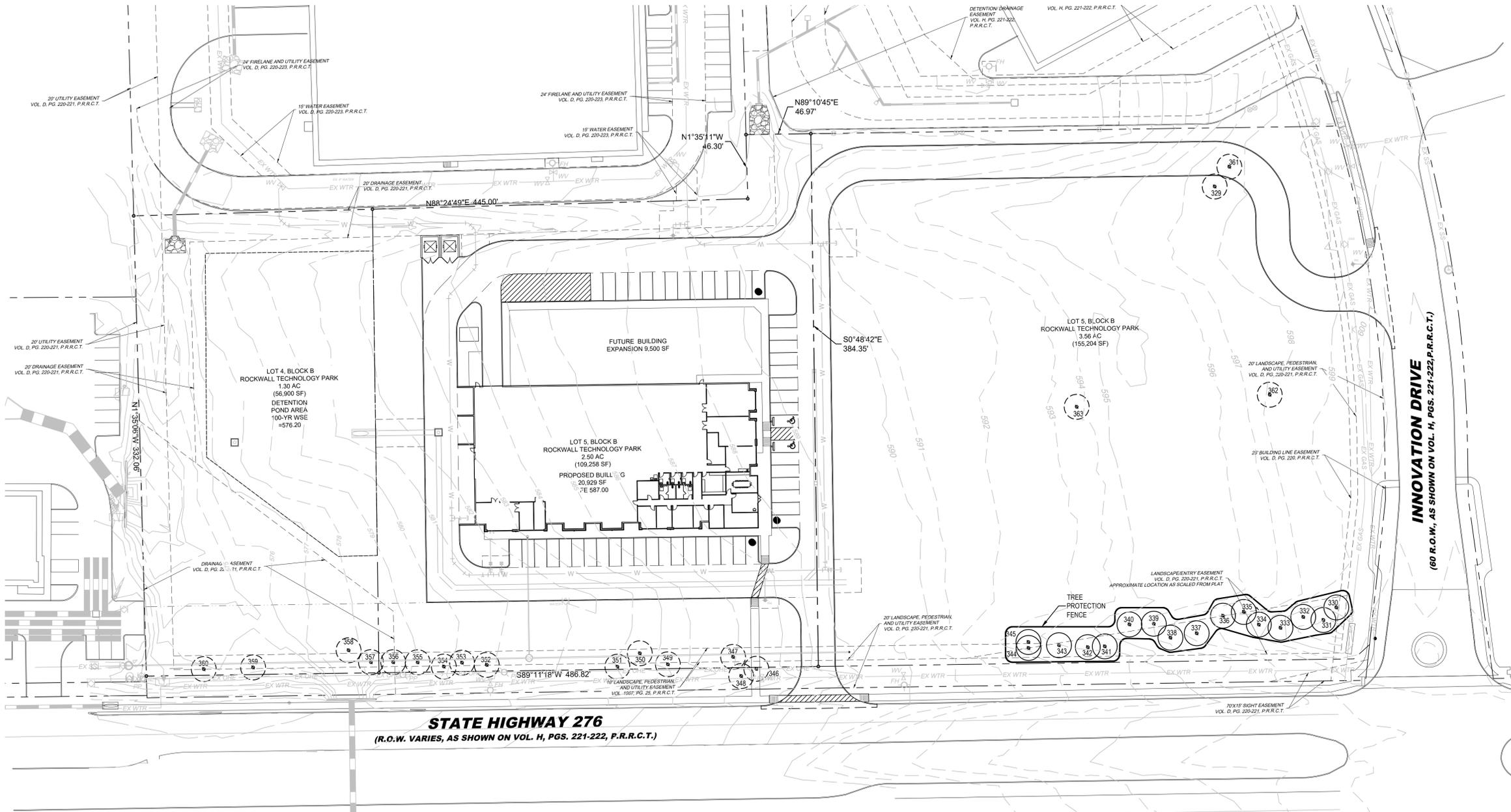
ISSUE:
FOR APPROVAL 02.04.2022
CITY COMMENTS 02.18.2022

DATE:
02.18.2022

SHEET NAME:
TREE PRESERVATION PLAN

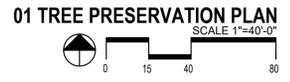
SHEET NUMBER:

L.1



EXISTING TREE NOTES

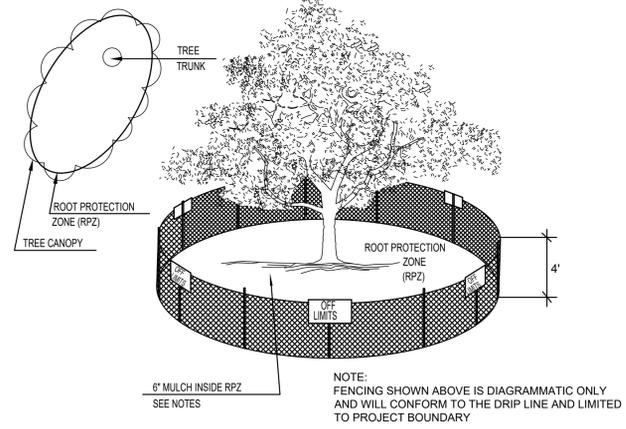
- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be disposed within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.



EXISTING TREES PREVIOUS BUILDING DEVELOPMENT

NO.	DIA. INCHES	SPECIES (COMMON NAME)	REMARKS	MITIGATION REQUIRED
329	11	CEDAR	TO BE REMOVED	11
330	15	CEDAR	TO REMAIN	
331	11	CEDAR	TO REMAIN	
332	14	CEDAR	TO REMAIN	
333	12	CEDAR	TO REMAIN	
334	13	CEDAR	TO REMAIN	
335	12	CEDAR	TO REMAIN	
336	15	CEDAR	TO REMAIN	
337	12	CEDAR	TO REMAIN	
338	14	CEDAR	TO REMAIN	
339	15	CEDAR	TO REMAIN	
340	15	CEDAR	TO REMAIN	
341	22	CEDAR MULTI-TRUCK	TO REMAIN	
342	15	CEDAR	TO REMAIN	
343	18	CEDAR	TO REMAIN	
344	14	CEDAR	TO REMAIN	
345	5	HERCULES CLUB	TO REMAIN	
346	7	OAK	TO BE REMOVED	7
347	6	OAK	TO BE REMOVED	6
348	7	OAK	TO BE REMOVED	7
349	6	OAK	TO BE REMOVED	6
350	5	OAK	TO BE REMOVED	5
351	5	OAK	TO BE REMOVED	5
352	7	OAK	TO BE REMOVED	7
353	8	OAK	TO BE REMOVED	8
354	5	OAK	TO BE REMOVED	5
355	11	OAK	TO BE REMOVED	11
356	9	OAK	TO BE REMOVED	9
357	10	OAK	TO BE REMOVED	10
358	8	OAK	TO BE REMOVED	8
359	9	OAK	TO BE REMOVED	9
360	7	OAK	TO BE REMOVED	7
361	17	CEDAR MULTI-TRUCK	TO BE REMOVED	17
362	13	CEDAR	TO BE REMOVED	13
363	15	CEDAR MULTI-TRUCK	TO BE REMOVED	15

TOTAL MITIGATION REQUIRED: 166 CAL. INCHES
MITIGATION PROVIDED: (42) 4" CALIPER TREES



01 TREE PROTECTION FENCE A
NOT TO SCALE



PROJECT NAME:
ROCKWALL IDP MANUFACTURING

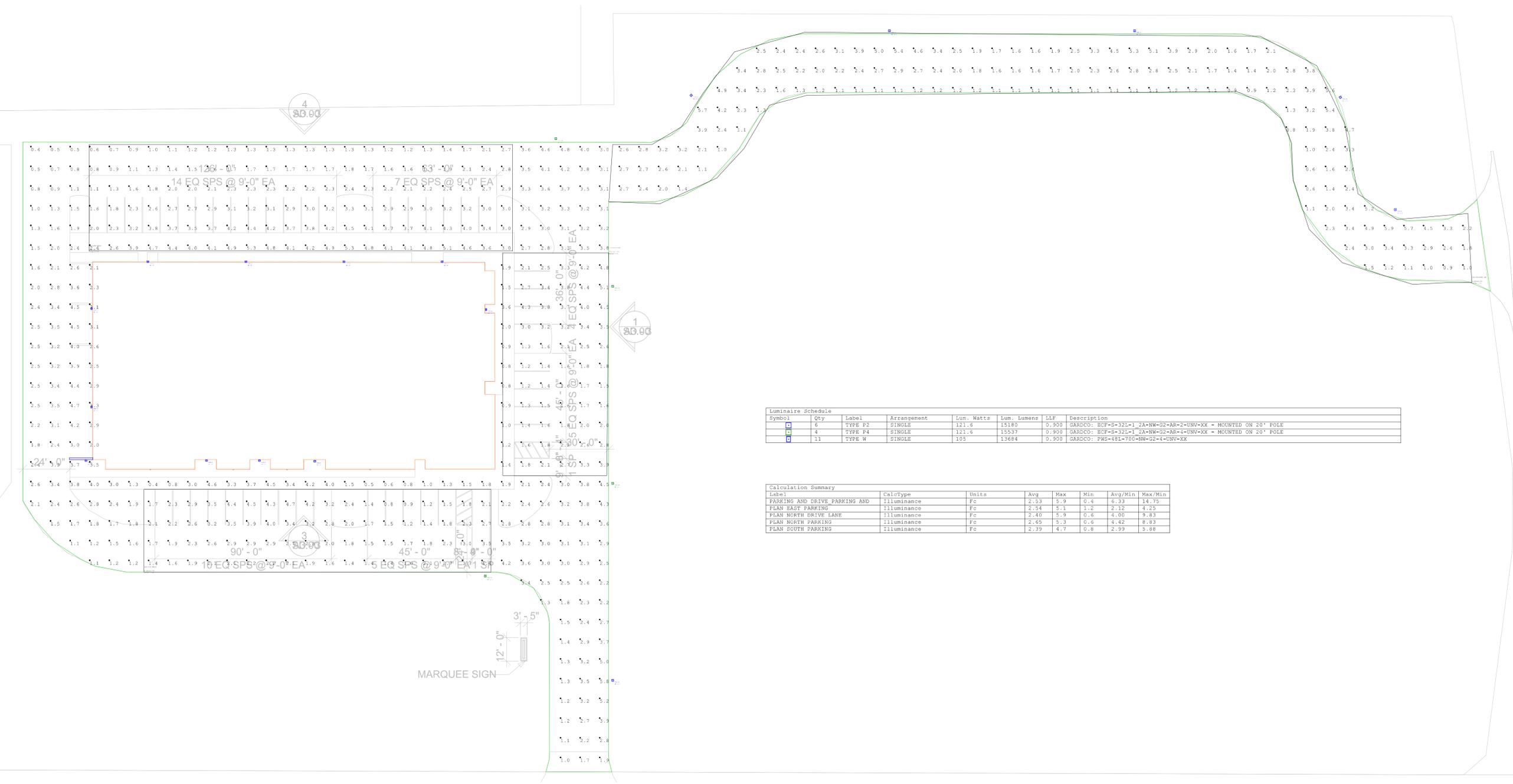
ADDRESS:

NOTES:

ISSUE NAME:

CW1.00

SITE PHOTOMETRICS



Symbol	Qty	Label	Arrangement	Lum. Watts	Lum. Lumens	LLF	Description
[Symbol]	6	TYPE P2	SINGLE	121.6	15180	0.900	GARDCO: BCF-S-32L-1-2A-NW-G2-AR-2-UNW-XX - MOUNTED ON 20' POLE
[Symbol]	4	TYPE P4	SINGLE	121.6	15537	0.900	GARDCO: BCF-S-32L-1-2A-NW-G2-AR-4-UNW-XX - MOUNTED ON 20' POLE
[Symbol]	11	TYPE W	SINGLE	105	13684	0.900	GARDCO: PWS-48L-700-NW-G2-4-UNW-XX

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AND DRIVE PARKING AND	Illuminance	Fc	2.33	5.9	0.4	6.33	14.75
PLAN EAST PARKING	Illuminance	Fc	2.34	5.1	1.2	2.12	4.25
PLAN NORTH DRIVE LANE	Illuminance	Fc	2.40	5.9	0.6	4.00	9.83
PLAN NORTH PARKING	Illuminance	Fc	2.65	5.3	0.6	4.42	8.83
PLAN SOUTH PARKING	Illuminance	Fc	2.39	4.7	0.8	2.93	9.88



Links Construction, LLC | 525 S. Loop 288 Ste. #105 | Denton, TX 76205 | 940-566-5465

February 3, 2022

RE: Site Plan Application Submittal – Variance Request Letter

Per Site Plan Application Submittal Requirements, please see the list below of the architectural variances we are requesting for the Integrated Defense Products TM Project in Rockwall, TX approximately location at HWY 276 and Innovation Drive.

Variances:

1. Tilt Wall Building Type
 - a. Compensatory Measures:
 - i. Compensate Item F) Above and beyond 90% Masonry
 - ii. Compensate Item G) Above and beyond 20% Stone

Thank you for your time and consideration,

Thank you,

Alison Wuget

Design Build Project Manager

Links Construction, LLC

Phone (Office) 940-783-0920

Phone (Direct) 214-680-0583

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: SP2022-006
PROJECT NAME: Amended Site Plan for Pollo Regio
SITE ADDRESS/LOCATIONS: 726 E INTERSTATE 30, ROCKWALL, 75087

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/25/2022	Approved w/ Comments

02/25/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Restaurant with 2,000 SF or More with Drive-Through or Drive-In (i.e. Pollo Regio) on a 1.03-acre parcel of land identified as Lot 1, block A, Grandy's Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 726 E. IH-30.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com. March 7, 2022 is the deadline to have all comments; please provide staff revised plans before March 7, 2022 to ensure all comments are addressed.

M.3 For reference, include the case number (SP2022-006) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Identify the owner and developer (Subsection 03.04.A, of Article 11).

M.5 Provide a vicinity map as well as a numeric/graphic scale. (Subsection 03.04.A, pf Article 11)

M.6 Provide the City standard Site Plan Signature Block on all sheets of the plans. Also remove the placeholder text (i.e. [Day] [Month] [Year]).

I.7 All signage will be covered in a separate permit, so please remove the company branding/signage from the elevations. (Subsection 06.02.F, of Article 05)

M.8 Provide a physical material sample board that has samples of the materials being proposed for the building. (Subsection 03.04.A, pf Article 11)

M.9 Please provide a site plan that is separate from the landscape plan provided. (Subsection 03.04.A, pf Article 11)

M.10 Site Plan:

(1) Provide the total lot area in acres and square feet. (Subsection 03.04. B, of Article 11)

(2) Provide the square footage of the building (Subsection 03.04. B, of Article 11)

(3) Label the adjacent street name. (Subsection 03.04. B, of Article 11)

(4) Consider merging the parking and landscape/site plans. They contain mostly the same information and would make it easier to view all of the information. (Subsection 03.04, of Article 11)

(5) Indicate the dimension of a typical parking space. (Subsection 05.03, of Article 06)

(6) Indicate any existing or new fencing on the subject property. Currently on site there is fencing on the rear of the building to screen equipment that would need to be removed and replaced with new screening that meets the Unified Development Code (UDC). (Subsection 08.02. F, of Article 05)

(7) Will there be any pad mounted equipment? If so indicate the subsequent screening (Subsection 01.05. C, of Article 05)

(8) Cross hatch any roof mounted equipment on the elevations to ensure they are screened properly. (Subsection 01.05. C, of Article 05)

(9) The dumpster enclosure will need to be updated to match the materials being proposed on the primary building. The gate will also need to be replaced with a self-latching gate. Provide a detail of the dumpster enclosure to ensure conformance. (Subsection 01.05. B, of Article 05)

M.11 Landscape Plan:

- (1) Provide the site data required in section 2.1 of the site plan check list: Miscellaneous and density and dimensional Requirements. (See Section 2.1)
- (2) Indicate the pervious vs. impervious cover. (Subsection 01.01. B, of Article 05)
- (3) Provide a landscape table that indicates the size and species of the landscaping on site. This table should be reflected on the plan itself. (Subsection 05.03. B, of Article 08)
- (4) Indicate the existing landscape buffers. (Subsection 05.01, of Article 08)
- (5) All parking spaces shall be located within 80-feet of a canopy tree. The east row of parking does not meet this requirement and a parking island will need to be constructed. (Subsection 05.03. E, of Article 08)
- (6) Provide a note that all irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08)

M.12 Photometric Plan:

- (1) If any new lighting is being added or any light fixtures are being replaced on the subject property, a photometric plan will need to be provided, along with cutsheets. (Subsection 03.03, of Article 07)

M.13 Building Elevations:

- (1) Provide the material percentages for all materials on the building. (Subsection 06.02. C, of Article 05)
- (2) Stucco cannot be utilized on more than 45% on each façade. (Subsection 06.02. C, of Article 05)
- (3) The use of 90% masonry material is required. (Subsection 06.02. C, of Article 05)
- (4) The use of 20% natural or quarried stone must be used on each façade. (Subsection 06.02. C, of Article 05)
- (5) All commercial buildings under 6,000 SF must have a pitched roof. This requirement is met on site currently, however you are requesting to utilize a parapet and bring the building out of conformance. (Subsection 02.03. C. 2, of Article 05)
- (6) The parapet must be finished on both sides. Provide a note indicating this. (Subsection 04.01, of Article 05)
- (7) The vertical elements on the building that will be used for signage may not be thin projecting elements. These elements must extend back towards the building to make them appear as they are part of the building and not a wall; parapets must be used in a fashion to create an enclosed system on all sides. (Subsection 04.01. A. 1, of Article 05)

M.14 Currently the building elevations are in conformance with the Overlay District Standards (Subsection 06.02, of Article 05), however the proposed request would bring the building elevations out of conformance in the following ways:

- (1) Less than 20% natural or quarried stone on each façade
- (2) Greater than 45% stucco on each façade
- (3) Parapet roof

For each of these non-conformities, a variance would be requested. That being said for each variance requested the UDC requires two (2) offsetting compensatory measures for each variance. In this case, with just the elevations that would be 6 compensatory measures. Examples of compensatory measures include: increased landscaping, undergrounding power lines, increased building articulation, increased use of stone, etc. That being said with the existing building conforming to the Overlay District Standards it would be an uphill battle with the Architectural Review Board (ARB) and the Planning and Zoning Commission for approval of the current proposed building. Please work with staff to address these comments.

I.15 Please note that failure to address all comments provided by staff by 3:00 PM on March 7, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.16 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning & Zoning Meeting.

I.17 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on February 28, 2022.

2) Planning & Zoning meeting/public hearing meeting will be held on March 15, 2022.

I.18 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

- 02/24/2022: - Dumpster area to drain to an oil/water separator and then to the storm line.
- Show and label the 24' existing fire lane.
 - Show 20' utility easement and 14" water line easement along IH 30.
 - Make sure all parking is 20'x9'
 - No trees within 10' of sewer line and 16' water lines along IH-30
 - Need to show and label all existing water, sewer, and storm lines
 - Need to show and label all existing easements
 - Drive aisles are a min. 24' wide including fire lane
 - Ex. sign will need to be moved out of the easement if the sign is being changed (except for the face of the sign)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

- 02/22/2022: 1. All existing landscape must be in good health to count towards landscape requirements
 2. All parking spaces must be within 80' of a tree

This isn't a dedicated fire lane

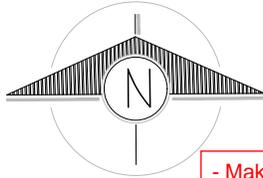
Must add an oil/water separator to dumpster area to drain to storm system

Show and label ex. 24' fire lane

Show 20' utility easement and 14' water line easement along IH-30



REFERENCE MAP



- Make sure all parking is 20'x9'
- No trees within 10' of sewer line and 16' water lines along IH-30
- Need to show and label all existing water, sewer, and storm lines
- Need to show and label all existing easements and storm lines
- Drive aisle are a min. 24' wide including fire lane
- Ex. sign will need to be moved out of the easement is the sign is being changed (except for the face of the sign)

LEGAL DESCRIPTION:

REP
BLK Z LOT ZK ACS 3.0080

SQUARE FOOTAGE

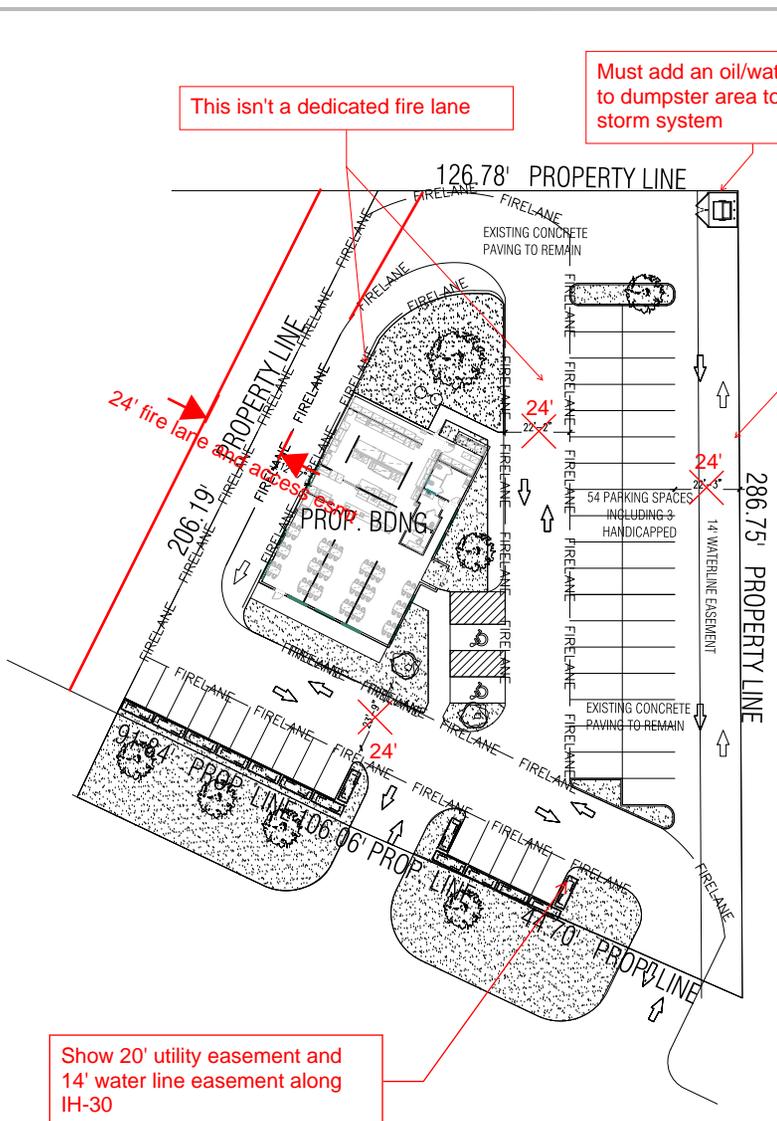
EXG.BUILDING 2,478 SQ FT
EXG.METAL BUILDING 578 SQ FT
PROP.AREA 3,900 SQ FT

TOTAL COVERAGE 6,956 SQ FT
LOT SIZE 124.966 SQ FT
TOTAL COVERAGE 05 %

SQUARE FOOTAGE	
RESTAURANT	3,956 S.F.
TOTAL:	3,956 S.F.
LOT SIZE	43,290 S.F.
% OF LOT	09 %

PARKING ANALYSIS

BUILDING/TENANT	SQUARE FOOTAGE	APPL. RATIO	USE	PARKING REQUIRED
WAREHOUSE	3,956	1,000	RESTAURANT	39
PARKING REQUIRED				39
PARKING PROVIDED				54



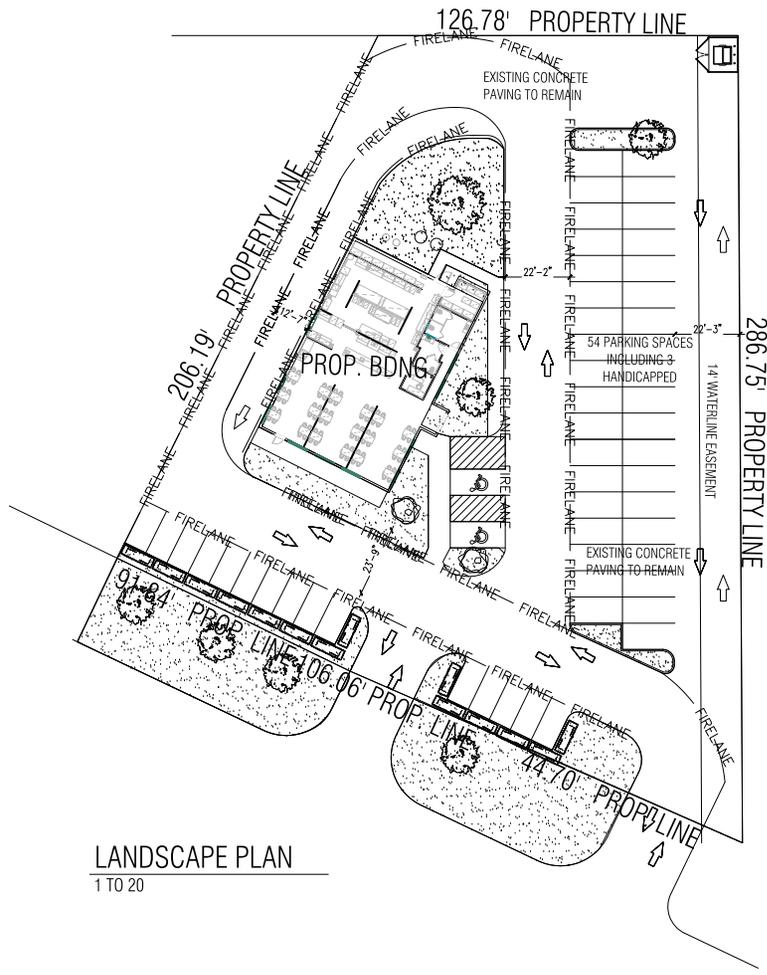
CREATIVODESIGNS
602 SRL THORNTON FWY SUITE B
DALLAS, TEXAS 75203
214.884.8168 214.886.2866
cs@creativodesignsusa.com

ADDRESS: 726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087
SCOPE OF WORK: REMODEL
DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021

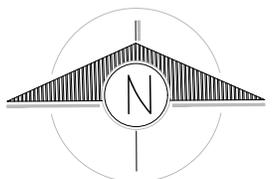
726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

SCALE: 1 TO 20
DATE: 02/11/2022
SQ FT: 3,956
TYPE: SITE PLAN

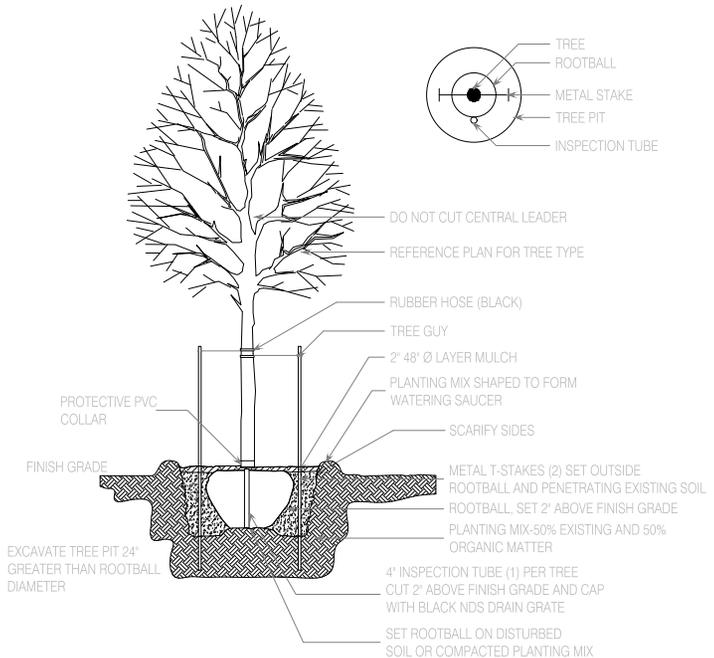
DRAWING No. 1 OF 12
DRAWN: EACB



LANDSCAPE PLAN
1 TO 20



ELEMENT	QTY.
EXISTING ACCENT TREE, 8 FT TALL	2
EXISTING CANOPY TREE, 10 FT DRIP LINE	7
EXISTING CONTINUOUS 10FT L, 2FT D, 2 FT TALL SHRUB	14
GRASS COVERED GROUND SURFACE	100 % COV.



CREATIVODESIGNS
602 SRL THORNTON FWY SUITE B
DALLAS, TEXAS 75203
214.884.8168 214.886.2866
cs@creativodesignsusa.com

ADDRESS:
726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087
SCOPE OF WORK:
REMODEL

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

SCALE: 1 TO 20
DATE: 02/11/2022
SQ.FT: 3,956
TYPE: LANDSCAPE

DRAWING No.
1A OF 12
DRAWN: EACB

DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2022-006

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **726 E Interstate 30 Rockwall, TX 75087**

SUBDIVISION **Grandy's Addition**

LOT **1** BLOCK **A**

GENERAL LOCATION **IH30 Overlay**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial**

CURRENT USE **Fast food restaurant**

PROPOSED ZONING **Commercial**

PROPOSED USE **Fast food restaurant**

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Hector Rodriguez**

APPLICANT **Creativo Designs**

CONTACT PERSON **Hector Rodriguez**

CONTACT PERSON **Luis Chico**

ADDRESS **1185 108th St**

ADDRESS **602 SRL Thornton fwy suite B**

CITY, STATE & ZIP **Grand Prairie, Tx 75050**

CITY, STATE & ZIP **Dallas, tx 75203**

PHONE **469-506-0865**

PHONE **214-884-8168**

E-MAIL

E-MAIL **cs@creativodesignsusa.com**

NOTARY VERIFICATION [REQUIRED]

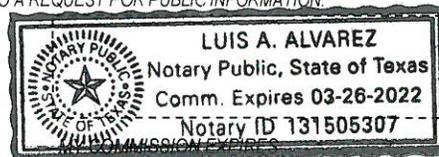
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Hector Rodriguez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

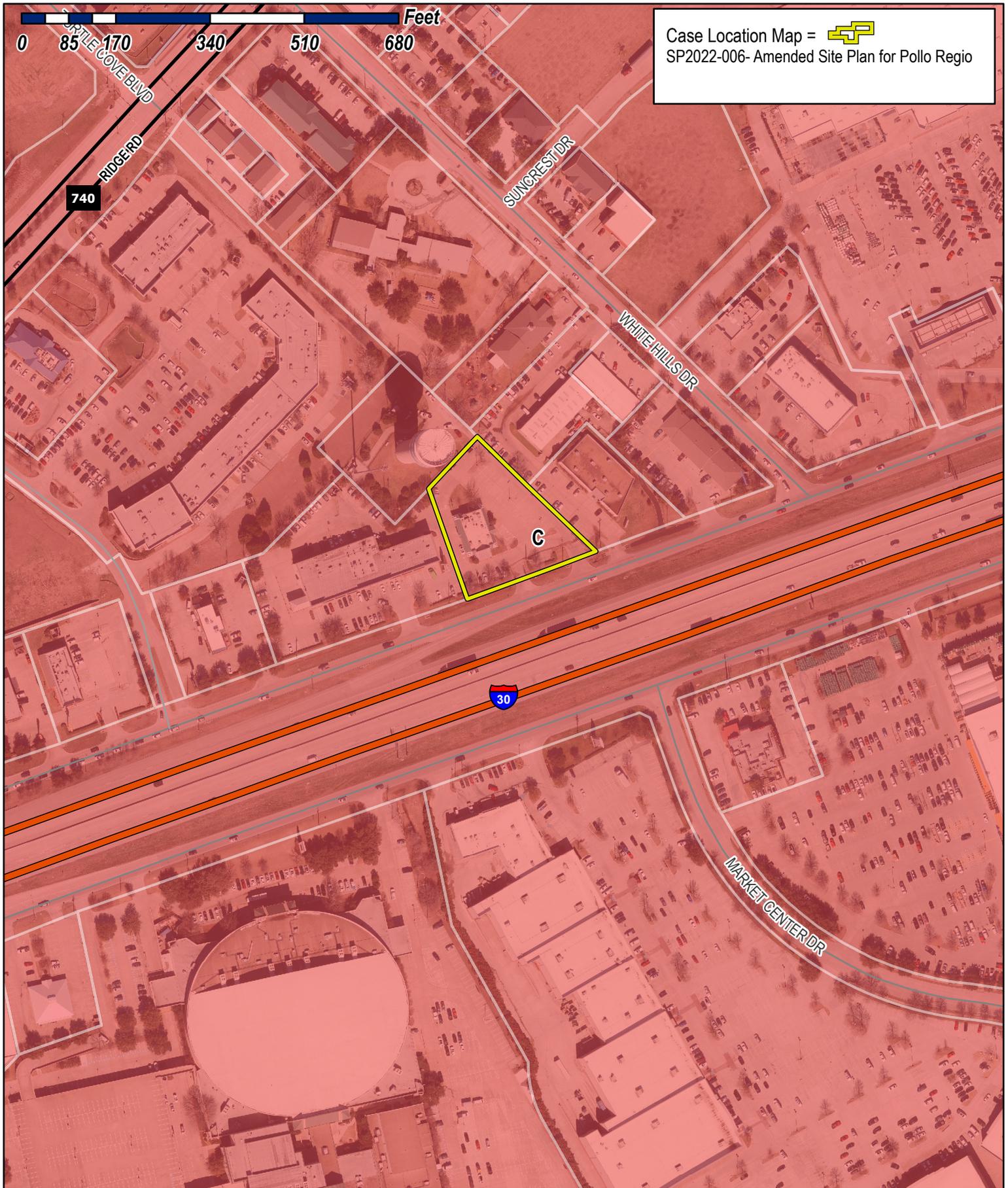
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF February, 2022 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF February, 2022

OWNER'S SIGNATURE Hector Rodriguez

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Luis A. Alvarez





Case Location Map = 
 SP2022-006- Amended Site Plan for Pollo Regio



City of Rockwall

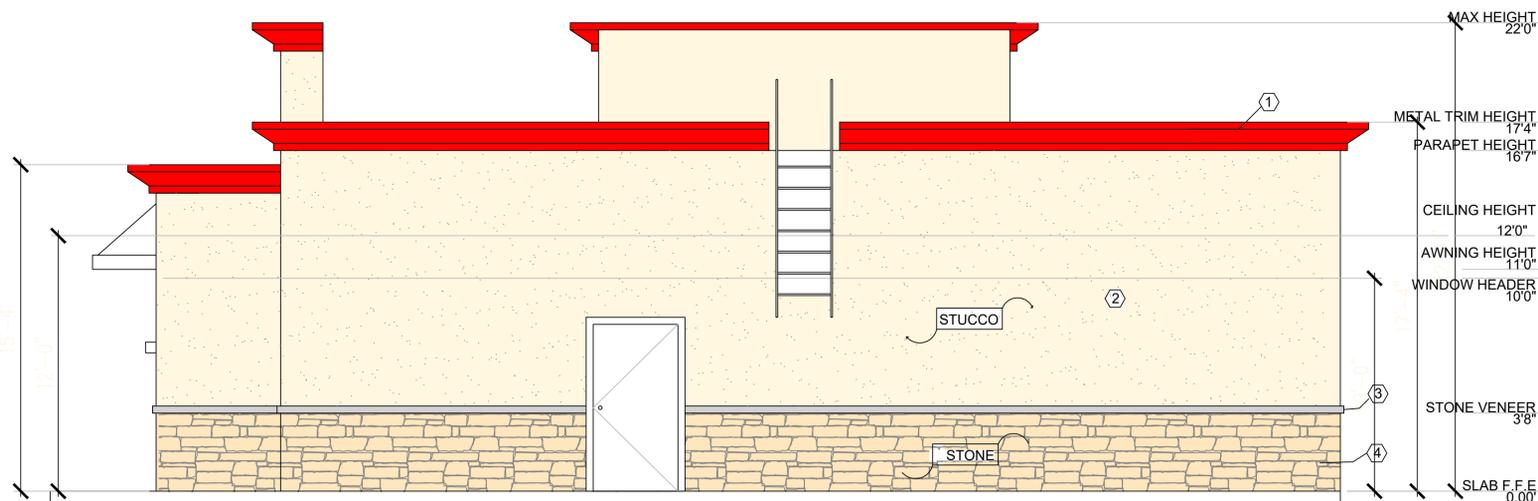
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





FRONT ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



REAR ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"

① EXTERIOR TRIM AROUND BUILDING SW 6868 REAL RED

② EXTERIOR WALLS (ABOVE STUCCO BAND/STONE OR GRAY PAINT),

③ OUTSIDE TRIM MOLDINGS, SW 7017 DORIAN GRAY

④ EXTERIOR STONE

SW 6868 REAL RED
Sherwin-Williams Color

sR = 200.663
sG = 66.999
sB = 73.620

#C9474E

SW 6126 NAVAJO WHITE
Sherwin-Williams Color

sR = 233.166
sG = 222.635
sB = 200.668

#E9DFC9

SW 7017 DORIAN GRAY
Sherwin-Williams Color

sR = 172.588
sG = 169.664
sB = 161.194

#AEABA3



6126 NAVAJO WHITE

PRO-FIT LEDGESTONE



CREATIVODESIGNS
602 SRL THORNTON FWY SUITE B
DALLAS, TEXAS 75203
214.884.8168 214.886.2866
cs@creativodesignsusa.com

ADDRESS:

SCOPE OF WORK:

DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

SCALE: N.T.S

DATE: 02/11/2022

SQ FT: 3,956

TYPE: ADA

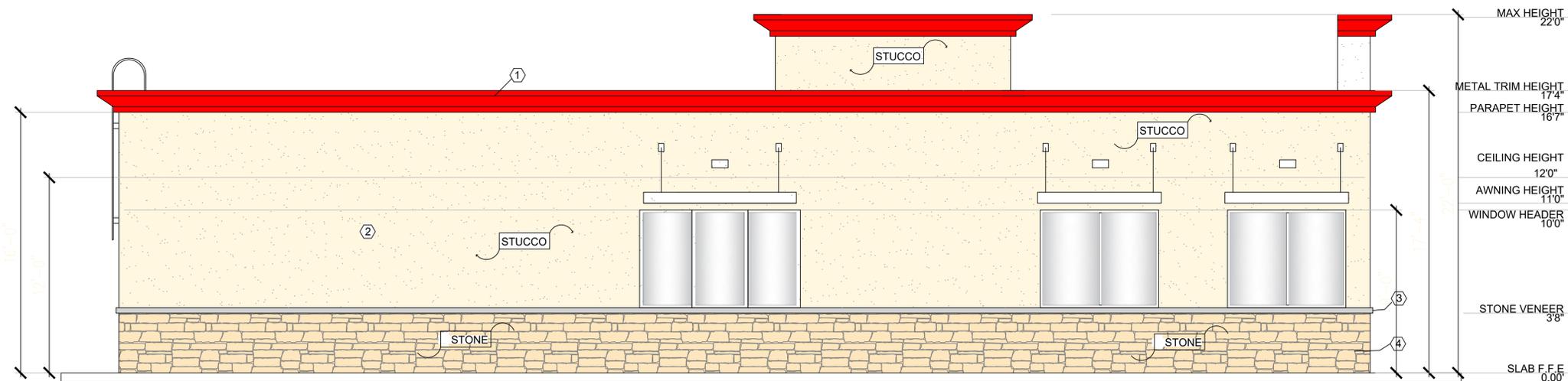
DRAWING No.

12 OF 12

DRAWN: EACB



RIGHT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



LEFT ELEVATION (WEST)
SCALE: 1/4" = 1'-0"



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REMODEL

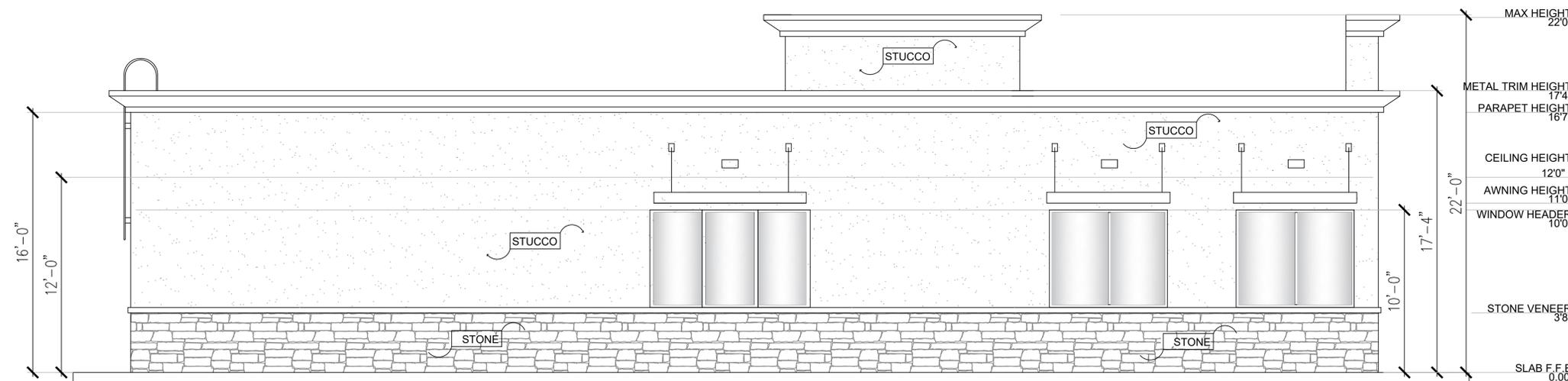
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SCALE: 1/4" = 1'-0"
DATE: 02/11/2022
SQ FT: 3,956
TYPE: ADA

DRAWING No.
11 OF 12
DRAWN: EACB



RIGHT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



LEFT ELEVATION (WEST)
SCALE: 1/4" = 1'-0"



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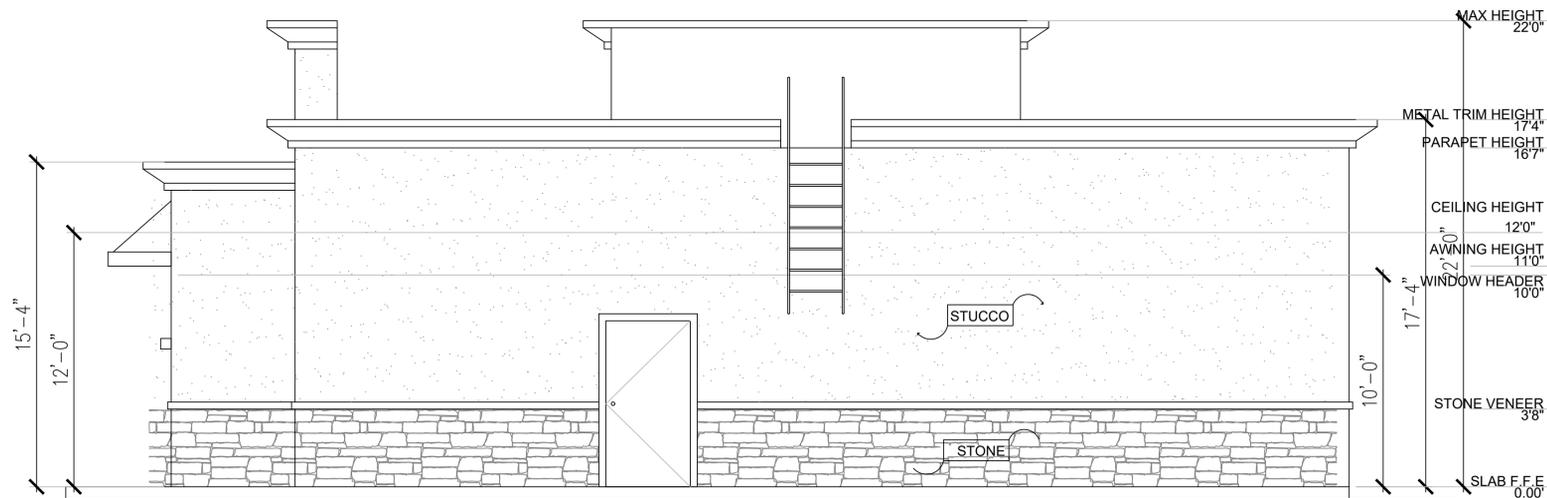
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SCALE: 1/4" = 1'-0"
DATE: 02/11/2022
SQ FT: 3,956
TYPE: ADA

DRAWING No.
11 OF 12
DRAWN: EACB



FRONT ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



REAR ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



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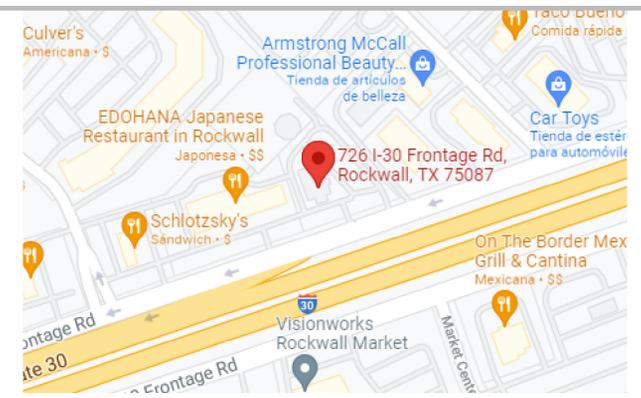
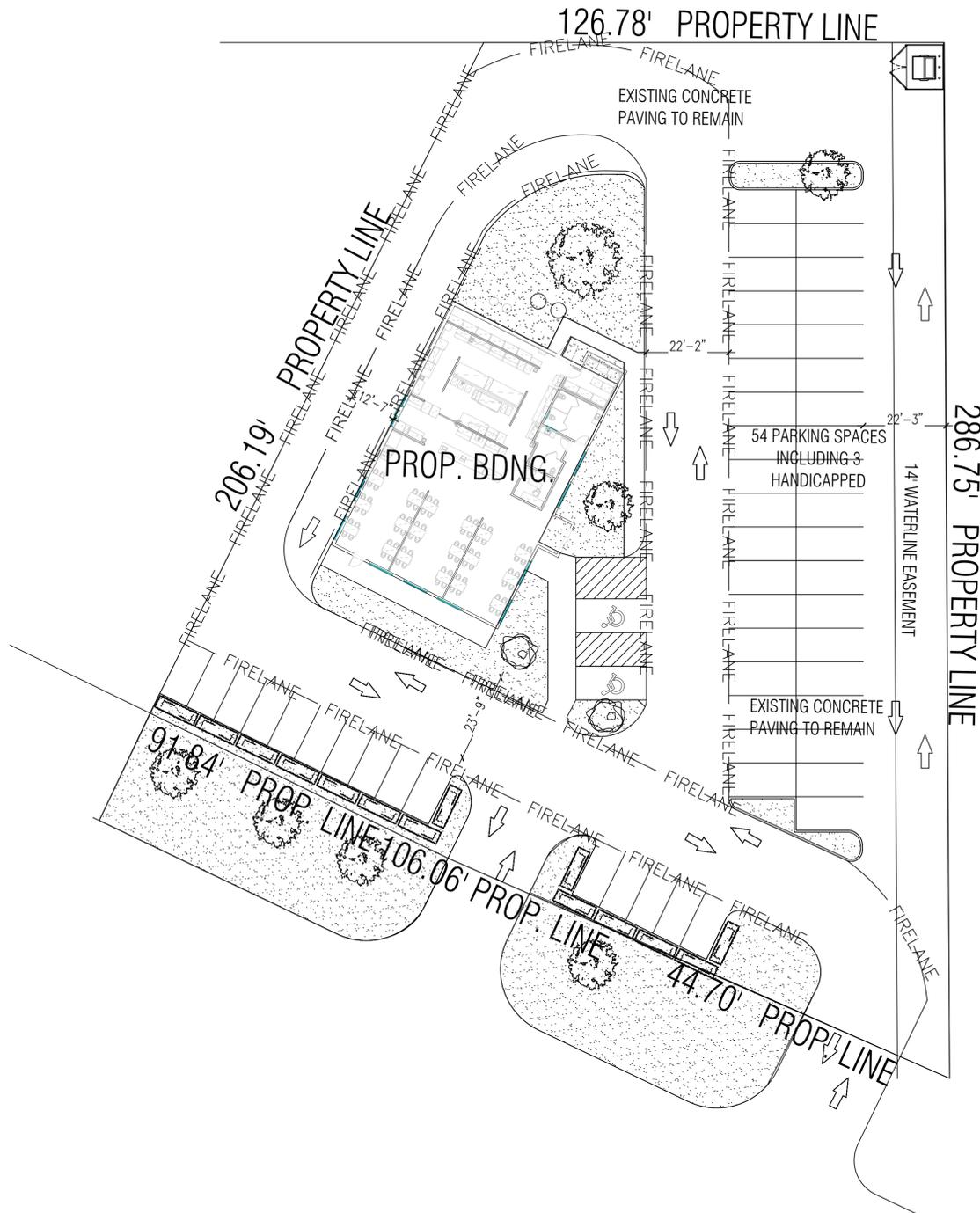
ADDRESS:
SCOPE OF WORK:

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087
REMODEL

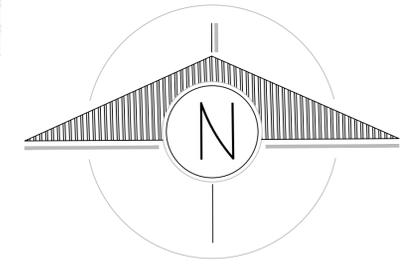
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SCALE: N.T.S.
DATE: 02/11/2022
SQ FT: 3,956
TYPE: ADA

DRAWING No.
12 OF 12
DRAWN: EACB



REFERENCE MAP



LEGAL DESCRIPTION:

TALLEY TOWN REP
BLK 2 LOT 2R ACS 3.0080

SQUARE FOOTAGE

EXG.BUILDING 2,478 SQ FT
EXG.METAL BUILDING 578 SQ FT
PROP.AREA 3,900 SQ FT

TOTAL COVERAGE 6,956 SQ FT
LOT SIZE 124.966 SQ FT
TOTAL COVERAGE 05 %

SQUARE FOOTAGE	
RESTAURANT	3,956 S.F.
TOTAL:	3,956 S.F.
LOT SIZE	43,290 S.F.
% OF LOT	09 %

PARKING ANALYSIS

BUILDING/TENANT	SQUARE FOOTAGE	APPL. RATIO	USE	PARKING REQUIRED
WAREHOUSE	3,956	1,000	RESTAURANT	39
PARKING REQUIRED				39
PARKING PROVIDED				54



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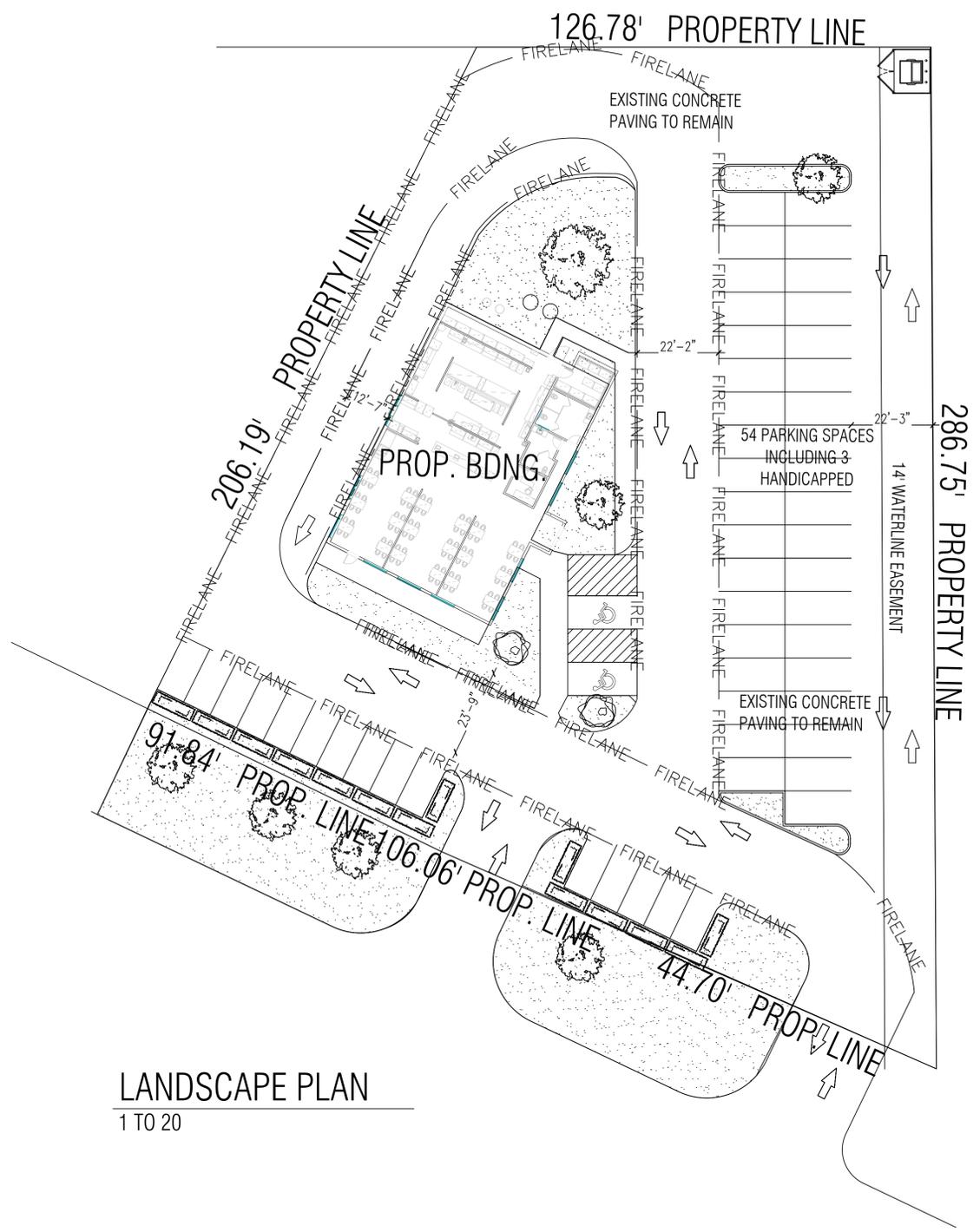
ADDRESS:
SCOPE OF WORK:

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REMODEL

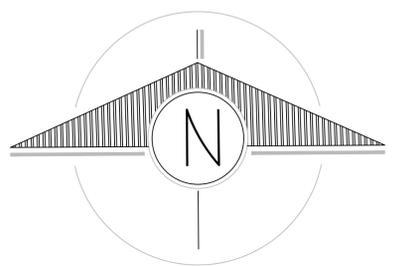
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SCALE: 1 TO 20
DATE: 02/11/2022
SQ FT: 3,956
TYPE: SITE PLAN

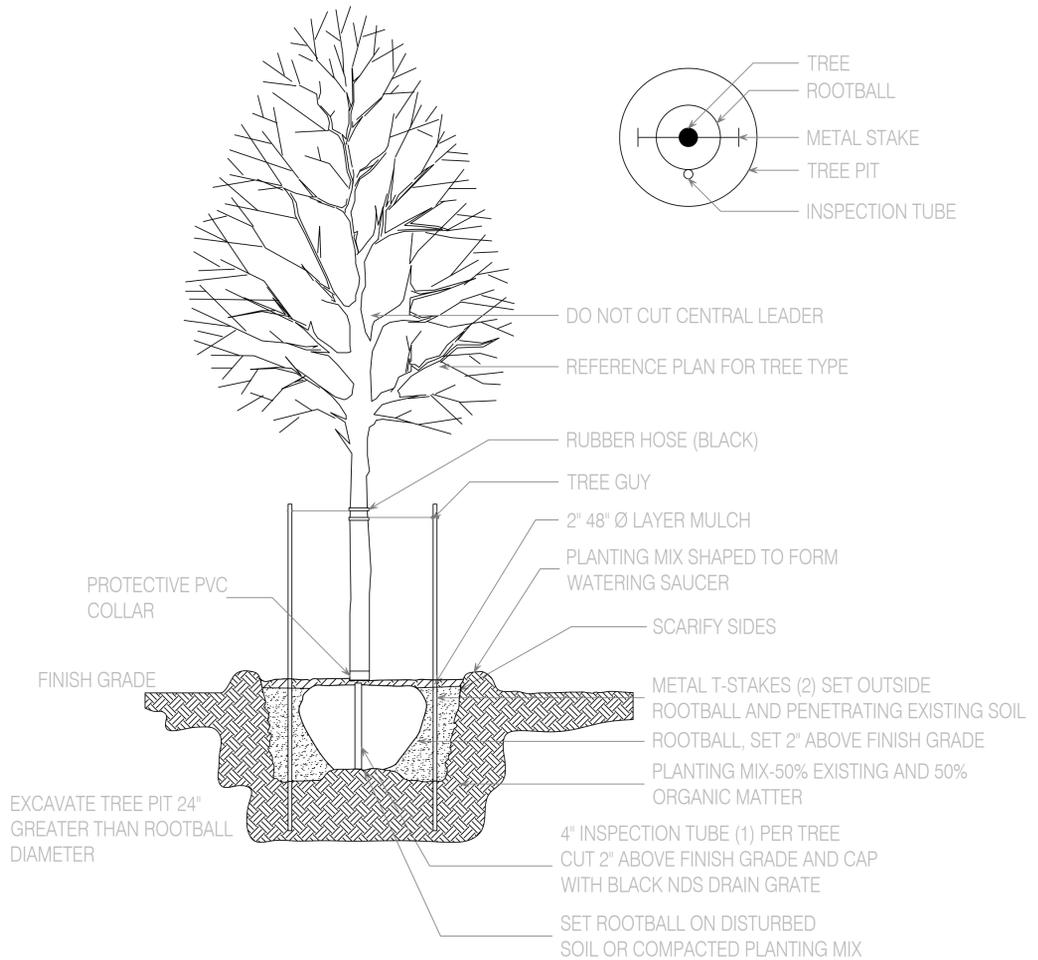
DRAWING No.
1 OF 12
DRAWN: EACB



LANDSCAPE PLAN
1 TO 20



ELEMENT	QTY.
EXISTING ACCENT TREE, 8 FT TALL	2
EXISTING CANOPY TREE, 10 FT DRIP LINE	7
EXISTING CONTINUOUS 10FT L, 2FT D, 2 FT TALL SHRUB	14
GRASS COVERED GROUND SURFACE	100 % COV.



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726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087
REMODEL

SCALE: 1 TO 20
DATE: 02/11/2022
SQ FT: 3,956
TYPE: LANDSCAPE

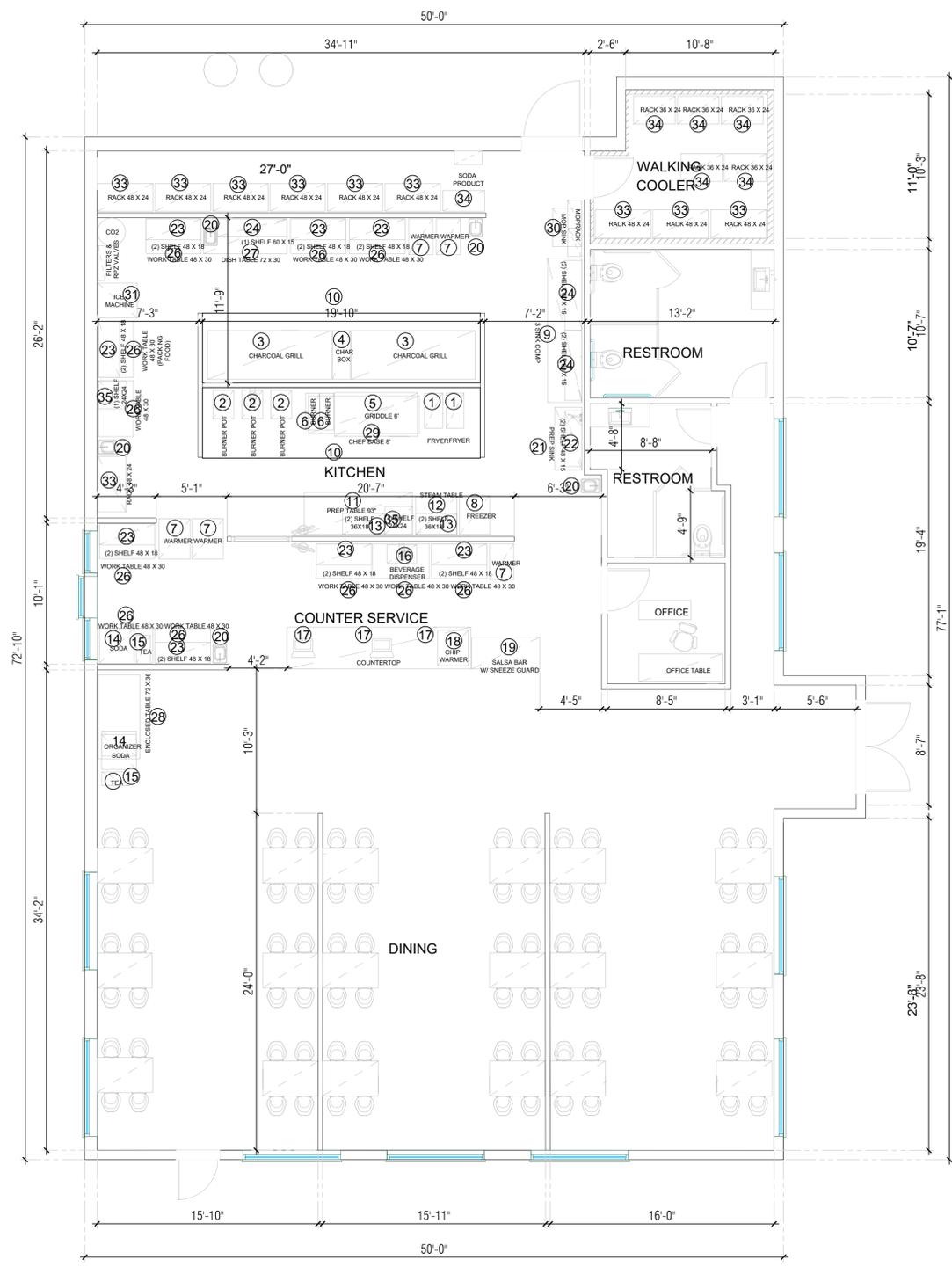
DRAWING No.
1A OF 12
DRAWN: EACB

KITCHEN EQUIPEMENT

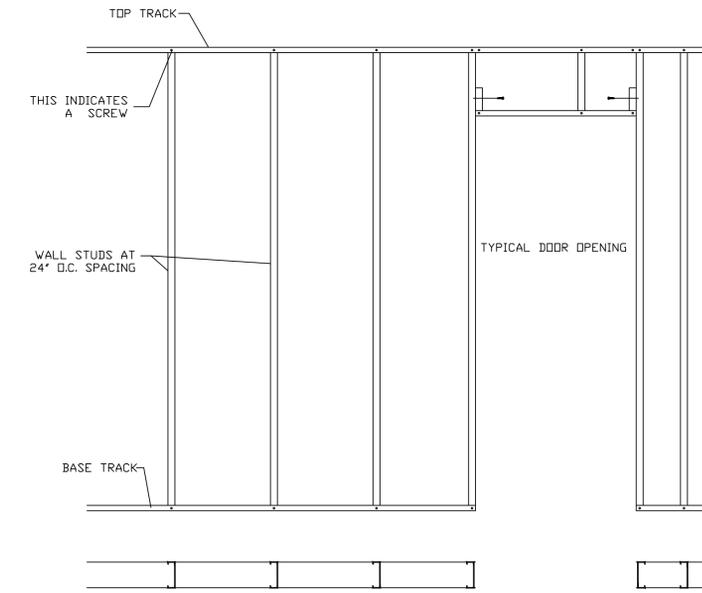
No.	DESCRIPTION	QTY.
1	LIQUID PROPANE 50 LB STAINLESS FLOOR FRYER	2
2	COOKING, BURNER POT GAS COUNTERTOP RANGE/ HOT PLATE	3
3	CHARCOIL GRILL	2
4	CHARCOIL BOX	1
5	STAINLESS STEEL GRIDDLE 6'	1
6	STAINLESS HOT PLATE BURNER	1
7	FULL HEIGHT NON-INSULATED MOBILE HEATED CABINET W/ (18)	5
8	SOLID DOOR REACH-IN REFRIGERATOR	1
9	STAINLESS STEEL THREE COMPARTMENT COMMERCIAL SINK, NO DRAINBOARDS.	1
10	COMMERCIAL KITCHEN HOOD, 20'X4'10"	2
11	93" PREPARATION STAINLESS STEEL	1
12	STEAM TABLE, TWO OPEN WELLS	1
13	36X18" STAINLESS STEEL WALL MOUNTED SHELVES	2
14	SODA FOUNTAIN	2
15	5 GAL TEA DISPENSER	2
16	3 TANKS COMMERCIAL COOLING BEVERAGE DISPENSER	1
17	POINTS OF SALE	3
18	TOP LOAD CHIP WARMER W/ 26 GALLON CAPACITY - STAINLESS	1
19	STAINLESS STEEL BUFFET REFRIGERATED BUFFET DISPLAY TABLE W/ SNEEZE GUARD.	1
20	HAND STAINLESS STEEL COMMERCIAL SINGLE SINK	5
21	PREPARATION STAINLESS STEEL SINGLE SINK	1
22	48X15" STAINLESS STEEL WALL MOUNTED SHELVES	1
23	48X18" STAINLESS STEEL WALL MOUNTED SHELVES	8
24	60X15" STAINLESS STEEL WALL MOUNTED SHELVES	3
26	48X30" PREPARATION STAINLESS STEEL	8
27	72X30" PREPARATION STAINLESS STEEL	1
28	72X36" PREPARATION STAINLESS STEEL	1
29	STAINLESS STEEL CHEF BASE 8'	1
30	MOP SINK FLOOR MOUNTED	1
31	ICE MAKER	1
32	SODA PRODUCT RACK	1
33	48X24" RACK	9
34	36X24" RACK	5
35	24X24" STAINLESS STEEL WALL MOUNTED SHELVES	2

(NO WASHABLE PLATES WILL BE USE, ONLY DISPOSABLE FOAM PLATES/CONTAINERS).

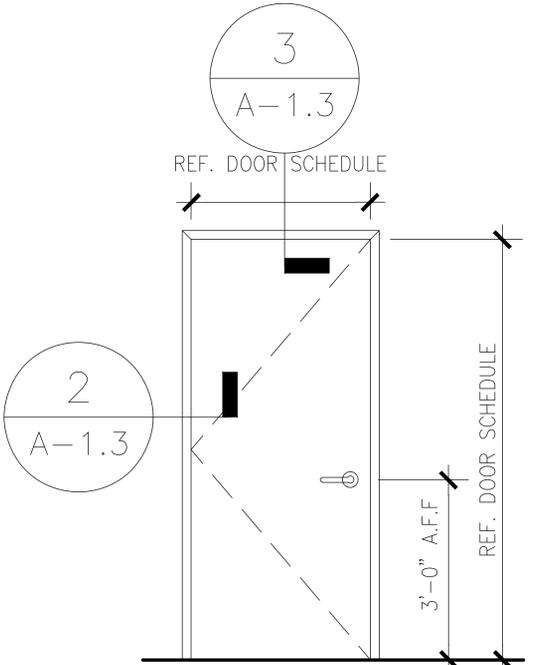
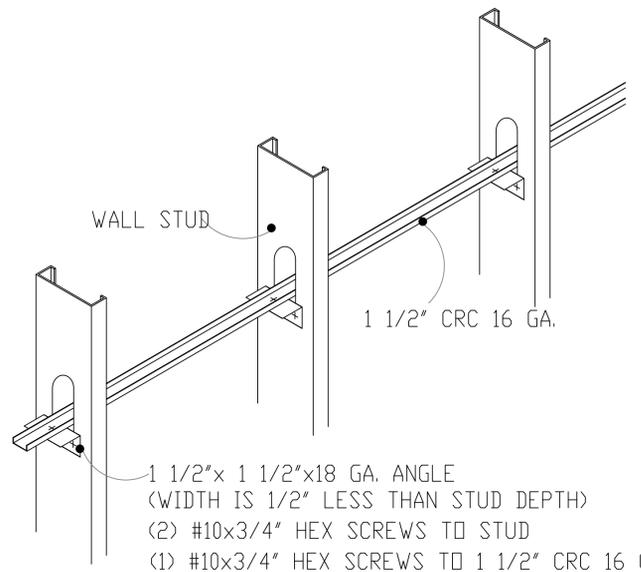
NOTES:
FOR STUD HEIGHTS 10'-0" AND LESS, INSTALL CRC AT MID HEIGHT STUD WALL TO CONC. ATTACHMENT
FOR STUD HEIGHTS GREATER THAN 10'-0" INSTALL AT THIRD POINT N.T.S.



PROP. FLOOR PLAN
SCALE: 3/16"=1'-0"

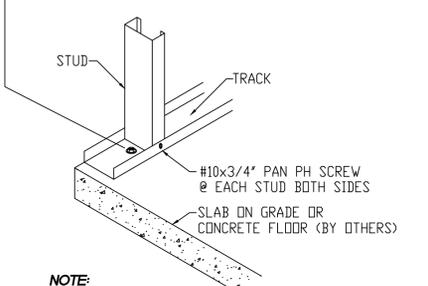


• WALL STUDS SPACING @ 24" O.C.
• USE #6 X 7/16" SHARP POINT SCREWS FOR ALL CONNECTIO



B NEW INTERIOR NON-RATED SOLID WOOD DOOR

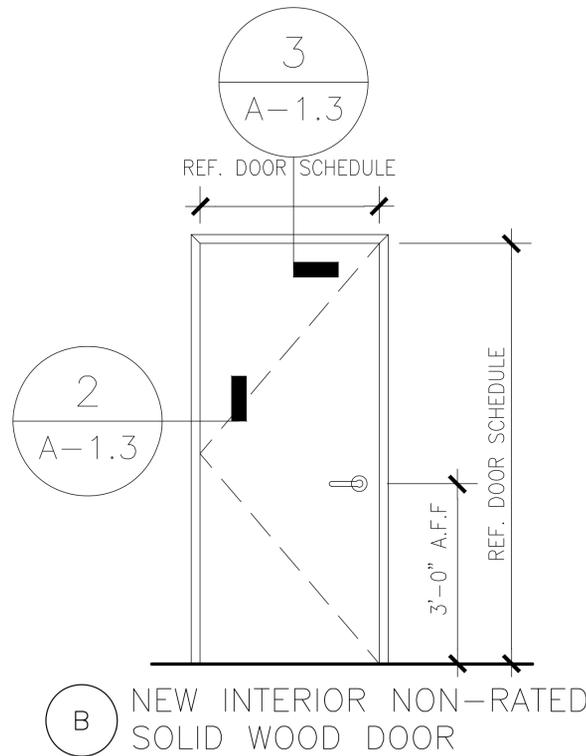
- CONCRETE ATTACHMENT
- 1/2" HILTI KWIK BOLT II WITH WASHER (OR APPROVED EQUAL) MINIMUM EMBED DEPTH OF 3 1/2", @ 6'-0" O.C. (BY OTHERS)
- .145" PAF PIN W/WASHER W/ 1" MIN. PENETRATION (BY OTHERS)
 - 1'-0" O.C. LOAD BEARING WALLS
 - 2'-0" O.C. NON-LOAD BEARING WALLS





PROP. FLOOR PLAN
SCALE: 3/16"=1'-0"

ROOM FINISH LEGEND					
ROOMS	FLOORS	#	BASE	WALLS	CEILING
DINING AREA	CONCRETE (W/SEALANT)	1	RUBBER COVE BASE	PAINTED GYP. BOARD	CEILING TILES
KITCHEN/SERVICE AREA	6X6" QUARRY TILE	2	TILE COVE BASE	STAINLESS STEEL	VINYL CLADDED
RESTROOM	6X6" QUARRY TILE	3	TILE COVE BASE	STAINLESS STEEL	CEILING TILES
WALKING COOLER	CONCRETE	4		CUSTOM WALL PANEL	GYP. CEILING



FINISH LEGEND

- CONC: CONCRETE FLOORING SEALED
- TL-2: QUARRY TILE

PRODUCT DATA SHEET

Product Description: Panic exit device for 20" to 42" wide doors. UL10C fire rated, ANSI A156.3 Grade 1, Non-handed. Rail and push pad are fabricated from heavy gauge stainless steel with a US320 brushed stainless steel finish. Trim available in the following functions: classroom, store room, passage and dummy. Device and trim for 161 standard cut out. Mounting hardware and 250 strike included. ADA compliant.

Designed For: 161 Cut Out Door Prep

Door Thickness: Standard Doors 1 3/4" to 2 1/4"
Latch Bolt: Stainless Steel 3/4" Throw
Strike: 250 Standard
ANSI/BHMA: Exit Device A156.3 Grade 1

Overall Size: 33" W X 8 1/8" H X 2 1/2" D

Material: Steel, Cast Iron, Stainless Steel
Finish: US320 Brushed Stainless Steel

Manufacturer	Part Number
CAL-RICHIE	2500
CORBIN/RUSSWIN	ED4200
DOORNA	8200
YALE	25
YALE	2100

TOP JAMB ARM

Mounting holes for closer body are spaced 3-3/8" (86mm) vertically x 6-3/4" (171mm) horizontally.
* Minimum frame face with 7/8" drop plate. 3-1/4" (83mm) required when drop plate is not used.

Maximum Door Width (Inches) (mm)	Reveal Range (Inches)	Maximum Door Opening	Model Number	
			Non-Hold Open	Hold Open
Multi-Sized (517500) J7500M	0" to 3" (0 to 76mm)	180"	J7500	J7500H
J7500	2-3/4" to 7" (70 to 178mm)	150"	J7500	J7500H
J7500	2-3/4" to 7" (70 to 178mm)	180"	J7500	J7500H
J7580 x 7787	0" to 2-3/4" (0 to 70mm)	180"	J7580	J7580H
Multi-Sized (J7500) J7500M	0" to 3" (0 to 76mm)	180"	J7500	J7500H
J7500H	2-3/4" to 6-3/4" (70 to 171mm)	150"	J7500H	J7500H
J7500H	2-3/4" to 6-3/4" (70 to 171mm)	180"	J7500H	J7500H

Notes:

- Door closers are set at midpower range from the factory
- Measurements are inches/mm unless noted
- Standard door widths: interior 32"-54" (81-137cm) exterior 30"-48" (76-122cm)
- Consult factory if door weight exceeds 250 lbs.



CREATIVODESIGNS
602 SRL THORNTON FWY SUITE B
DALLAS, TEXAS 75203
214.884.8168 214.886.2866
cs@creativodesignsusa.com

ADDRESS:
SCOPE OF WORK:

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087
REMODEL

DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021

SCALE:	3/16"=1'-0"	DRAWING No.	4 OF 12
DATE:	02/11/2022	DRAWN:	EACB
SQ FT:	3,956		
TYPE:	FINISH FLOOR		

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: SP2022-007
PROJECT NAME: Site Plan for Gideon Grove Phase 2
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/25/2022	Approved w/ Comments

02/25/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for Phase 2 of the Gideon Grove Subdivision being a 30.36-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2022-007) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC).

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Planned Development District 84 (PD-84).

M.5 Provide the standard signature block with signature space for the Planning & Zoning Chairman and Planning Director on the Treescape Plan and all sheets of the Screening/Buffering Plans. (Subsection 03.04.A, of Article 11)

M.6 Within the Hardscape Plan provide an exhibit for a Board-On-Board Wood Fence, that demonstrates they will have a decorative top rail or cap.

M.7 Provide staff with an exhibit showing fence locations, where fence types shall be color coded and each residential lots side and rear yard allowed fence type should be indicated.

M.8 Both sides of E. Quail Run Road and Old Quail Run Road are deficient in the trees indicated on the landscape plan. The calculations on the trees needed are correct; there just are not that many shown on the plans.

M.9 Show all the required lot trees on the landscape plan, per the zoning ordinance 17-25.

M.10 The berm along John King Boulevard should be generally continuous. What is shown currently does not meet the landscape buffer requirements of Planned Development District 84 (PD-84). It should match what is shown on the grading plan on the Civils.

M.11 Currently E. Quail Run Road terminates on the property, however since the Right-of-Way is already dedicate, the landscaping and berm must continue down the north and south side of the future E. Quail Run Road.

M.12 There is a sewer line that will run parallel to Old E. Quail Run Road along the south property line; the trees are currently too close to this sewer line and must be moved and remain in the landscape buffer. This may require that landscaping buffer to be increased in size.

M.13 Engineering indicates that the trees on the west property line will need to be removed per the Civil Plans. If this is true an updated Treescape Plan will need to be provided.

I.14 Please note that failure to address all comments provided by staff by 3:00 PM on March 7, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning & Zoning Meeting.

I.16 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on February 28, 2022.
- 2) Planning & Zoning meeting/public hearing meeting will be held on March 15, 2022.

I.17 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

- 02/24/2022: - Keep trees 10' away from the 12" water line in John King.
 - No signage/structures in easements. Show sewer and drainage easements near sign.
 - Berm to be located per the approved grading plan and not on top of sewer line.
 - Show the paving ending per the engineering plans an E Quail Run.
 - All of these trees will be removed during grading. Please make revisions to tree mitigation and resubmit to P&Z for approval.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

02/22/2022: If the area on the south end is a detention pond, the area must have 1 canopy tree and 1 accent trees planted around the perimeter for every 750 sqft of detention.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2022-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS PROPERTY ID #10188, JOHN KING BLVD. A PORTION OF TRACT 1-01 OR S.R. BARNES SURVEY, ABSTRACT NO. 13

SUBDIVISION **Gideon Grove, Phase 2** LOT BLOCK

GENERAL LOCATION ALONG THE SOUTH SIDE OF JOHN KING BLVD. NEAR THE INTERSECTION OF E. QUAIL RUN ROAD WITH E. QUAIL RUN ROAD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **ORD. NO. 17-25, PD-84** CURRENT USE **VACANT / AGRICULTURAL**

PROPOSED ZONING **ORD. NO. 17-25, PD-84** PROPOSED USE **SINGLE-FAMILY RESIDENTIAL**

ACREAGE **30.0.60 AC** LOTS [CURRENT] **1** LOTS [PROPOSED] **84**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Qualico Development (US), Inc.** APPLICANT **Michael Joyce Properties**

CONTACT PERSON **John Vick** CONTACT PERSON **Meredith Joyce**

ADDRESS **14400 The Lakes Blvd.** ADDRESS **767 Justin Road**

CITY, STATE & ZIP **Pflugerville, TX 78660** CITY, STATE & ZIP **Rockwall, TX 75087**

PHONE **469-659-6150** PHONE **512-694-6394**

E-MAIL **john.vick@qualico.com** E-MAIL **meredith@michaeljoyceproperties.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

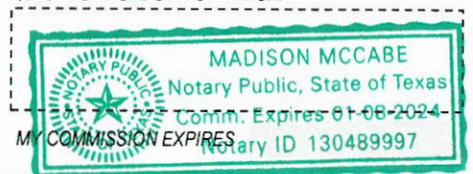
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

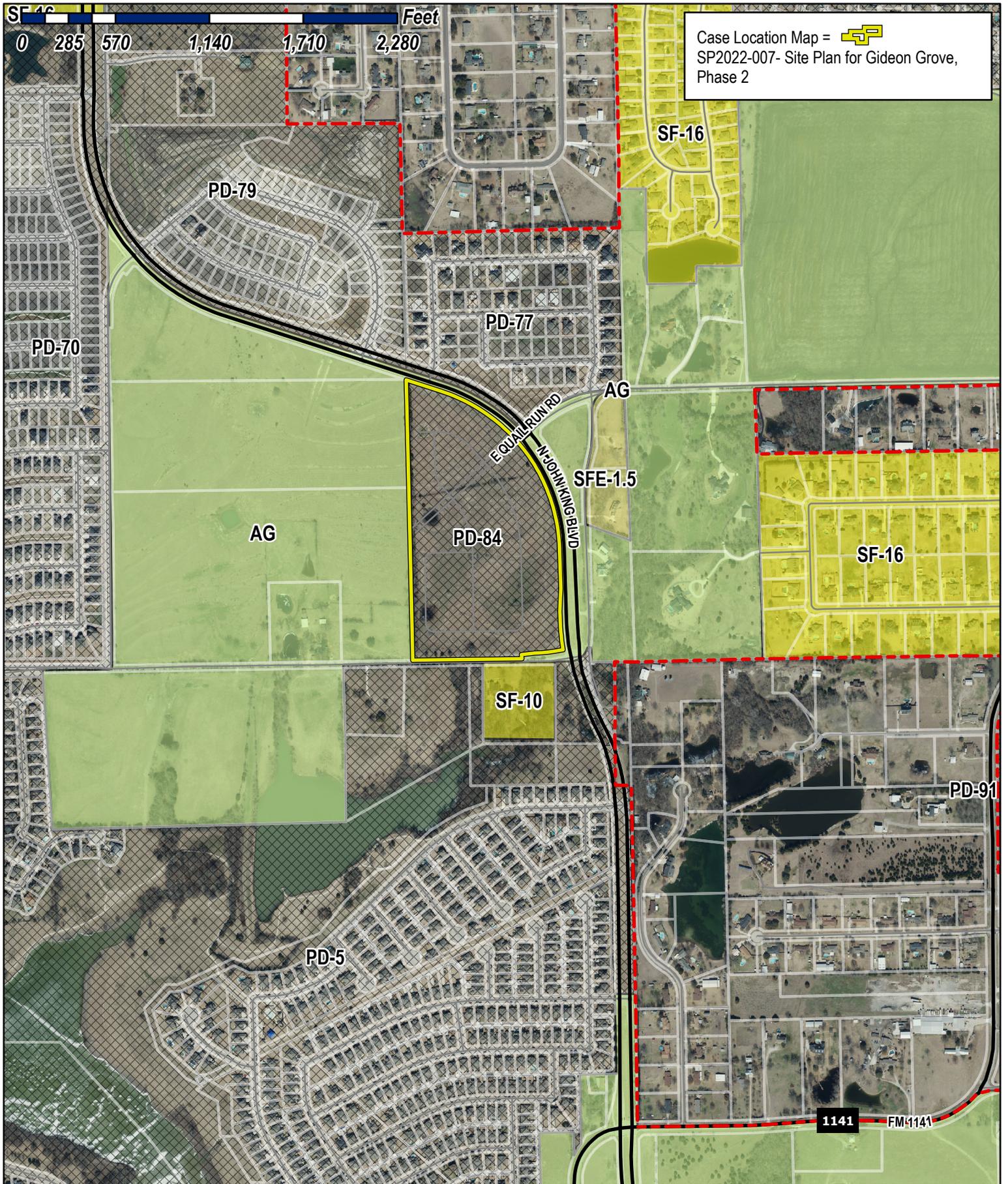
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022.

OWNER'S SIGNATURE

John Vick
Madison McCabe

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





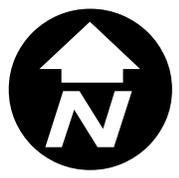
Case Location Map = 
 SP2022-007- Site Plan for Gideon Grove,
 Phase 2



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PLANTING SPECIFICATIONS

GENERAL

1. QUALIFICATION OF LANDSCAPE CONTRACTOR
 - a. LANDSCAPE WORKER SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LANDSCAPE CONTRACTOR.
 - b. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL PLANTING MATERIALS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 - c. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 - d. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
2. SCOPE OF WORK
 - a. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
 - b. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 - c. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 - d. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

PRODUCTS

1. CONCRETE AND MASONRY PRODUCTS SHALL BE NEW.
 - a. BRICKS SHALL BE FULL BODY, RED OR BROWN, WITH A MINIMUM OF 10% WEAR SURFACE.
 - b. BLOCKS SHALL BE FULL BODY, RED OR BROWN, WITH A MINIMUM OF 10% WEAR SURFACE.
 - c. CONCRETE SHALL BE 4000 PSI, TYPE I, WITH A MINIMUM OF 10% WEAR SURFACE.
 - d. MASONRY SHALL BE FULL BODY, RED OR BROWN, WITH A MINIMUM OF 10% WEAR SURFACE.
2. METAL PRODUCTS SHALL BE NEW.
 - a. STEEL SHALL BE A36, GRADE 50, WITH A MINIMUM OF 10% WEAR SURFACE.
 - b. ALUMINUM SHALL BE 6061-T6, GRADE 60, WITH A MINIMUM OF 10% WEAR SURFACE.
 - c. COPPER SHALL BE TYPE C110, GRADE 100, WITH A MINIMUM OF 10% WEAR SURFACE.
 - d. BRASS SHALL BE TYPE C360, GRADE 100, WITH A MINIMUM OF 10% WEAR SURFACE.
3. PLANTING MATERIALS SHALL BE NEW.
 - a. TREES SHALL BE 1 1/2" DBH, 10' TALL, WITH A MINIMUM OF 10% WEAR SURFACE.
 - b. SHRUBS SHALL BE 1 1/2" DBH, 6' TALL, WITH A MINIMUM OF 10% WEAR SURFACE.
 - c. PERENNIALS SHALL BE 1 1/2" DBH, 12" TALL, WITH A MINIMUM OF 10% WEAR SURFACE.
 - d. GRASSES SHALL BE 1 1/2" DBH, 18" TALL, WITH A MINIMUM OF 10% WEAR SURFACE.

METHODS

1. SOIL PREPARATION
 - a. SOIL SHALL BE TESTED FOR PHOSPHORUS AND POTASSIUM.
 - b. SOIL SHALL BE TESTED FOR PHOSPHORUS AND POTASSIUM.
 - c. SOIL SHALL BE TESTED FOR PHOSPHORUS AND POTASSIUM.
 - d. SOIL SHALL BE TESTED FOR PHOSPHORUS AND POTASSIUM.
2. PLANTING
 - a. PLANTS SHALL BE PLANTED AT THE SPECIFIED DEPTHS AND SPACINGS.
 - b. PLANTS SHALL BE PLANTED AT THE SPECIFIED DEPTHS AND SPACINGS.
 - c. PLANTS SHALL BE PLANTED AT THE SPECIFIED DEPTHS AND SPACINGS.
 - d. PLANTS SHALL BE PLANTED AT THE SPECIFIED DEPTHS AND SPACINGS.
3. MAINTENANCE
 - a. PLANTS SHALL BE MAINTAINED FOR A PERIOD OF 12 MONTHS.
 - b. PLANTS SHALL BE MAINTAINED FOR A PERIOD OF 12 MONTHS.
 - c. PLANTS SHALL BE MAINTAINED FOR A PERIOD OF 12 MONTHS.
 - d. PLANTS SHALL BE MAINTAINED FOR A PERIOD OF 12 MONTHS.

INSTALLATION

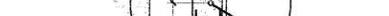
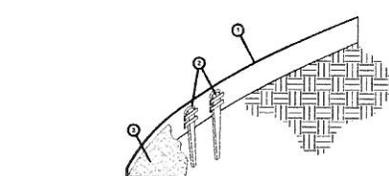
1. THE CONTRACTOR SHALL PROVIDE SUBSTRATE AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT AND RECEIVE APPROVAL IN WRITING FOR EACH MATERIAL BEFORE WORK COMMENCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

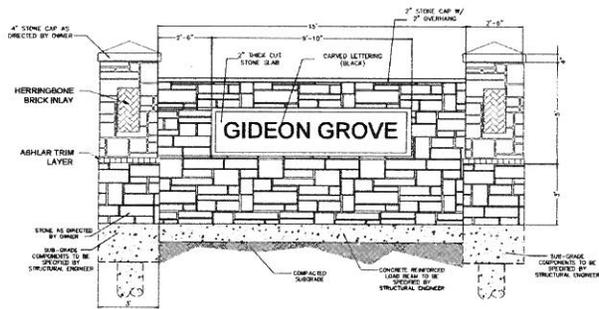
GENERAL PLANTING

1. REMOVE ALL EXISTING PLANTS AND TREES FROM PLANTING AREAS.
2. EXCEPT WHERE SHOWN OTHERWISE, ALL PLANTS SHALL BE PLANTED AT THE SPECIFIED DEPTHS AND SPACINGS.
3. PLANTS SHALL BE PLANTED AT THE SPECIFIED DEPTHS AND SPACINGS.
4. PLANTS SHALL BE PLANTED AT THE SPECIFIED DEPTHS AND SPACINGS.

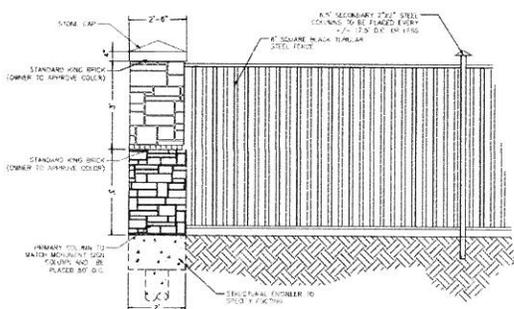
IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM SHALL OPERATE ON POTABLE WATER, AND THE SYSTEM SHALL BE DESIGNED TO PROVIDE SUFFICIENT WATER TO ALL PLANTS INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SUPPLY.
3. ALL NONPLANT PLANTED AREAS SHALL BE DRAIN IRRIGATED. SPOOLED AND HEADED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLANTED ON A VALVE INDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED IRRIGATION RATES, SENSITIVE SENSORS, AND SPRAY HEADS (WHENEVER POSSIBLE), TRAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLS FEASIBLE, FEASIBLE, SENSORY INPUT CAPABILITIES.

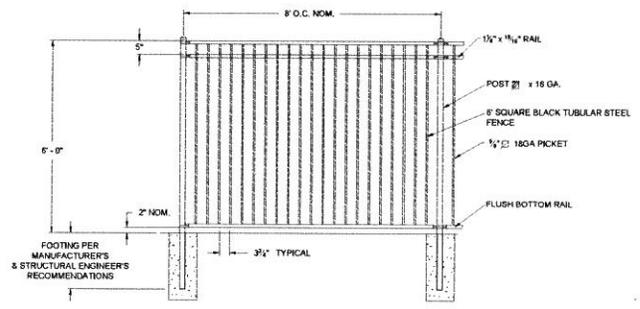




A MONUMENT SIGN DETAIL
NOT TO SCALE



B 6" DECORATIVE METAL FENCE WITH MASONRY COLUMN
NOT TO SCALE



C 6" DECORATIVE METAL FENCE
NOT TO SCALE



Owner
Skorburg Company
8214 Westchester Drive
Dallas, TX

Project Name
Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE
DETAILS

Date	Comment

Project Number
Date: 07/30/2021
Drawn By: MNB
Checked By: MB/RM

LP-3

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: SP2022-008
PROJECT NAME:
SITE ADDRESS/LOCATIONS: 2890 S GOLIAD ST

CASE MANAGER: Bethany ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	02/25/2022	Approved w/ Comments

02/25/2022: SP2022-008; Amended Site Plan for EPES Trucking

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of an Amended Site Plan to add outside storage to an existing trucking company on a 4.060-acre tract of land identified as Lot 1R, Block 1, Texas Star Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 2890 South Goliad Road.
- I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. March 7, 2022 is the deadline to have all comments; please provide staff revised plans before March 7, 2022 to ensure all comments are addressed.
- M.3 For reference, include the case number (SP2022-008) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- M.4 Provide the owner's name, address, and phone number in the lower right-hand corner of all plans. (03.04.A of Article 11)
- M.4 Provide the Developer's name, address, and phone number in the lower right-hand corner of all plans. (03.04.A of Article 11)
- M.5 Provide a graphic scale. (03.04.A of Article 11)
- M.6 Provide a standard signature block with signature space for the Planning and Zoning Chairman and Director of Planning and Zoning. (03.04.A of Article 11)
- M.7 Site Plan:
 - (1) Please indicate the square footage and use of all buildings on site and add them into the parking analysis.
 - (2) Please correct the existing parking to show that a total of 58 parking spaces were existing with 52 parking spaces remaining after the outside storage is established.
- M.8 Landscape Plan:
 - (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional requirements.
 - (2) Please note that all shrubs are required to be a minimum of five (5) gallons, all canopy trees are required to be a minimum of four (4) caliper inches, and all accent trees are required to be a minimum of four (4) feet in height.
- I.9 Please note that failure to address all comments provided by staff by 3:00 PM on March 7, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
- I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff

ample time to review the case prior to the March 15, 2022 Planning & Zoning Meeting.

I.11 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on February 28, 2022.
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I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/25/2022	Approved w/ Comments

02/25/2022: - No trees within 5' of any public water of sewer less than 10".
- No trees within 10' of public utilities 10" or greater.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Ryan Miller	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ryan Miller	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/25/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Ryan Miller	02/25/2022	N/A

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. Sp2022-008
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES: <input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) <input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) <input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) <input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00) <input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00) SITE PLAN APPLICATION FEES: <input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) <input checked="" type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	ZONING APPLICATION FEES: <input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) <input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^a <input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) OTHER APPLICATION FEES: <input type="checkbox"/> TREE REMOVAL (\$75.00) <input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) NOTES: <small>IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. ^a A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</small>
--	--

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2890 South Goliad St.
SUBDIVISION Texas Star Addition LOT 1R BLOCK 1
GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING "HC" Heavy Commercial CURRENT USE Penske/EPES Trucking Facility
PROPOSED ZONING No change Proposed PROPOSED USE No change Proposed
ACREAGE 4.060 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>EPE's / PENSKER</u>	<input checked="" type="checkbox"/> APPLICANT	<u>JAL Architect Group Inc.</u>
CONTACT PERSON	<u>Guy Holbert</u>	CONTACT PERSON	<u>John M. Lucio</u>
ADDRESS	<u>5605 N. MacArthur Blvd.</u>	ADDRESS	<u>2695 Villa Creek Dr. Suite 206</u>
CITY, STATE & ZIP	<u>Irving, Tx. 75038</u>	CITY, STATE & ZIP	<u>Dallas, Tx 75234</u>
PHONE	<u>817-674-1513</u>	PHONE	<u>214-935-6257</u>
E-MAIL	<u>Guy.Holbert@Penske.com</u>	E-MAIL	<u>J.Lucio@jalarchitectgroup.net</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Guy Holbert [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ Feb TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF Feb 2022 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRDUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

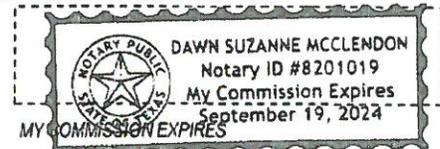
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF Feb, 2022

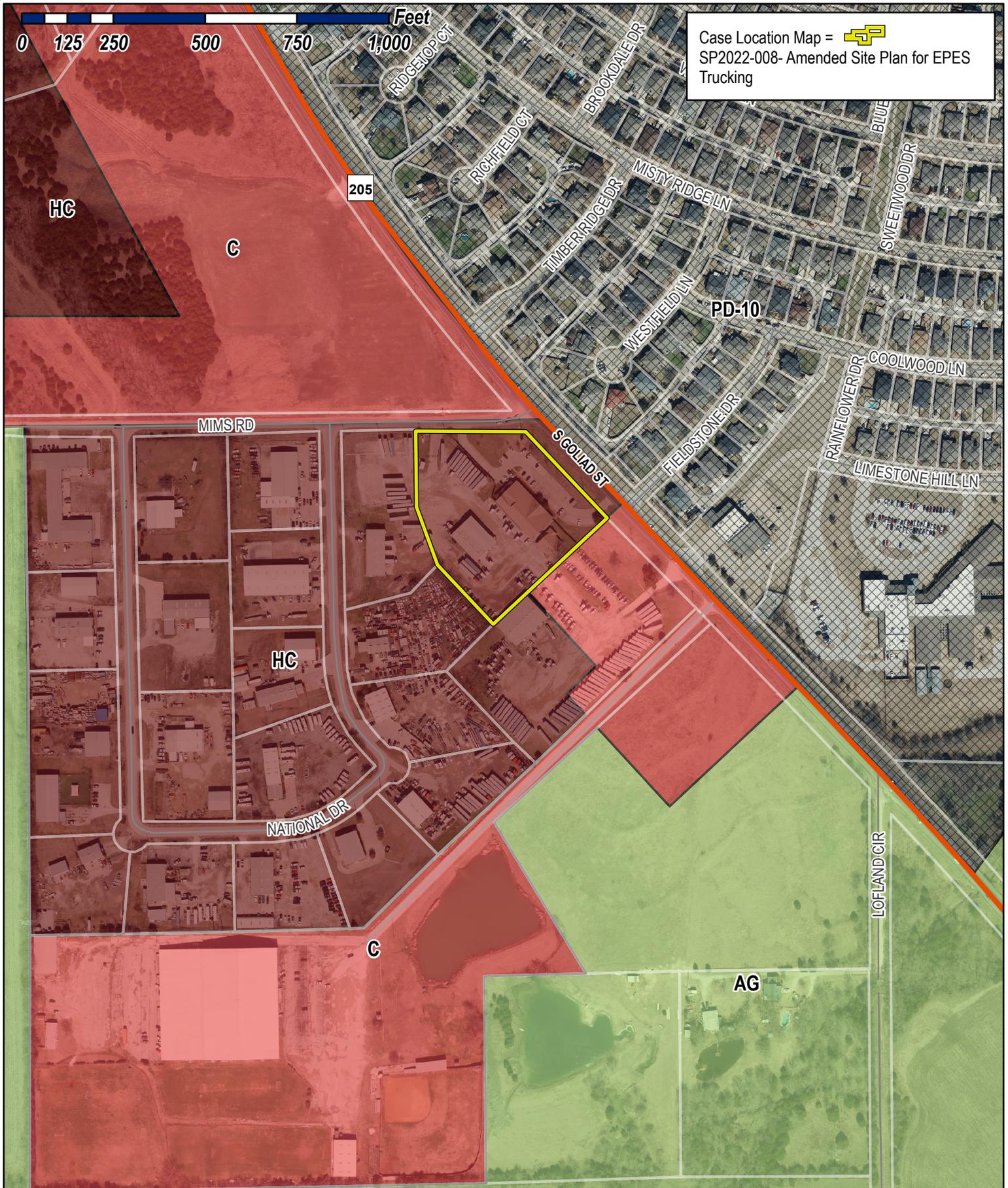
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DEVELOPMENT APPLICATION

[Signature] 9.19.2024





Case Location Map = 
 SP2022-008- Amended Site Plan for EPES
 Trucking



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PLANNING & ZONING PROPOSED CHANGE(S)

CURRENT FACILITY OWNER IS REQUESTING TO PARK SIX (6) RENTAL TRUCKS IN THE EXISTING FRONT YARD OFF-STREET PARKING / DRIVE AREA. THIS PROPERTY IS CURRENTLY ZONED "HC" HEAVY COMMERCIAL. THE EXISTING PROPERTIES ACROSS SOUTH GOLIAD STREET / S.H. 205 ARE "RESIDENTIAL" AND ARE CURRENTLY ZONED "PD-10".

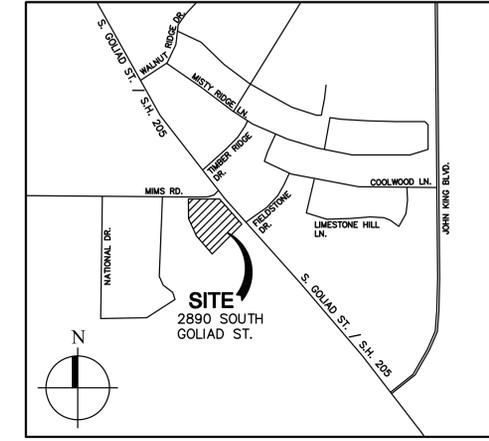
THE NEW LANDSCAPE BUFFER(S) NOTED ALONG THE STREET FRONTAGE OF SOUTH GOLIAD STREET / S.H. 205 AND MIMS ROAD ARE PROPOSED TO ALLOW FOR THE PARKING OF THE PREVIOUSLY NOTED SIX (6) RENTAL TRUCKS.

PARKING ANALYSIS FOR EXISTING OFFICE BLDG.

EXISTING OFF-STREET PARKING AREA PROVIDES PARKING AREA FOR A 11,715 S.F. EXISTING OFFICE BUILDING.

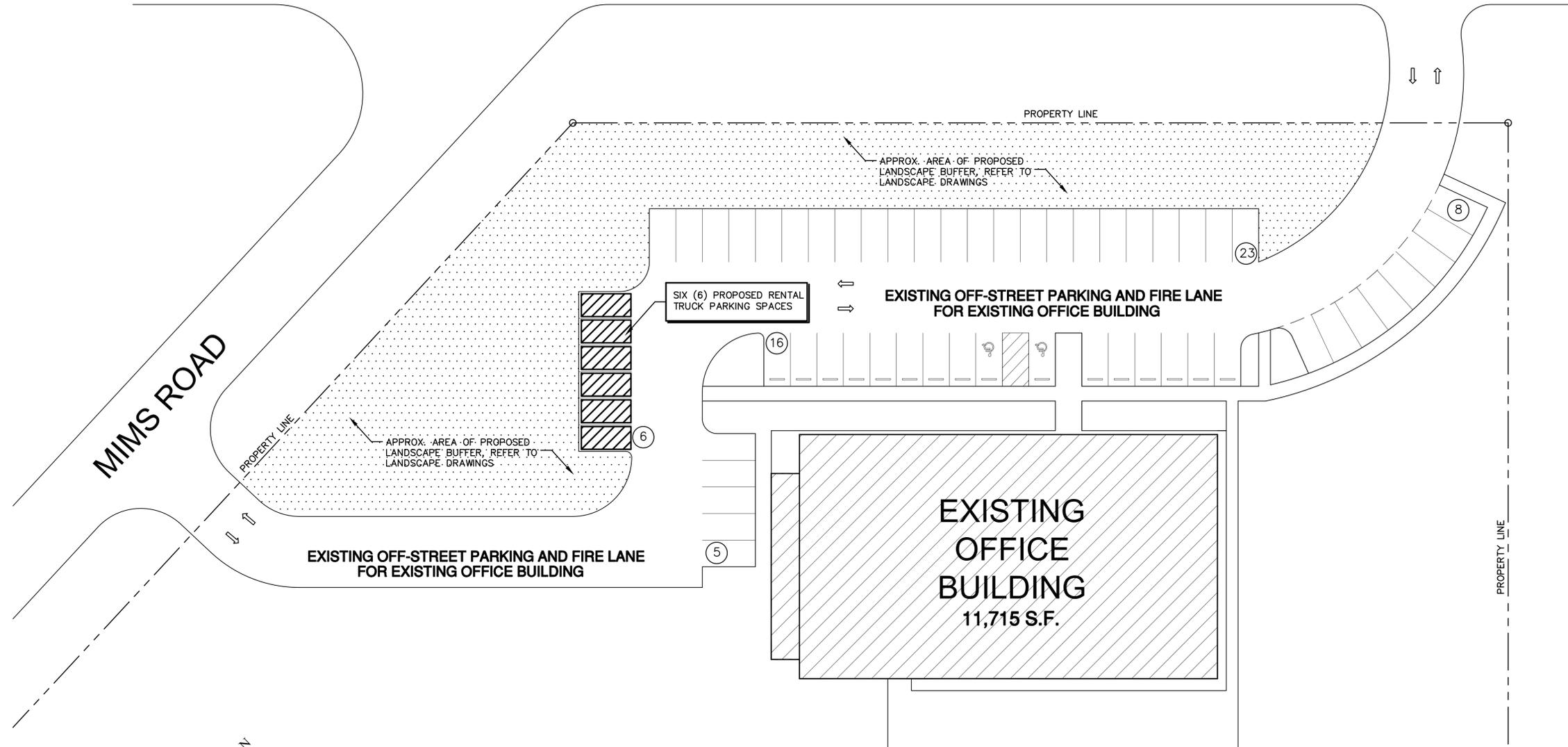
"CITY OF ROCKWALL - TABLE 5: PARKING REQUIRED SCHEDULE, OFFICE BUILDING 1/300 S.F. MIN. PARKING REQUIRED."

EXISTING PARKING REQUIRED FOR EXISTING OFFICE BLDG.:	11,715 S.F. (1/300)	= 40
PROPOSED RENTAL TRUCK PARKING SPACES:		= 06
TOTAL PARKING SPACES REQUIRED:		= 46
EXISTING STANDARD PARKING SPACES:		= 56
EXISTING HANDICAP PARKING SPACES:		= 02
TOTAL EXISTING PARKING SPACES:		= 58



VICINITY MAP
N.T.S.

SOUTH GOLIAD STREET / S.H. 205



01 PARTIAL ENLARGED SITE PLAN
SCALE: 1/20" = 1'-0"



02-16-22

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No.	Date	Item

Issued Drawing Log

JAL
Architect Group

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E-Mail: j.lucio@jalarchitectgroup.net

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Drawn	
Checked	
Project No.	2021006
Issue Date	02-16-22

SHEET

PENSKE / EPES - TRUCK FACILITY RENOVATION
2890 SOUTH GOLIAD ST.
ROCKWALL, TEXAS

