

**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**January 10, 2017**  
**4:00 P.M.**

**ACTION ITEMS**

**1. SP2016-032 (Korey)**

Discuss and consider a request by John Wardell of Lake Pointe Church for the approval of a site plan for a worship and education building for an existing church on a 2.55-acre portion of a larger 34.46-acre parcel of land identified as Lot 1, Block A, Lake Pointe Baptist Church Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located east of the intersection of FM-740 and the IH-30 Frontage Road, and take any action necessary.

**2. SP2016-034 (David)**

Discuss and consider a request by Sarah Williamson of Kimley-Horn and Associates on behalf of Stone Creek SF LTD & Stone Creek Balance LTD for the approval of a PD site plan for a grocery store on 7.46-acre identified as a portion of a larger 164.812-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70), situated within the North SH-205 Overlay (N-SH205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [N. SH-205], and take any action necessary.

**3. SP2016-036 (David)**

Discuss and consider a request by Cameron Slown of F. C. Cuny on behalf of the owner N & H Legacy for the approval of a site plan for a multi-tenant retail building on a 2.22-acre portion of land being identified as Lots 8 & 11, Block 1, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, situated at the southeast corner of the intersection of Andrews Drive and Horizon Road (FM-3097), and take any action necessary.

**4. SP2017-001 (Korey)**

Discuss and consider a request by Jeffery Dolian, PE of Kimley-Horn and Associates, Inc. on behalf of Eames Gilmore, Sr. of the Target Corporation for the approval of an amended site plan to change the exterior façade of an existing retail building situated on a 10.37-acre parcel of land identified as Lot 2, Block A, Steger Towne Crossing, Phase 1, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 850 Steger Towne Drive, and take any action necessary.

**5. SP2017-002 (David)**

Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of an amended site plan for the addition of a warehouse building on an existing facility situated on a 1.095-acre parcel of land identified as Lot 4, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46), situated within the SH-276 Overlay (SH-276 OV) District, located on the south side of Springer Road, east of the intersection of Springer Road and Corporate Crossing [FM-3549], and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 6<sup>th</sup> day of January, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**January 31, 2017**  
**4:00 P.M.**

**ACTION ITEMS**

**1. SP2016-034 (David)**

Discuss and consider a request by Sarah Williamson of Kimley-Horn and Associates on behalf of Stone Creek SF LTD & Stone Creek Balance LTD for the approval of a PD site plan for a grocery store on 7.46-acre identified as a portion of as a portion of a larger 164.812-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70), situated within the North SH-205 Overlay (N-SH205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [N. SH-205], and take any action necessary.

**2. SP2017-007 (Ryan)**

Discuss and consider a request by Brett Mashchak of Academy Sports + Outdoors on behalf of Tim Denker of Steger Dunhill, LLC for the approval of an amended site plan for an existing building situated on a 5.511-acre parcel of land identified as Lot 4, Block A, Steger Towne Crossing, Phase 1, Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District , situated within the IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts, addressed as 920 Steger Towne Drive, and take any action necessary.

**3. SP2017-004 (Korey)**

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Gregg Murray pf Service King Collision Repair for the approval of a site plan amendment for an Auto Body Shop (i.e. Service King Collision Repair) on a 3.2039-acre tract of land described as Tract 7-01 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, located at 1780 E IH-30, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, and take any action necessary.

**4. SP2017-006 (David)**

Discuss and consider a request by Maria Bonilla of Winkleman & Associates on behalf of Jim Ziegler of PegasusAblon for the approval of an amended site plan for the expansion of the existing Cinemark 12 Rockwall movie theater being a 12.894-acre tract of land currently identified as Lot 5 and a portion of Lot 7, Block A, The Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 7 (PD-7) & Planned Development District 32 (PD-32), addressed as 2125 Summer Lee Drive, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 28<sup>th</sup> day of January, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



# CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

**AGENDA DATE:** 01/31/2017

**APPLICANT:** Sarah Williams of Kimley-Horn and Associates

**AGENDA ITEM:** **SP2016-034;** PD Site Plan for a Grocery Store.

**SUMMARY:**

Discuss and consider a request by Sarah Williamson of Kimley-Horn and Associates on behalf of Stone Creek SF LTD & Stone Creek Balance LTD for the approval of a PD site plan for a grocery store on 7.46-acre identified as a portion of as a portion of a larger 164.812-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70), situated within the North SH-205 Overlay (N-SH205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [N. SH-205], and take any action necessary.

**PURPOSE:**

An application for a PD Site Plan has been submitted for approval of a 35,962 SF grocery store on a 7.46-acre tract of land identified as a portion of a larger 164.812-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131 and zoned Planned Development District 70 (PD-70). The subject property is situated within the North SH-205 Overlay (N-SH205 OV) District and is generally located at the northwest corner of the intersection of E. Quail Run Road and N. Goliad Street [N. SH-205]. A PD Development Plan [Z2016-046] has been submitted concurrently with this request; however, the PD Development Plan must be approved prior to approval of this PD site plan. This has been added as a condition of approval and any approval by the Planning and Zoning Commission will constitute conditional approval.

With the exception of the variance requested and the items listed in the *Recommendation* section of this case memo, the submitted site plan, building elevations, photometric, treescape and landscape plans conform to the technical requirements contained within the Unified Development Code (UDC) and Planned Development District 70 (PD-70). A summary of the density and dimensional requirements is as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	6,000-SF	7.46-Acres; In Conformance
<i>Minimum Lot frontage</i>	60-Feet	x>60-Feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	x>100-Feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	x>15-Feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	x>10-Feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	x>10-Feet; In Conformance
<i>Maximum Building Height</i>	36-Ft w/o SUP	28.4-ft; Approved with SUP
<i>Max Building/Lot Coverage</i>	40%	X<40%; In Conformance
<i>Minimum Masonry Requirement</i>	90%	>90%; In Conformance
<i>Minimum Stone Requirement (SH205 OV)</i>	20% ea facade	x=0%; <b>Variance Requested</b>
<i>Minimum Number of Parking Spaces</i>	144	194 Provided; In Conformance

## **TREESCAPE PLAN:**

The applicant has provided a treescape plan indicating a total of 428-caliper inches being removed from the site. Of the trees being removed the treescape plan indicates the removal of several feature trees (*i.e. any pecan, elm, or oak*) which are considered to be protected and require the approval of the Planning and Zoning Commission for removal. Replacement of a hardwood tree requires replacement on an inch-for-inch basis. The applicant's landscape plan depicts the provision of 56, three (3) inch caliper trees leaving a mitigation balance of 260-caliper inches.

In order to satisfy the tree mitigation balance of 260-caliper inches, the applicant may choose one of the following:

- a) *Provide additional trees on site.*
- b) *Provide the Parks Department with any number of trees (minimum 3 caliper inch) that totals the mitigation balance due.*
- c) *Provide a maximum 20% of the mitigation inches in cash at \$125 per caliper inch to be paid to the City's Tree Fund with the remaining balance provide in trees to the Parks Department.*
- d) *Request an alternative tree mitigation plan to be approved by the City Council.*

## **VARIANCE AND EXCEPTION REQUESTS:**

The applicant is requesting the following variances and exceptions to the N. SH-205 OV and the *Unified Development Code (UDC)* for the sections outlined below. As a note, a variance request to the UDC requires passage of a simple majority vote by the City Council for approval; however, a variance to the *N. SH-205 OV District* requires passage by a  $\frac{3}{4}$  majority vote of those City Council members present. The requests are as follows:

1. Art. V, Sec. 6.11.C.1a of the N. SH-205 OV requires each exterior wall to consist of 90% masonry materials, including 20% natural or quarried stone on walls which are visible from a public street or open space. The elevations as presented do not provide natural or quarried stone and do not meet the requirements of the overlay district. *Approval of the variance requested to the N. SH-205 OV requires passage by a 3/4 majority vote of City Council.*

The approval of a variance is a discretionary decision for the Planning and Zoning Commission and City Council.

## **ARCHITECTURAL REVIEW BOARD (ARB):**

After failing to establish a quorum on December 27, 2016, the Architectural Review Board (ARB) met on January 10, 2017 to review the proposed elevations recommended to the Planning and Zoning Commission to table the item to the January 31, 2017 meeting. This would allow for the applicant to revise the elevations for the purpose of better addressing the requirements of the UDC. The ARB will review these changes on January 31, 2017 and make a recommendation to the Planning and Zoning Commission during its regularly scheduled meeting.

## **RECOMMENDATIONS:**

The site plan submitted by the applicant meets all the technical criteria stipulated by the N SH-205 OV and the UDC with the exception of the requested variances. Should the Planning and

Zoning Commission choose to approve the applicant's request, then the following conditions of approval should be considered with this case:

- 1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) The approval of this PD Site Plan shall constitute conditional approval until the approval of *Case No. Z2016-044 (i.e. the PD Development Plan)*;
- 3) Development of this property shall generally conform to the *PD Development Plan* as approved by *Case No. Z2016-044*;
- 4) Any construction or building necessary to complete this *PD Site Plan* request must conform to the requirements set forth by the UDC, the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## City of Rockwall Project Plan Review History



**REVISED STAFF COMMENTS - HIGHLIGHTED**

**Project Number** SP2016-034  
**Project Name** LIDL  
**Type** SITE PLAN  
**Subtype**  
**Status** STAFF REVIEW

**Owner** STONE, CREEK SF LTD  
**Applicant** KIMLEY-HORN AND ASSOCIATES

**Applied** 12/16/2016 LM  
**Approved**  
**Closed**  
**Expired**  
**Status** 12/16/2016 LM

**Site Address** 165 E QUAIL RUN RD  
**City, State Zip** ROCKWALL, TX 75087

**Zoning**

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
QUAIL RUN RETAIL	3	NULL	3	0131-0000-0003-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	12/16/2016	12/23/2016	12/20/2016	4	APPROVED	
<b>ENGINEERING</b> (1/6/2017 10:26 AM AW) Quail Run pro-rata due Add Note: Detention maybe required after flood study is performed No walls or structures in easements. Will need to move the water line tie in (see markup) Dumpster area to drain to oil/water separator Meter size will need to be a 2" if tapping with a 2" service or tap with a 1 1/2" No grate inlets Label the area in the front that is "circled" in the markup Add note on landscaping "No trees to be planted within 5' of any utilities" Remove "potential detention area" from the flood plain. Detention isn't allowed in flood plain.	<b>Amy Williams</b>	<b>1/6/2017</b>	1/13/2017	<b>1/6/2017</b>		COMMENTS	<b>See Comments</b>
ENGINEERING (12/22/2016 8:02 AM AW) Quail Run pro-rata due Detention maybe required after flood study is performed No walls or structures in easements. Will need to move the water line tie in (see markup) Dumpster area to drain to oil/water separator Meter size will need to be a 2" if tapping with a 2" service or tap with a 1 1/2" No grate inlets Parking to be 20'x9' Label the area in the front that is "circled" in the markup Add note on landscaping "No trees to be planted within 5' of any utilities"	Amy Williams	12/16/2016	12/23/2016	12/22/2016	6	COMMENTS	See Comments
FIRE	Ariana Hargrove	12/16/2016	12/23/2016				

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
GIS (12/21/2016 8:11 AM LS) Address assignment will be: 165 E QUAIL RUN RD, ROCKWALL, TX 75087	Lance Singleton	12/16/2016	12/23/2016	12/21/2016	5	APPROVED	See comments
Please contact lsingleton@rockwall.com with any questions.							
PLANNING	David Gonzales	1/5/2017	1/12/2017	1/6/2017	1	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<b>PLANNING COMMENTS - DAVID GONZALES - 01.05.2017</b>						
All staff comments are to be addressed and resubmitted for a final review by staff. Please provide three large folded copies [24" X 36" FOLDED] and one PDF version:						
Planning Department General Comments are as follows:						
<ol style="list-style-type: none"> <li>1. PD-70 requires a PD Development Plan to be approved prior to PD site plan approval. However, the PD allows for concurrently submittal of both plans.</li> <li>2. Adherence to Engineering and Fire Department standards shall be required.</li> <li>3. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy (CO). Plat mylars are to be submitted prior to issuance of building permit.</li> <li>4. All exterior signage requires submittal and approval of a separate building permit through the building inspections department.</li> </ol>						
<b>VARIANCES and EXCEPTIONS FOR CITY COUNCIL TO CONSIDER:</b>						
<p>** 1. Art V, Sec. 6.11.C.1a of the N SH-205 OV requires each exterior wall to consist of 90% masonry materials,..., including 20% natural or quarried stone on walls which are visible from a public street or open space. The elevations as presented do not provide stone and does not meet this requirement.</p> <p>** 2. Art V, Sec. 6.11.C.5 of the N SH-205 BY OV requires all buildings shall be architecturally finished on all four sides with the same materials, detailing, and features. The east elevation does not meet this requirement.</p> <p>** Approval of the variance requested to the N SH-205 OV requires passage by a 3/4 majority vote of City Council.</p>						
<b>EXCEPTION FOR CITY COUNCIL TO CONSIDER:</b>						
<p>****1. ArtV, Sec. 4.1. of the UDC - Exception to the Horizontal &amp; Vertical Articulation Standards - the buildings north, south, and west elevations as submitted are not meeting the minimum requirements establish by the General Commercial District Standards for articulation.</p> <p>**** Approval of the exceptions to the horizontal and vertical articulation standards of the UDC requires passage by a simple majority vote of City Council.</p>						
Please address the following Planning Comments for each plan submitted:						
<b>Site Plan:</b>						
1. Truck loading dock and dumpster are not to face a public street. Requires approval by the Planning and Zoning Commission and City Council.						
<b>Building Elevations:</b>						
<ol style="list-style-type: none"> <li>1. Variance's and Exception to the N SH-205 OV as stated above requires approvals as noted by the City Council (of those Council members present).</li> <li>2. Provide a materials samples board for the ARB review.</li> </ol>						
<b>Landscape Plan:</b>						
1. Meets intent of UDC as revised.						
<b>Photometric Plan:</b>						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
1. Meets intent of UDC as revised.						
The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the PD Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.						
Meeting Dates to Attend:						
Architectural Review Board: January 10, 2017 (5:00 p.m.) [applicant to receive recommendations from ARB]						
Planning - Action: January 10, 2017 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, etc.)]						
City Council - Action: January 17, 2016 (6:00 p.m.) [FOR VARIANCE & EXCEPTION REQUEST ONLY]						
PLANNING	David Gonzales	12/16/2016	12/23/2016	12/20/2016	4 COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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Discuss and consider a request by Sarah Williamson of Kimley-Horn and Associates on behalf of Stone Creek SF LTD & Stone Creek Balance LTD for the approval of a site plan for a grocery store on 7.46-acre identified as a portion of a larger 164.812-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70), situated within the North SH-205 Overlay (N-SH205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [N. SH-205], and take any action necessary.

**PLANNING COMMENTS - DAVID GONZALES - 12.21.2016**

All staff comments are to be addressed and resubmitted by Tuesday, January 3, 2017. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

Planning Department General Comments to be addressed are as follows:

1. PD-70 requires a PD Development Plan to be approved prior to PD site plan approval. However, the PD allows for concurrently submittal of both plans.
2. Adherence to Engineering and Fire Department standards shall be required.
3. Label revised site plan documents with "Case No. SP2016-034" at the lower right corner of each plan.
4. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy (CO). Plat mylars are to be submitted prior to issuance of building permit.
5. All exterior signage requires submittal and approval of a separate building permit through the building inspections department.

**VARIANCES and EXCEPTIONS FOR CITY COUNCIL TO CONSIDER:**

- \*\* 1. Art V, Sec. 6.11.C.1a of the N SH-205 OV requires each exterior wall to consist of 90% masonry materials,..., including 20% natural or quarried stone on walls which are visible from a public street or open space. The elevations as presented do not provide stone and does not meet this requirement.
- \*\* 2. Art V, Sec. 6.11.C.1a of the N SH-205 OV requires each exterior wall to consist of 90% masonry materials,..., and limits stucco to 50 percent of the buildings exterior finish. Also, stucco may not be located in the first four feet above grade where visible from a street or public area. The elevations indicate stucco exceeding 50% of the required masonry standard for the east and north elevations. Also, stucco is present at grade on the east elevation.
- \*\* 3. Art V, Sec. 6.11.C.5 of the N SH-205 BY OV requires all buildings shall be architecturally finished on all four sides with the same materials, detailing, and features. The east elevation does not meet this requirement.
- \*\* Approval of the variance requested to the N SH-205 OV requires passage by a 3/4 majority vote of City Council.

**EXCEPTION FOR CITY COUNCIL TO CONSIDER:**

- \*\*\*\*1. ArtV, Sec. 4.1. of the UDC - Exception to the Horizontal & Vertical Articulation Standards - the buildings north, south, and west elevations as submitted are not meeting the minimum requirements establish by the General Commercial District Standards for articulation.
- \*\*\*\* Approval of the exceptions to the horizontal and vertical articulation standards of the UDC requires passage by a simple majority vote of City Council.

Please address the following Planning Comments for each plan submitted:

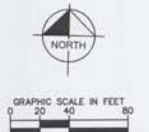
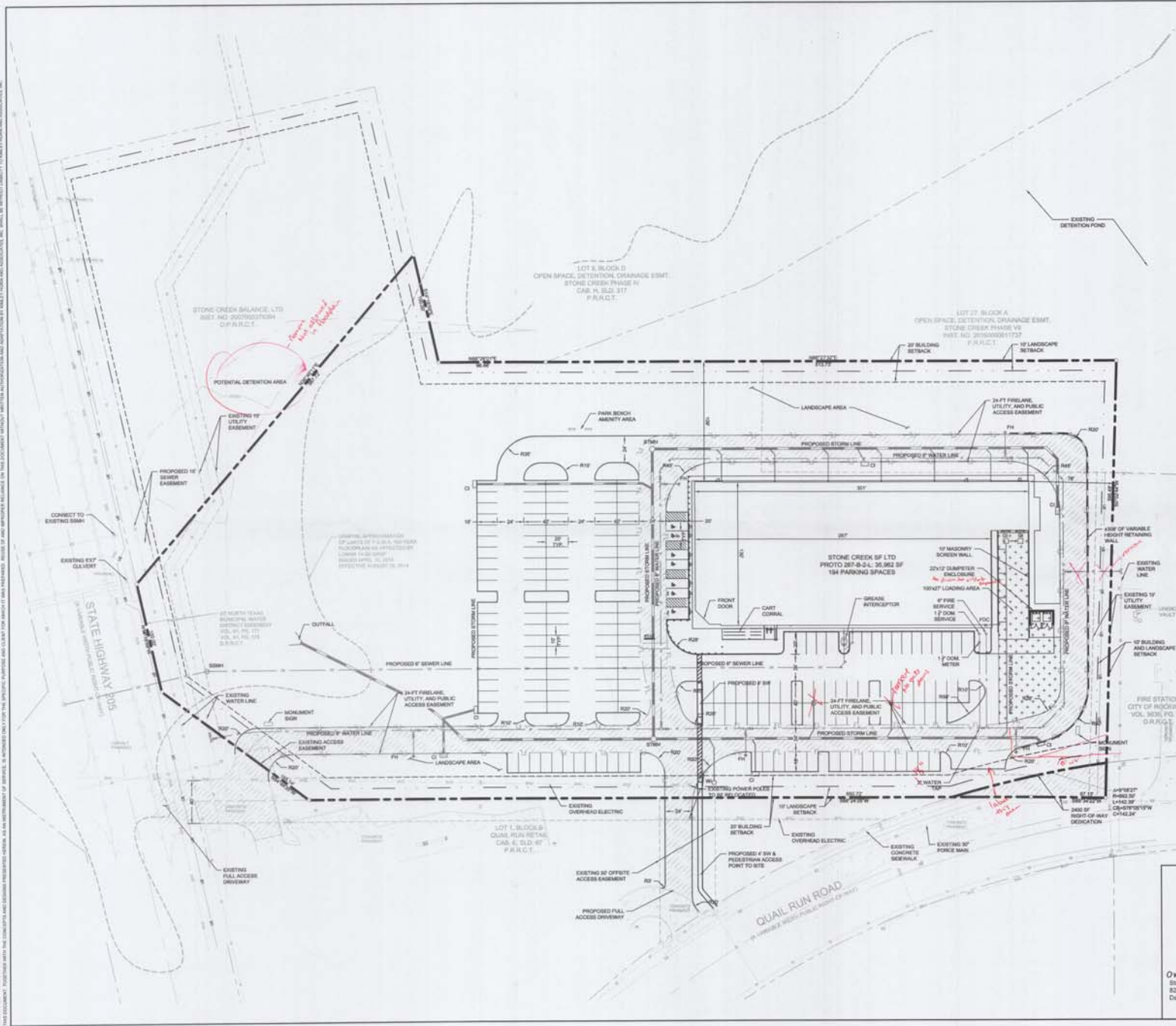
Site Plan:

1. Relabel title as "PD Site Plan"



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
2. Provide PD Development Plan elements on site plan (e.g. pedestrian orientation & accessibility, walking path, proposed access points to the site, tree & floodplain preservation, etc.)						
3. Indicate and label firelane and access as: "24-ft Firelane (minimum), Utility, and Public Access Easement" or as appropriate.						
4. Truck loading dock and dumpster are not to face a public street. Requires approval by the Planning and Zoning Commission.						
<b>Building Elevations:</b>						
1. Variance's and Exception to the N SH-205 OV as stated above requires approvals as noted by the City Council (of those Council members present).						
2. PD-70 does not allow for outside storage, display or merchandising unless specifically shown and approved on the PD Site Plan. The cart storage area is considered outside storage and requires approval by the Planning and Zoning Commission.						
3. RTU's are to be visually screened from right-of-ways and adjacent properties at the property line. Dash-in RTU's.						
4. What is "R-1" TPO Roof - is this an actually roof (parrapet, mansard style) or an extension of the elevations wall? What materials are being used? What does the 39.39% represent in the materials legend?						
5. Provide a materials samples board for the ARB review.						
<b>Landscape Plan:</b>						
1. Provide Sod in area's labeled as "seed" and remove the label "seed". Disturbed area's require erosion control prior to release of CO (see Engineerings standards of design).						
2. Correct "Planting Notes" #9 by removing the words "grass seeding" from the statement.						
<b>Photometric Plan:</b>						
1. The lighting pole standards are not to exceed a maximum overall heightof 20-ft (includes pole, base, or combination thereof) per the PD Ord. standards. Provide detail for pole standard. 2. Provide cut sheets for all exterior lighting fixtures.						
The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the PD Site Plan. If you have any quesitons regarding this case, please feel free to contact David Gonzales, AICP with thePlanning Department at 972-771-7745.						
<b>Meeting Dates to Attend:</b>						
Architectural Review Board: December 27, 2016 (5:00 p.m.) [applicant to receive recommendations from ARB]						
Planning - Work Session: December 27, 2016 (6:00p.m.) [applicant to present case to P&Z for discussion].						
Planning - Action: January 10, 2017 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, etc.)						
City Council - Action: January 17, 2016 (6:00 p.m.) [FOR VARIANCE & EXCEPTION REQUEST ONLY]						

DATE: 12/16/2016  
 PROJECT: RETAIL  
 CLIENT: KIMLEY-HORN AND ASSOCIATES, INC.  
 DRAWN BY: J. WILSON  
 CHECKED BY: J. WILSON  
 SCALE: AS SHOWN  
 SHEET NUMBER: SP-1



SITE DATA TABLE	
OWNER	PD 0204 SH 205 OVERLAY OR GENERAL RETAIL
PROPOSED USE	GENERAL RETAIL
LOT AREA (SF AND AC)	524,797 SF / 17.46 AC
OVERALL AREA (SF AND AC)	524,797 SF / 17.46 AC
BUILDING AREA	30,862 SF
BUILDING HEIGHT	25' 0" (2-STORY)
LOT COVERAGE	11.5%
FLOOR AREA RATIO	1.1
TOTAL PARKING REQUIRED	144 SPACES (1 PER 250 SF AREA)
TOTAL PARKING PROVIDED	194 SPACES
TOTAL LANDSCAP REQUIRED*	8 SPACES (1.1% MIN)
TOTAL LANDSCAP PROVIDED*	8 SPACES (1.1% MIN)

\*LANDSCAP IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

- LEGEND**
- PROPOSED STORM LINE
  - PROPOSED WATER LINE
  - PROPOSED SANITARY SEWER LINE
  - # OF PARKING SPACES
  - PROPOSED CLUB INLET
  - PROPOSED WYE INLET
  - PROPOSED GRATE INLET
  - PROPOSED SANITARY SEWER MANHOLE
  - PROPOSED STORM MANHOLE
  - PROPOSED FIRE HYDRANT
  - PROPOSED FIRE DEPARTMENT CONNECTION
  - 8" PAVEMENT (FINELINE)
  - 12" PAVEMENT (PARKING)
  - 1" HEAVY DUTY PAVEMENT (LOADING AREA)

- KEY**
- BFR BARRIER FREE RAMP
  - CI CURB INLET
  - WI WYE INLET
  - GI GRATE INLET
  - SSBH SANITARY SEWER MANHOLE
  - STM STORM MANHOLE
  - FH FIRE HYDRANT
  - FDC FIRE DEPARTMENT CONNECTION

*Handwritten notes:*  
 1. 20' FIRELINE UTILITY AND PUBLIC ACCESS EASEMENT  
 2. 10' MASONRY SCREEN WALL  
 3. 20'x12' DUMPSTER ENCLOSURE  
 4. 10'x12' LOADING AREA  
 5. 12' COIL SERVICE  
 6. 12' COIL SERVICE  
 7. 12' COIL SERVICE  
 8. 12' COIL SERVICE  
 9. 12' COIL SERVICE  
 10. 12' COIL SERVICE

JAN 05 2017

**PD CONCEPT PLAN**  
 Being 7.46 Acres Out Of The  
 S King Survey  
 Abstract No. 131  
 City of Rockwall, Rockwall County, Texas  
 Case Number: Z2016-046  
 Submitted December 16, 2016

**Owners:**  
 Stone Creek SF LTD  
 8214 Westchester Dr.  
 Dallas, TX 75225-6133

**Engineer/Surveyor:**  
 Kimley-Horn and Associates, Inc.  
 5270 Merit Dr., Suite 1000  
 Dallas, Texas 75251  
 Contact: Sara Williamson, P.E.  
 Phone: (972)776-1778

**Kimley-Horn**  
 12525 MERIT DRIVE, SUITE 1000, DALLAS, TEXAS  
 PHONE: 972.776.1000 FAX: 972.776.8800  
 TEXAS LICENSED PROFESSIONAL ENGINEER AND SURVEYOR

**RETAIL**  
 NEC OF SH 205 AND QUAIL RUN ROAD  
 CITY OF ROCKWALL, TX

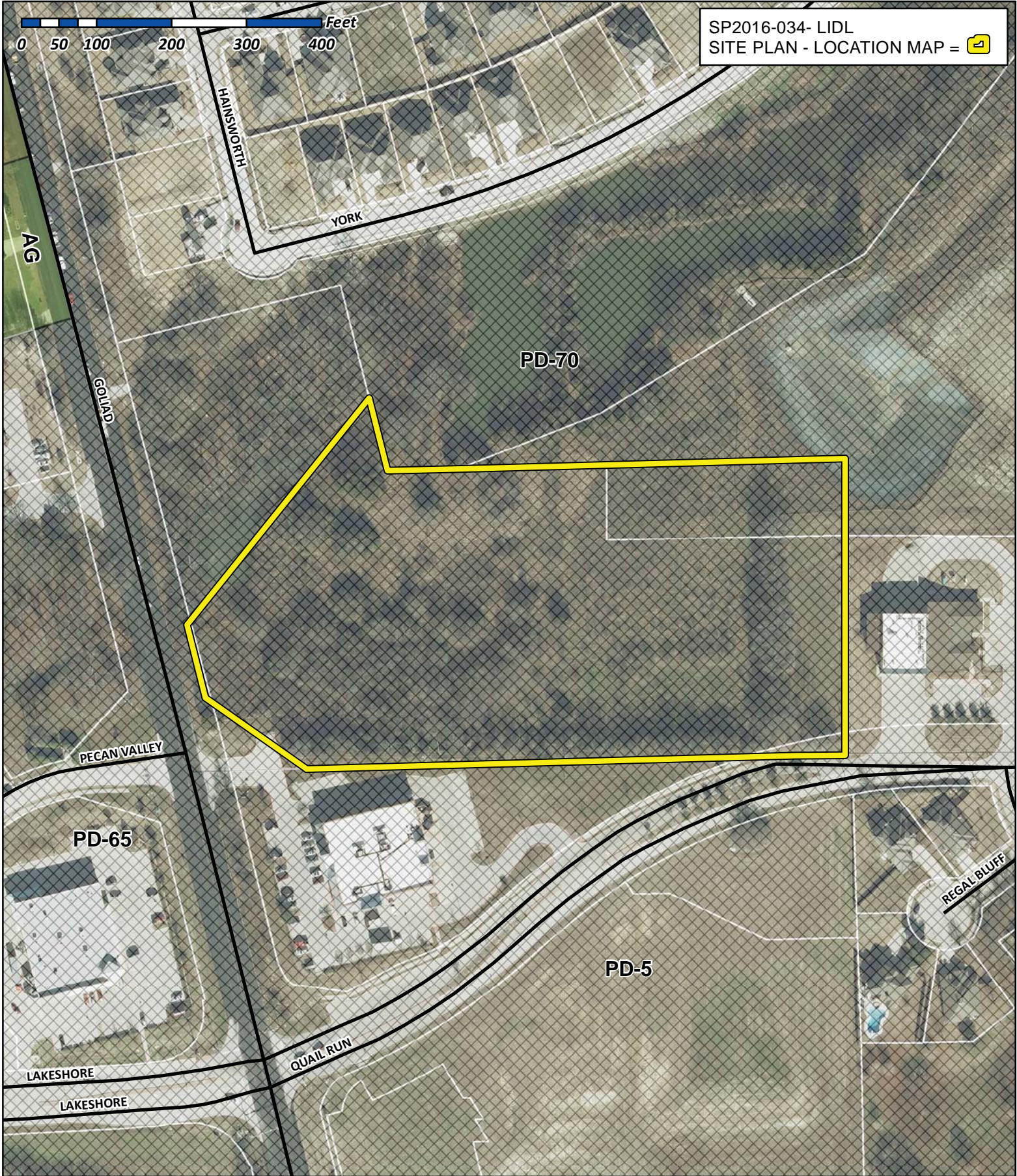
**PD CONCEPT PLAN**


SHEET NUMBER: SP-1

PROJECT NO.: 2016-046  
 DATE: DEC 2016  
 SCALE: AS SHOWN  
 DESIGNED BY:  
 DRAWN BY:  
 CHECKED BY:

NO. DATE





SP2016-034- LIDL  
 SITE PLAN - LOCATION MAP = 



# City of Rockwall

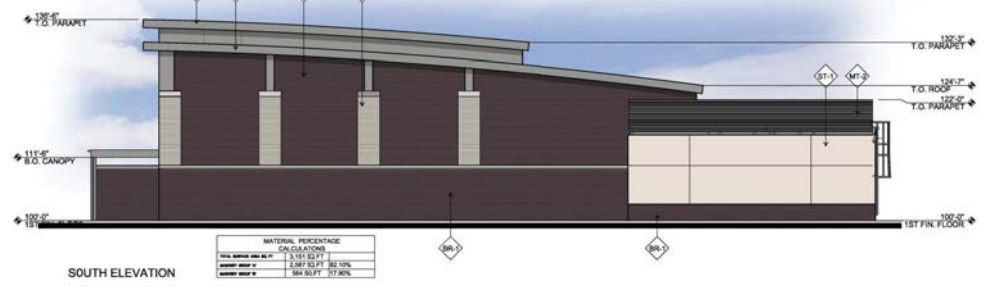
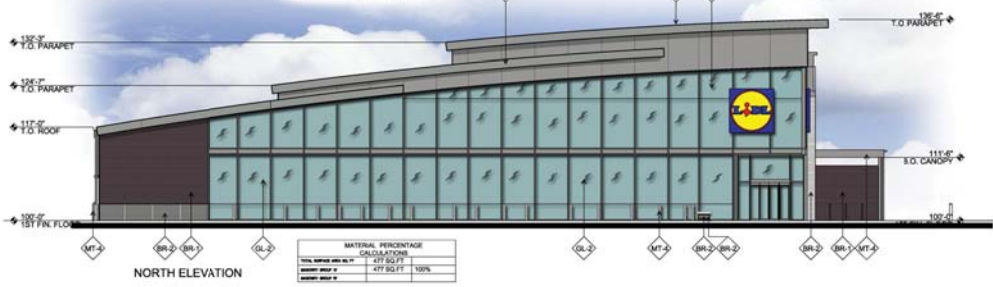
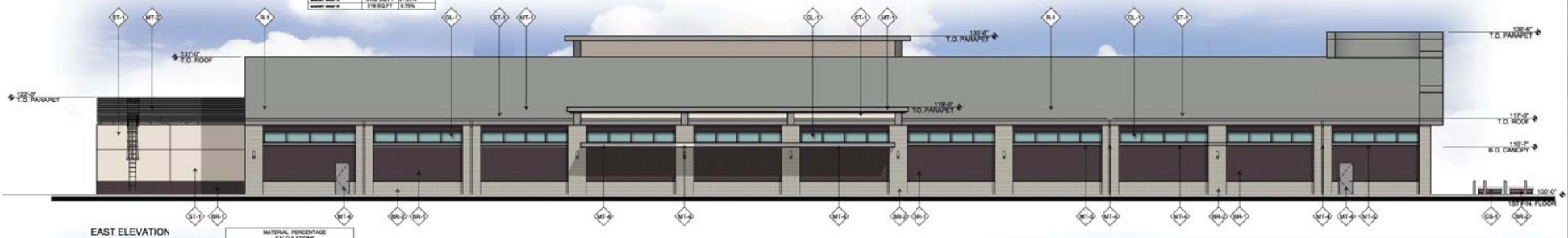
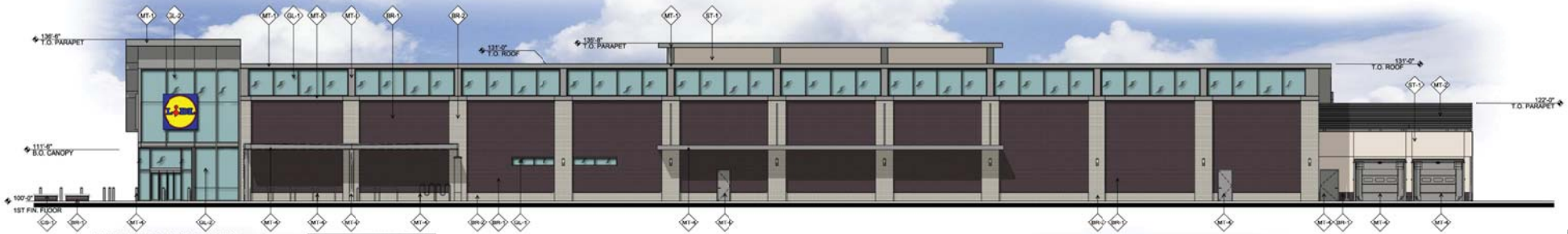
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

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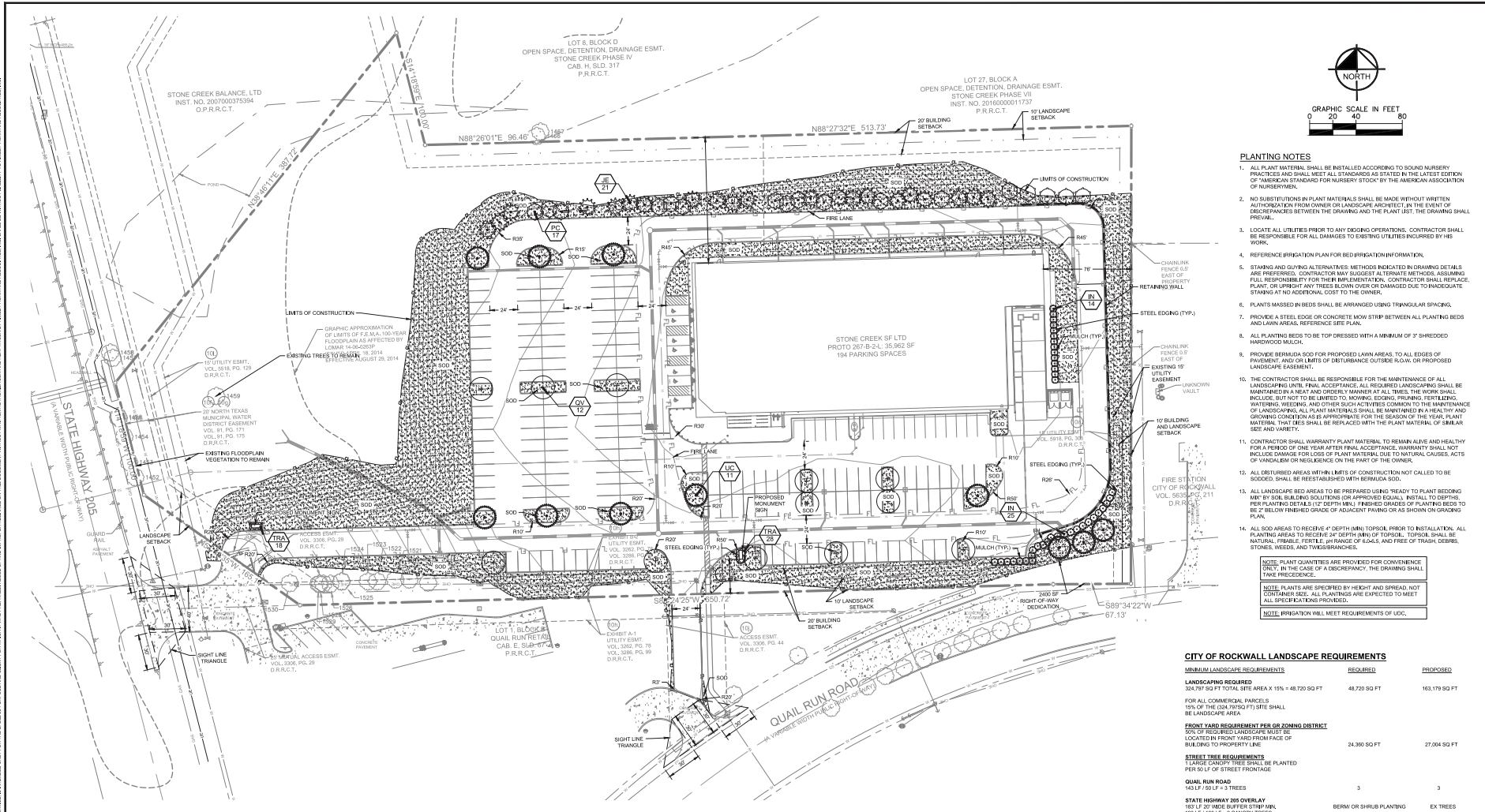








MATERIAL & FINISH SCHEDULE	
001	GLASS
002	ALUMINUM WINDOW FRAMES
003	ALUMINUM DOOR FRAMES
004	ALUMINUM STOREFRONT FRAMES
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- ### PLANTING NOTES
1. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD" FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
  2. NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL.
  3. LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
  4. REFERENCE IRRIGATION PLAN FOR IRRIGATION INFORMATION.
  5. STAKING AND GUYING ALTERNATIVE METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR IMPLEMENTATION. CONTRACTOR SHALL REPLACE PLANT, OR UPROOT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER.
  6. PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
  7. PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE SITE PLAN.
  8. ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDED HARDWOOD MULCH.
  9. PROVIDE BERMUDA SOIL FOR PROPOSED LAWN AREAS, TO ALL EDGES OF PAVEMENT AND/OR LIMITS OF DISTURBANCE OUTSIDE ROW OR PROPOSED LANDSCAPE EASEMENT.
  10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, MOVING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DOES NOT MEET THE SPECIFICATIONS SHALL BE REPLACED WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
  11. CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF GOD OR FORCE MAJEURE ON THE PART OF THE OWNER.
  12. ALL DELIMITED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SOULDED SHALL BE REESTABLISHED WITH BERMUDA SOIL.
  13. ALL LANDSCAPE BED AREAS TO BE PREPARED USING "READY TO PLANT" BEDDING MIX BY SOIL BUILDING SOLUTIONS (OR APPROVED EQUAL). INSTALL TO DEPTHS PER PLANTING DETAILS (2" DEPTH MIN.). FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
  14. ALL SOIL AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. ALL PLANTING AREAS TO RECEIVE 3" DEPTH (MIN) OF TOPSOIL. TOPSOIL SHALL BE NATURAL, FERTILE, FERTILE, pH RANGE OF 6.0-6.5, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIG BRANCHES.
- NOTE:** PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. THE USE OF A SPECIFICITY, THE DRAWING SHALL TAKE PRECEDENCE.
- NOTE:** PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT BY CALIPER. ALL PLANTING IS TO BE EXERCISED TO MEET ALL SPECIFICATIONS PROVIDED.
- NOTE:** IRRIGATION WILL MEET REQUIREMENTS OF UDC.

### CITY OF ROCKWALL LANDSCAPE REQUIREMENTS

MINIMUM LANDSCAPE REQUIREMENTS	REQUIRED	PROPOSED
LANDSCAPING REQUIRED 328,797 SQ FT TOTAL SITE AREA X 15% = 48,720 SQ FT	48,720 SQ FT	163,179 SQ FT
FOR ALL COMMERCIAL PARCELS OF 15% OF THE (324,797 SQ FT) SITE SHALL BE LANDSCAPE AREA		
FRONT YARD REQUIREMENT PER OR ZONING DISTRICT 50% OF REQUIRED LANDSCAPE MUST BE LOCATED IN FRONT YARD FROM FACE OF BUILDING TO PROPERTY LINE	24,360 SQ FT	27,004 SQ FT
STREET TREE REQUIREMENTS 1 LARGE CANOPY TREE SHALL BE PLANTED PER 50 LF OF STREET FRONTAGE		
QUAIL RUN ROAD 163 LF 10" LF x 3" TREES	3	3
STATE HIGHWAY 289 OVERLAY 12" LF 2" WIDE BUFFER STRIP MIN. 183 LF 150 LF x 2" CANOPY TREES - 4 (4" INCH CANOPY TREES - 4)	BERM OR SHRUB PLANTING 4	EX TREES 4
183 LF 150 LF x 4" ACCENT TREES = 8 ACCENT TREES, 4" HEIGHT MIN.		8 EX TREES
PARKING LOT REQUIREMENTS THERE SHALL BE A MINIMUM OF 1 TREE PER EVERY 50 PARKING SPACES WITHIN A PARKING LOT WITH MORE THAN 20,000 SQ FT		
194 SPACES = 10 + 20 TREES	20	20
INTERIOR LANDSCAPE REQUIREMENT 5% OF THE TOTAL PARKING LOT SHALL BE LANDSCAPE 83,004 SQ FT PARKING LOT @ 4,191 SQ FT	4,191 SQ FT	6,208 SQ FT
LOADING DOCK BUFFER SCREENING REQUIRED FROM ALL PUBLIC STREETS AND RESIDENTIAL DISTRICTS	YES	YES
MITIGATION MITIGATION REQUIRED - 429 PL. PROPOSED ADDITIONAL PLANTING - 114 PL. MITIGATION TO BE PROVIDED: 12" - 24" DALLON MIN. (429 PL - 199 PL = 230 PL)		

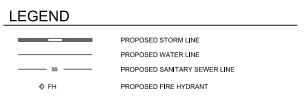
### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	REMARKS
	BN	39	Box x Nalle R Stevens / Nalle R Stevens Holly	8" Ht. 4" spr.	Full to Base, Straight
	JE	21	Jumpers virginiana / Eastern Red Cedar	3" cal. 12" H x 4" spr.	Full to Base, Straight
	PC	17	Pinus caroliniana / Carolina Laurel Cherry	3" cal. 8" H x 3" spr.	Full to Base, Straight
	QV	12	Quercus virginiana / Southern Live Oak	3" cal. 12" H x 4" spr.	Full, Single Leader, Straight
	UC	11	Ulmus crassifolia / Cedar Elm	3" cal. 12" H x 4" spr.	Full, Single Leader, Straight
	TRA	48	Trachypogon monanthus Asiatic / Asiatic zinnia	12" Ht. 12" spr. 18" cal.	Full, 1 gallon min.
	SOD	TBD	Cynodon dactylon Common Bermuda		Solid rolled light with sand tied joints, 100% weed disease free pest
	MULCH	TBD	Shredded Hardwood Mulch		3" depth min. all trees in soil to receive 4" diameter mulch ring

### SITE DATA TABLE

ZONING	PC-0700-N 205 OVERLAY OR GENERAL RETAIL
PROPOSED USE	GENERAL RETAIL
LOT AREA (SF AND AC)	324,797 SF / 7.46 AC
OVERSAIL AREA (SF AND AC)	324,797 SF / 7.46 AC
BUILDING AREA	29,992 SF
BUILDING HEIGHT	35'0" (1-STORY)
LOT COVERAGE	11.71%
FLOOR AREA RATIO	11
TOTAL PARKING REQUIRED	144 SPACES (1 PER 250 SF AREA)
TOTAL PARKING PROVIDED	194 SPACES
TOTAL HANDICAP REQUIRED	8 SPACES (1% MAX)
TOTAL HANDICAP PROVIDED	8 SPACES (1% MAX)

\*HANDICAP IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS



NOTES:  
 1. ALL PLANTING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD" FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.  
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 14. ALL SOIL AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. ALL PLANTING AREAS TO RECEIVE 3" DEPTH (MIN) OF TOPSOIL. TOPSOIL SHALL BE NATURAL, FERTILE, FERTILE, pH RANGE OF 6.0-6.5, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIG BRANCHES.  
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 NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

DATE: \_\_\_\_\_

REVISED: \_\_\_\_\_

NO. \_\_\_\_\_

12700 MERIT DR. SUITE 1000 DALLAS, TEXAS 75244  
 TEXAS REGISTERED ENGINEERING FIRM #268

**PRELIMINARY**

**Kimley-Horn**

LANDSCAPE ARCHITECTS

PROJECT NO. 2024000141

DATE: DECEMBER 07, 2024

SCALE: AS SHOWN

DESIGNED BY: JEN

DRAWN BY: JEN

CHECKED BY: JUP

**RETAIL**

**LANDSCAPE PLAN**

NWC OF SH 205 AND QUAIL RUN ROAD

CITY OF ROCKWALL, TX

SHEET NUMBER

**LP 1.01**

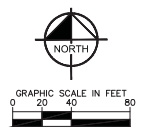
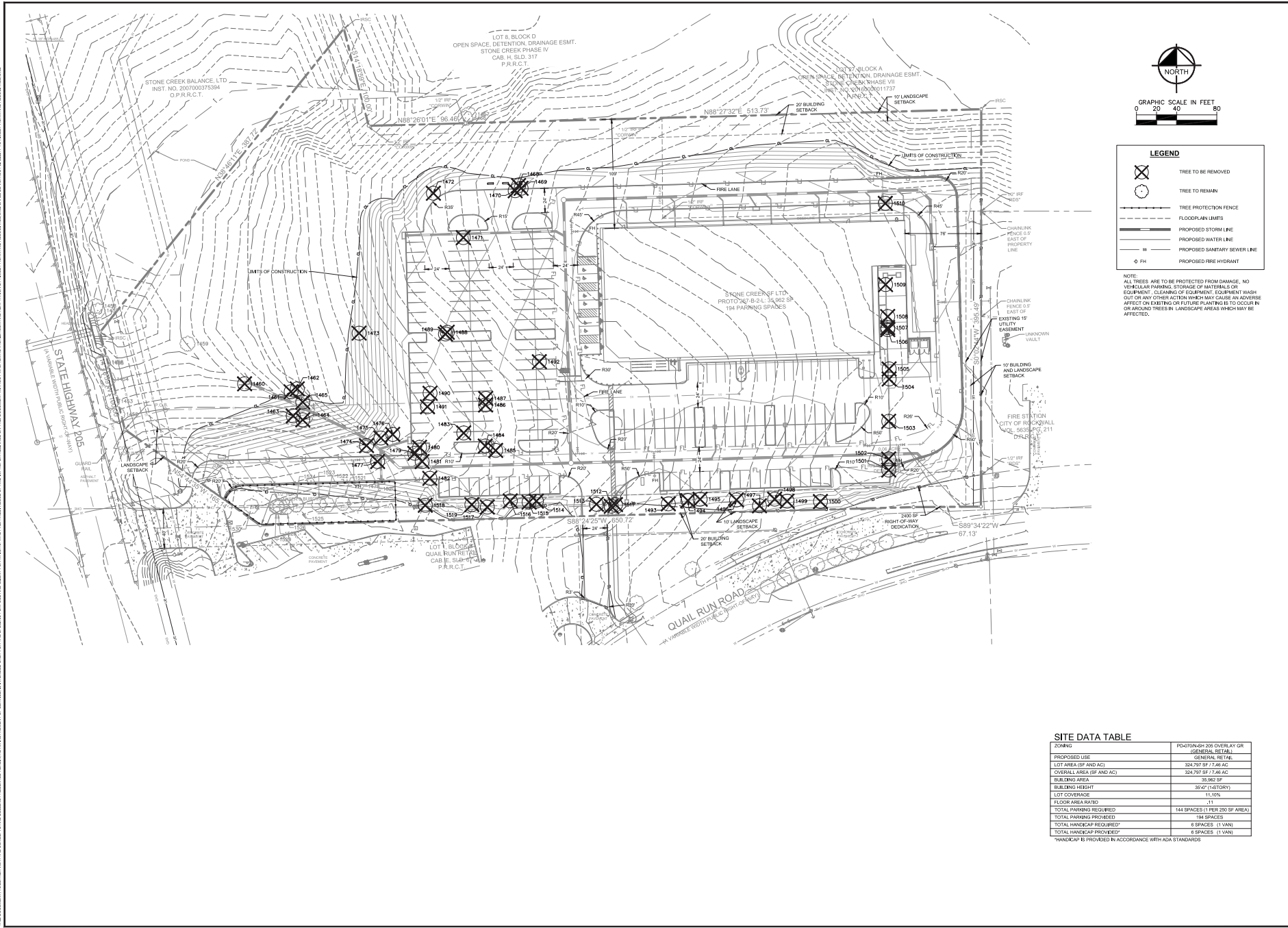
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DATE: 12/07/2016  
 TIME: 10:00 AM  
 USER: JHARRIS  
 PROJECT: RETAIL NWC OF SH 205 AND QUAIL RUN ROAD  
 SHEET: TRESCAPE PLAN  
 DRAWN BY: JEN  
 CHECKED BY: RUP

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**LEGEND**

	TREE TO BE REMOVED
	TREE TO REMAIN
	TREE PROTECTION FENCE
	FLOODPLAIN LIMITS
	PROPOSED STORM LINE
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED FIRE HYDRANT

NOTE:  
 ALL TREES ARE TO BE PROTECTED FROM DAMAGE, NO VEHICULAR PARKING, STORAGE OF MATERIALS OR EQUIPMENT, CLEANING OF EQUIPMENT, EQUIPMENT WASH OUT OR ANY OTHER ACTION WHICH MAY CAUSE AN ADVERSE AFFECT ON EXISTING OR FUTURE PLANTING IS TO OCCUR IN OR AROUND TREES IN LANDSCAPE AREAS WHICH MAY BE AFFECTED.

**SITE DATA TABLE**

ZONING	P20-070N-SH-205 OVERLAY OR (GENERAL RETAIL)
PROPOSED USE	GENERAL RETAIL
LOT AREA (SF AND AC)	324,797 SF 7.46 AC
OVERALL AREA (SF AND AC)	324,797 SF 7.46 AC
BUILDING AREA	35,562 SF
BUILDING HEIGHT	35'-0" (1-STORY)
LOT COVERAGE	11.0%
FLOOR AREA RATIO	<11
TOTAL PARKING REQUIRED	144 SPACES (1 PER 250 SF AREA)
TOTAL PARKING PROVIDED	84 SPACES
TOTAL HANDICAP REQUIRED*	8 SPACES (1 VAN)
TOTAL HANDICAP PROVIDED*	6 SPACES (1 VAN)

\*HANDICAP IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

NO.	DATE	BY

**Kimley-Horn**  
 12700 MERIT DR. SUITE 1000 DALLAS, TEXAS 75244  
 TEL: 972.343.8300 FAX: 972.343.8301  
 WWW.KIMLEY-HORN.COM

**PRELIMINARY**  
**Kimley-Horn**  
 12700 MERIT DR. SUITE 1000 DALLAS, TEXAS 75244  
 TEL: 972.343.8300 FAX: 972.343.8301  
 WWW.KIMLEY-HORN.COM

PROJECT NO.	160600141
DATE	DECEMBER 07/16
SCALE	AS SHOWN
DESIGNED BY	JEN
DRAWN BY	JEN
CHECKED BY	RUP

**RETAIL**  
 NWC OF SH 205 AND QUAIL RUN ROAD  
 CITY OF ROCKWALL, TX

**TRESCAPE PLAN**

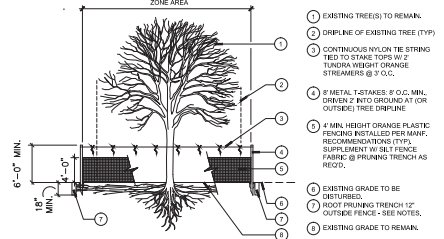
SHEET NUMBER  
**LT 1.01**



SHEET NO. 10  
 DATE: 12/15/2016  
 DRAWN BY: JEN  
 CHECKED BY: JEN  
 PROJECT: RETAIL TRESSCAPE DETAILS  
 CLIENT: NWC OF SH 205 AND QUAIL RUN ROAD  
 CITY: ROCKWALL, TX  
 SCALE: AS SHOWN  
 SHEET NO. 10 OF 10

**TREE INVENTORY**

TAG#	DBH	COMMON NAME	SCIENTIFIC NAME	CONDITION	MULTIPLE STEMMED	STATUS	MITIGATION INCHES
1452	11.4	hackberry	Celtis laevigata	Healthy	Single	Remain	0
1453	25.7	American elm	Ulmus americana	Declining	Forked	Remain	0
1454	19.5	American elm	Ulmus americana	Healthy	Single	Remain	0
1455	6.4	American elm	Ulmus americana	Healthy	Single	Remain	0
1456	19.9	American elm	Ulmus americana	Healthy	Single	Remain	0
1457	35.7	pecan	Carya illinoensis	Declining	Forked	Remain	0
1458	16.8	pecan	Carya illinoensis	Declining	Single	Remain	0
1459	18.5	cedar elm	Ulmus crassifolia	Healthy	Single	Remain	0
1460	20.2	cedar elm	Ulmus crassifolia	Healthy	Single	Remain	20.2
1461	4.5	American elm	Ulmus americana	Healthy	Single	Remove	4.5
1462	4.0	cedar elm	Ulmus crassifolia	Healthy	Single	Remove	4.5
1463	4.1	cedar elm	Ulmus crassifolia	Healthy	Single	Remove	4.1
1484	5.2	cedar elm	Ulmus crassifolia	Healthy	Single	Remove	5.2
1465	5.0	cedar elm	Ulmus crassifolia	Healthy	Single	Remove	5.0
1466	17.5	eastern redcedar	Juniperus virginiana	Healthy	Single	Remain	0
1467	9.4	American elm	Ulmus americana	Healthy	Single	Remain	0
1468	5.0	Hercules-club	Zanthoxylum clava-herculis	Healthy	Single	Remove	5
1469	6.5	Hercules-club	Zanthoxylum clava-herculis	Healthy	Single	Remove	6.5
1470	6.0	Hercules-club	Zanthoxylum clava-herculis	Healthy	Multi	Remove	6
1471	7.5	Callery pear	Pyrus calleryana	Healthy	Multi	Remove	7.5
1472	15.0	hackberry	Celtis laevigata	Healthy	Single	Remove	7.5
1473	13.5	hackberry	Celtis laevigata	Healthy	Single	Remove	6.75
1474	4.7	Hercules-club	Zanthoxylum clava-herculis	Healthy	Single	Remove	4.7
1475	6.9	American elm	Ulmus americana	Healthy	Single	Remove	6.9
1476	5.4	American elm	Ulmus americana	Healthy	Single	Remove	4.7
1477	4.7	pecan	Carya illinoensis	Declining	Single	Remove	4.7
1478	9.0	pecan	Carya illinoensis	Declining	Single	Remain	0
1479	6.5	cedar elm	Ulmus crassifolia	Healthy	Single	Remove	6.5
1480	5.3	cedar elm	Ulmus crassifolia	Healthy	Single	Remove	5.3
1481	4.1	cedar elm	Ulmus crassifolia	Healthy	Single	Remove	4.7
1482	8.8	pecan	Carya illinoensis	Declining	Single	Remove	8.8
1483	14.4	hackberry	Celtis laevigata	Healthy	Single	Remove	6.95
1484	5.0	American elm	Ulmus americana	Healthy	Single	Remove	5
1485	4.5	cedar elm	Ulmus crassifolia	Healthy	Single	Remove	4.5
1486	5.9	Hercules-club	Zanthoxylum clava-herculis	Declining	Single	Remove	5.9
1487	4.5	Hercules-club	Zanthoxylum clava-herculis	Declining	Single	Remove	4.5
1488	11.6	hackberry	Celtis laevigata	Healthy	Single	Remove	5.8
1489	12.6	hackberry	Celtis laevigata	Healthy	Single	Remove	6.3
1490	4.1	cedar elm	Ulmus crassifolia	Healthy	Single	Remove	4.1
1491	6.9	American elm	Ulmus americana	Healthy	Single	Remove	6.9
1492	11.1	hackberry	Celtis laevigata	Healthy	Single	Remove	5.6
1493	13.7	hackberry	Celtis laevigata	Hazard	Single	Remove	Exempt
1494	13.9	hackberry	Celtis laevigata	Healthy	Single	Remove	6.95
1495	14.4	hackberry	Celtis laevigata	Healthy	Single	Remove	7.2
1496	8.1	Hercules-club	Zanthoxylum clava-herculis	Healthy	Single	Remove	8.1
1497	23.7	hackberry	Celtis laevigata	Healthy	Multi	Remove	11.85
1498	12.6	hackberry	Celtis laevigata	Healthy	Single	Remove	6.3
1499	14.7	hackberry	Celtis laevigata	Healthy	Single	Remove	7.35
1500	8.7	cedar elm	Ulmus crassifolia	Healthy	Single	Remove	8.7
1501	37.0	hackberry	Celtis laevigata	Healthy	Multi	Remove	18.5
1502	29.5	hackberry	Celtis laevigata	Healthy	Single	Remove	14.75
1503	15.0	hackberry	Celtis laevigata	Healthy	Single	Remove	7.5
1504	30.5	hackberry	Celtis laevigata	Declining	Single	Remove	Exempt
1505	21.0	cedar elm	Ulmus crassifolia	Healthy	Single	Remove	21
1506	31.7	cedar elm	Ulmus crassifolia	Declining	Forked	Remove	Exempt
1507	17.1	hackberry	Celtis laevigata	Healthy	Single	Remove	8.6
1508	30.0	hackberry	Celtis laevigata	Hazard	Forked	Remove	Exempt
1509	13.2	hackberry	Celtis laevigata	Healthy	Single	Remove	6.6
1510	36.6	hackberry	Celtis laevigata	Declining	Forked	Remove	Exempt
1511	19.4	hackberry	Celtis laevigata	Healthy	Single	Remove	9.7
1512	23.5	hackberry	Celtis laevigata	Healthy	Forked	Remove	11.8
1513	17.2	hackberry	Celtis laevigata	Healthy	Single	Remove	8.6
1514	15.4	hackberry	Celtis laevigata	Healthy	Single	Remove	7.7
1515	5.4	American elm	Ulmus americana	Healthy	Single	Remove	5.4
1516	13.8	hackberry	Celtis laevigata	Healthy	Single	Remove	6.9
1517	7.2	cedar elm	Ulmus crassifolia	Healthy	Single	Remove	7.2
1518	12.2	hackberry	Celtis laevigata	Healthy	Single	Remove	6.7
1519	35.2	cedar elm	Ulmus crassifolia	Healthy	Forked	Remove	70.4
1520	14.0	hackberry	Celtis laevigata	Healthy	Single	Remain	0
1521	14.4	hackberry	Celtis laevigata	Healthy	Single	Remain	0
1522	11.9	hackberry	Celtis laevigata	Healthy	Single	Remain	0
1523	13.3	cedar elm	Ulmus crassifolia	Healthy	Single	Remain	0
1524	17.5	hackberry	Celtis laevigata	Healthy	Single	Remain	0
1525	14.0	hackberry	Celtis laevigata	Healthy	Single	Remain	0
1526	8.5	cedar elm	Ulmus crassifolia	Healthy	Single	Remain	0
1527	10.0	cedar elm	Ulmus crassifolia	Healthy	Single	Remain	0
1528	4.4	cedar elm	Ulmus crassifolia	Healthy	Single	Remain	0
1529	7.7	cedar elm	Ulmus crassifolia	Healthy	Single	Remain	0
1530	18.9	cedar elm	Ulmus crassifolia	Healthy	Single	Remain	0
<b>TOTAL MITIGATION INCHES:</b>							<b>428.25</b>



- NOTES:**
1. PERFORM ROOT PRUNING ON ALL EXISTING TREES TO REMAIN WHERE CONSTRUCTION ACTIVITY FALLS WITHIN DRIP LINE OF EXISTING TREES.
  2. ROOT PRUNING METHOD: 3 MONTHS PRIOR TO EXCAVATION A CONSTRUCTION ACTIVITIES, HAND CUT ROOTS BY DIGGING A 18"X24" DEEP X 8" WIDE TRENCH ALONG THE OUTSIDE PERIMETER OF EXISTING CRITICAL TO CONSTRUCTION AREAS. MAINTAIN PRUNING TRENCH DISTANCE FROM TRUNK TO THE FULLEST EXTENT POSSIBLE, WITH THE ROOT PRUNING LINE PLACED @ THE EDGE OF CONSTRUCTION LIMITS.

**TREE PROTECTION DETAIL**

NOTE: TREE PROTECTION TO BE USED AS NECESSARY TO PRESERVE ALL TREES FROM ADJACENT EXISTING BUILDING.

**TREE PRESERVATION/ REMOVAL NOTES:**

1. CONTRACTOR SHALL COORDINATE WITH A CERTIFIED ARBORIST AND PROPERTY OWNERS TO VERIFY OBJECTIVES PRIOR TO COMMENCING ANY PRUNING OR TREE REMOVAL ACTIVITIES.
2. ALL CREW MEMBERS SHOULD BE WEARING THE APPROPRIATE SAFETY GEAR: HARD HATS, EYE PROTECTION, APPROVED BOOTS, HEARING PROTECTION, CHAIN SAW CHAPS FOR GROUNDWORK.
3. ANY TREES REMOVED AND ALL TREE MATERIALS REMOVED SHALL BE REMOVED FROM THE PROPERTY AT THE CONTRACTOR'S EXPENSE.
4. ALL TRASH AND DEBRIS FROM ANY CONSTRUCTION RELATED ACTIVITIES SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE, FOLLOWING COMPLETION OF THE PROJECT, PRE-CONSTRUCTION CONDITION.
5. ANY DAMAGE TO THE EXISTING LANDSCAPE, PAVEMENT, BUILDING, OR ANY OTHER SITE FEATURES SHALL BE REPLACED BY THE CONTRACTOR AND/OR RESTORED TO PRE-CONSTRUCTION CONDITION.
6. CONTRACTOR SHALL PROVIDE REMOVAL, STORAGE, AND TRANSPORTING OF EXISTING TREES ON SITE. THE CONTRACTOR SHALL REMOVE EACH EXISTING TREE THROUGH THE USE OF HAND DIGGING OR WITH THE USE OF AN APPROVED MECHANICAL DEVICE. TREES SHALL BE BUNDED AS NEEDED & BUNDLES THE SPECIFIC FOR ANGLE STANDARDS, AND TRANSPORTED TO NEW LOCATION ON SITE, OR AT ALTERNATE SITE AS DIRECTED OR APPROVED BY THE OWNER. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY TO PROVIDE REMOVAL, PLACEMENT OF BUNDS, PLACEMENT OF WIRE BASKET OR OTHER APPROVED BALL-SUPPORTING DEVICES, TRANSPORT TO TEMPORARY STORAGE AREA, ONGOING MAINTENANCE AND WATERING DURING CONSTRUCTION, AND RE-PLANTING TO BE PERFORMED UPON COMPLETION OF MAJOR SITE WORK. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GUIDELINES AND RECOMMENDATIONS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK.

**TREE REPLACEMENT NOTES:**

1. PROTECTED TREES (MEASURING FOUR INCHES THROUGH 20 INCHES DBH) SHALL BE REPLACED WITH CALIPER INCHES EQUAL TO THE TOTAL DIAMETERS OF THE TREES REMOVED, EXCEPT AS SHOWN IN ITEM 8 BELOW.
2. PROTECTED FEATURE TREES (8 INCHES DBH OR LARGER) IF APPROVED FOR REMOVAL WILL BE REPLACED WITH TWICE THE NUMBER OF INCHES AS THE TREES REMOVED.
3. THE REPLACEMENT TREE MUST BE MAINTAINED IN A HEALTHY GROWING CONDITION FOR A MINIMUM OF TWO YEARS AFTER PLANTING.
4. A REPLACEMENT TREE SHALL NOT BE PLANTED WITHIN AN AREA SUCH THAT THE MATURE ROOT ZONE WILL INTERFERE WITH UNDERGROUND UTILITIES LINES, AND/OR WHERE THE MATURE CANOPY OF THE TREE WILL INTERFERE WITH OVERHEAD UTILITY LINES.
5. NO TREE SHALL BE PLANTED WITHIN 10 FEET OF A FIRE HYDRANT, WATER OR SEWER LINE.
6. HACKBERRY AND CEDAR TREES THAT ARE 11 INCHES DBH OR LARGER, SHALL BE REPLACED AT 50 PERCENT OF THE TOTAL CALIPER INCHES BEING REMOVED. PROTECTED OR FEATURE TREES SHALL NOT INCLUDE THE FOLLOWING SPECIES: BOWENIA, WILLOW, COTTONWOOD, LOCUST AND CHINA BERRY. IN ADDITION, HACKBERRY AND CEDAR TREES THAT ARE LESS THAN 11 INCHES DBH SHALL NOT BE CONSIDERED A PROTECTED TREE.

**Kimley»Horn**

15700 MERIT DR, SUITE 1000, DALLAS, TEXAS 75244  
TELEPHONE: 972.707.8800  
WWW.KIMLEY-HORN.COM

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**PRELIMINARY**

**Kimley»Horn**

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PROJECT NO. 24000044  
DATE: DECEMBER 07/16  
SCALE: AS SHOWN  
DESIGNED BY: JEN  
DRAWN BY: JEN  
CHECKED BY: JEN

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**RETAIL TRESSCAPE DETAILS**

NWC OF SH 205 AND QUAIL RUN ROAD  
CITY OF ROCKWALL, TX

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**TREESCAPE DETAILS**

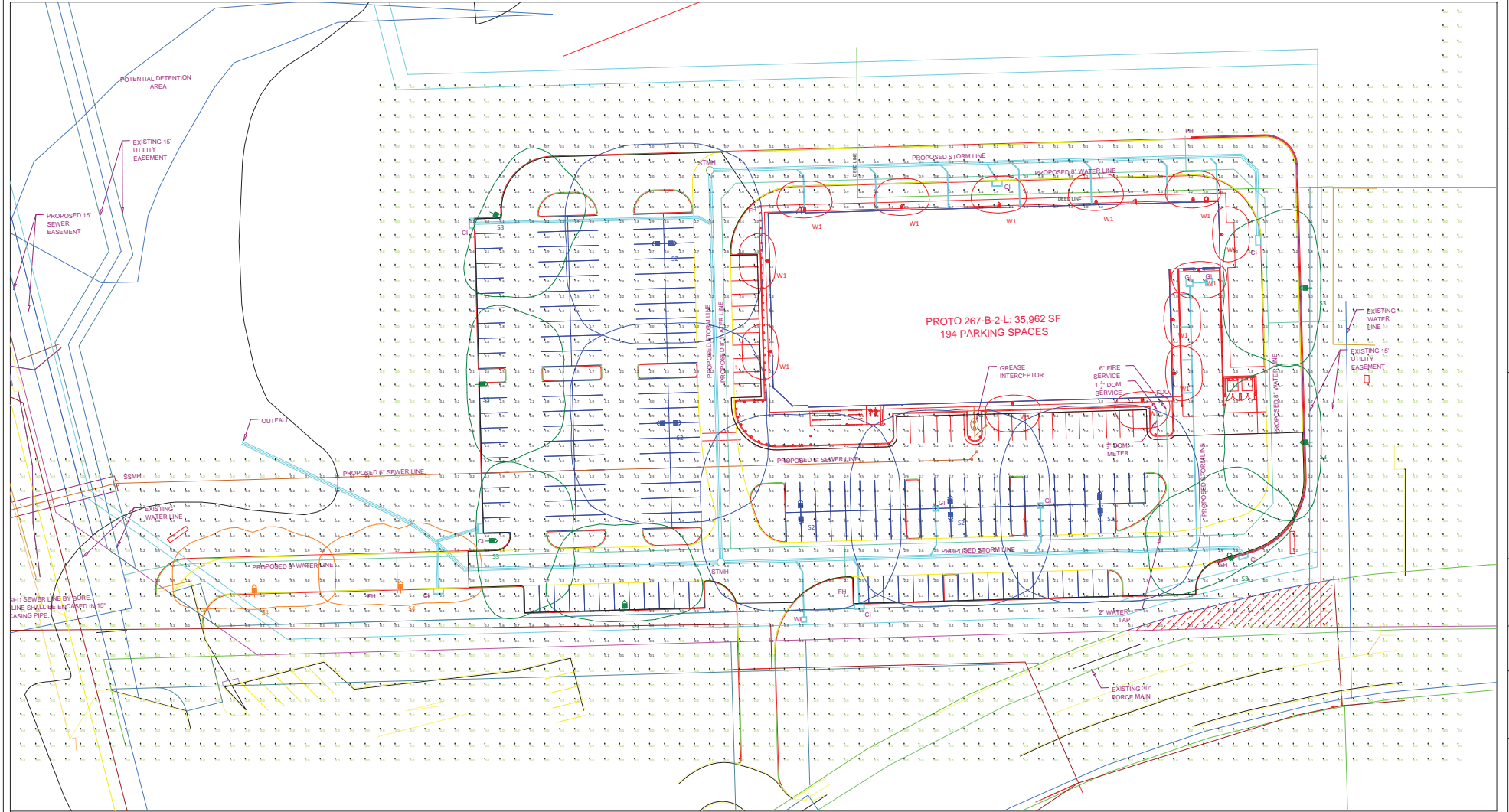
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SHEET NUMBER  
**LT 2.01**

PHILIPS Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Manufacturer	Description	LLF	Lum. Lumens	Lum. Watts	BUG Rating
	5	S2	BACK-BACK	PHILIPS GARDCO	ECF-2-5-215LA-641A-NW @ 25'	0.850	20874	210.3	B5-U0-G3
	7	S3	SINGLE	PHILIPS GARDCO	ECF-1-4-215LA-641A-NW-IS @ 25'	0.850	15431	211.7	B2-U0-G3
	2	S4	SINGLE	PHILIPS GARDCO	ECF-1-3-215LA-641A-NW-IS @ 25'	0.850	16032	210.9	B2-U0-G3
	13	W1	WALL MOUNT	PHILIPS GARDCO	121-16L-700-NW-G3-3 @ 14'	0.850	3421	38.4	B1-U0-G1

Calculation Summary											
Label	Avg	Max	Min	Avg/Min	Max/Min	Units	CalcType	PSpctr	PSpctb	Rev	Date
FULL SITE	0.84	4.1	0.0	N.A.	N.A.	Fc	Illuminance	10	10		
PARKING LOT	2.44	4.1	1.0	2.44	4.10	Fc	Illuminance				

- NOTE(S):  
 1. ALL VALUES SHOWN ARE HORIZONTAL MAINTAINED FOOTCANDLES AT GRADE  
 2. FIXTURE DISTRIBUTION TEMPLATES ARE SHOWN AT 1.0 FC FOR REFERENCE USE ONLY  
 3. VALUES DO NOT INCLUDE CONTRIBUTION FROM ADJACENT STREET OR PROPERTY LIGHTING



Scale: 1 inch= 30 Ft.

 <a href="http://www.philipslighting.com">http://www.philipslighting.com</a> 1-800-441-2222	Project #: 9004-13914 Created By: B. Kozlowski	Date: 12/7/2016 Size: ARCH D	Project: LDI US #244 Rockwell, TX Tim Kowalsky Sarah Beth White	Description: Rev. # BI
	Disclaimer: Philips Lighting Inc. and its subsidiaries and affiliates ("Philips") warrant that the products described herein are designed and manufactured to meet the performance specifications set forth in the Philips product literature. Philips does not warrant that the products described herein will be suitable for use in any application not specifically mentioned in the Philips product literature. Philips is not responsible for any damage or injury resulting from the use of the products described herein in any application not specifically mentioned in the Philips product literature. Philips Lighting Inc. and its subsidiaries and affiliates are not responsible for any damage or injury resulting from the use of the products described herein in any application not specifically mentioned in the Philips product literature.			

24"x 36"



Project: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Cat.No: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Qty: \_\_\_\_\_  
 Notes: \_\_\_\_\_

Philips Gardco LED wall sconce 121 offers distinction through its styling, powerful optical design, array of distributions, and impressive selection of control possibilities. Designed to add an element of style to your application by pairing straight lines with rounded edges, the form of the 121 is timeless, yet contemporary, and will complement a wide assortment of architectural styles and designs, while delivering high light levels and functional distributions. 121 sconces are available in Type 2, 3, and 4 distributions, and provide output of up to 10,103 lumens. Energy saving control options help to increase energy savings and offer California Title 24 compliance. Emergency Battery Backup option available for path-of-egress and is integral to the luminaire.

**Ordering guide**

example: 121-32L-700-NW-G3-3-120-IMRI2-BZ

Prefix	Number of LEDs	Drive Current	LED Color - Generation	Distribution	Emergency	Voltage	Options		
							Controls	Electrical	Finish
<b>121</b>									
<b>121</b> LED wall sconce	<b>16L</b> 16 LEDs (1 modules)	<b>530</b> 530mA <b>650</b> 650mA <sup>1</sup> <b>700</b> 700mA <b>1000</b> 1000mA <b>1200</b> 1200mA <sup>2</sup>	<b>CW-G3</b> Cool White 5700K, 70CRI Generation 3 <b>NW-G3</b> Neutral White 4000K, 70CRI Generation 3 <b>WW-G3</b> Warm White 3000K, 70CRI Generation 3	<b>2</b> Type 2 <b>3</b> Type 3 <b>4</b> Type 4	<b>EBPC</b> Emergency Battery Pack Cold Weather <sup>3,4</sup>  Leave blank to omit an emergency option	<b>UNV</b> 120-277V <b>HVU</b> 347-480V <b>120</b> 120V <b>208</b> 208V <b>240</b> 240V <b>277</b> 277V <b>347</b> 347V <b>480</b> 480V	<b>DD</b> 0-10V Dimming Driver <sup>5</sup> <b>DCC</b> Dual Circuit Control <sup>6,7,8</sup> <b>DynaDimmer:</b> Automatic Profile Dimming <b>CS50</b> Safety 50% Dimming <sup>5,6</sup> <b>CM50</b> Median 50% Dimming <sup>5,6</sup> <b>CE50</b> Economy 50% Dimming <sup>5,6</sup> <b>DA50</b> All Night 50% Dimming <sup>5,6</sup> <b>Photoelectric Systems</b> <b>PCB</b> Photocontrol Button <sup>9,10,11</sup> <b>Infrared Motion Response Systems</b> <b>IMRI2</b> Integral with #2 lens <sup>3,5</sup> <b>IMRI3</b> Integral with #3 lens <sup>3,5</sup> <b>Wireless Controls</b> (luminaire mounted) <b>LLC2</b> Module with #2 lens <sup>5,6</sup> <b>LLC3</b> Module with #3 lens <sup>5,6</sup>	<b>Fusing</b> <b>F1</b> Single (120, 277, 347VAC) <sup>10</sup> <b>F2</b> Double (208, 240, 480VAC) <sup>10</sup> <b>F3</b> Canadian Double Pull (208, 240, 480VAC) <sup>10</sup>	<b>Textured</b> <b>BK</b> Black <b>WH</b> White <b>BZ</b> Bronze <b>DGY</b> Dark Gray <b>MGY</b> Medium Gray <b>Customer specified</b> <b>RAL</b> Specify optional color or RAL (ex: OC-LGP or OC-RAL7024) <b>CC</b> Custom color (Must supply color chip for required factory quote)

- 1. Only available with EBPC
- 2. Only available with 16 LEDs
- 3. Available in 120V or 277V only
- 4. EBPC available only in 530mA or 650mA
- 5. Not available with 1.2A drive current
- 6. Available in 120V thru 277V and UNV only.
- 7. DCC available only in 530mA with 32 LED
- 8. Not available with EBPC
- 9. Not available with DCC
- 10. Voltage must be specified
- 11. Not available in 480V

# 121 LED wall sconce

## Wall mount

### Luminaire Accessories (order separately)

#### Mounting Accessories

##### Wall Mount

**WS** Wall Mounted Box for Surface Conduit

#### Controls Accessories

##### Wireless controls remote mount module

**LLCR2-(F)** #2 lens - specify finish in place of (F)

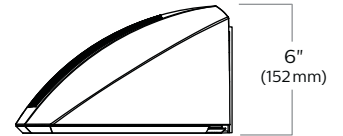
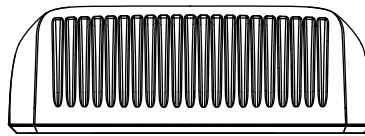
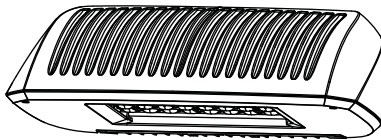
**LLCR3-(F)** #3 lens - specify finish in place of (F)

##### Wireless controls remote controller accessory

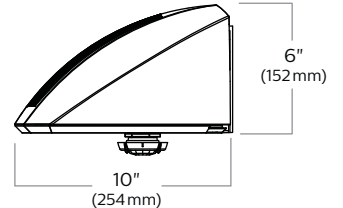
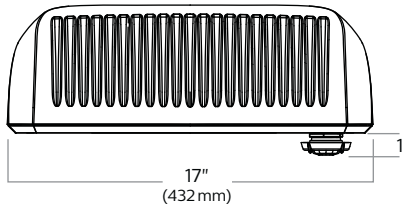
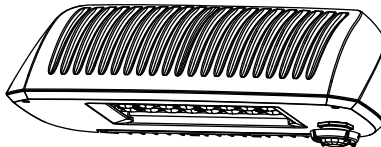
Wireless controls system offers a remote radio/sensor module that allows connectivity to Wireless system gateway. Remote module can be mounted to wall or pole with j-box supplied. May be specified by choosing one of two different lenses to accommodate a variety of mounting heights/sensor detection ranges. Must specify option DD on luminaires that are planned to be used with remote mount controllers. See page 4 for Wireless Controls details.

### Dimensions

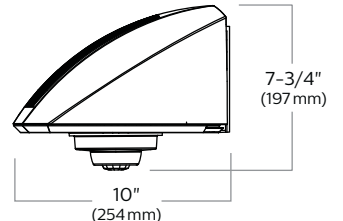
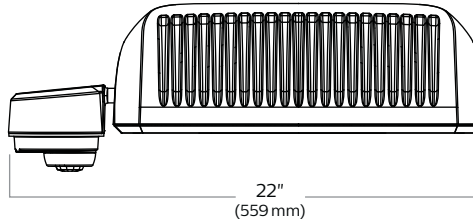
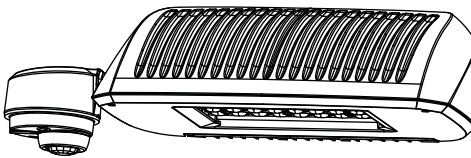
#### Standard Luminaire



#### Motion Response



#### Wireless Controls



#### Luminaire Weights

LED wall sconce 121	Weight
<b>Luminaire</b>	15.0 lbs
<b>Luminaire - EBPC</b> (EM battery pack)	18.5 lbs
<b>Luminaire - Integrated Wireless Controls</b>	17.0 lbs

# 121 LED wall sconce

## Wall mount

### LED Wattage and Lumen Values

Ordering Code	LED Qty	LED Current (mA)	Color Temp. <sup>1</sup>	Average System Watts <sup>2</sup>	Type 2			Type 3			Type 4		
					Lumen Output <sup>2,3</sup>	BUG Rating	Efficacy (LPW)	Lumen Output <sup>2,3</sup>	BUG Rating	Efficacy (LPW)	Lumen Output <sup>2,3</sup>	BUG Rating	Efficacy (LPW)
121-16L-530-NW-G3	16	530	4000K	28	2818	B1-U0-G0	100	2607	B1-U0-G1	93	2614	B1-U0-G1	93
121-16L-700-NW-G3	16	700	4000K	38	3698	B1-U0-G1	96	3421	B1-U0-G1	89	3430	B1-U0-G1	89
121-16L-1000-NW-G3	16	1000	4000K	55	4802	B1-U0-G1	88	4442	B1-U0-G1	81	4454	B1-U0-G1	81
121-16L-1200-NW-G3	16	1200	4000K	66	5364	B2-U0-G1	82	4962	B1-U0-G1	76	4975	B1-U0-G2	76
121-32L-530-NW-G3	32	530	4000K	52	5921	B2-U0-G1	114	5477	B1-U0-G2	105	5491	B1-U0-G2	106
121-32L-700-NW-G3	32	700	4000K	70	7534	B2-U0-G1	107	6969	B1-U0-G2	99	6988	B1-U0-G2	100
121-32L-1000-NW-G3	32	1000	4000K	107	10103	B2-U0-G1	95	9346	B2-U0-G2	88	9371	B2-U0-G2	88

### LED Wattage and Lumen Values (Emergency Mode)<sup>4</sup>

Ordering Code	LED Qty	LED Current (mA)	Color Temp. <sup>1</sup>	Avg. System Watts		Lumen Outputs					
				Normal Mode	Emergency Mode	Type 2		Type 3		Type 4	
						Normal Mode	Emergency Mode	Normal Mode	Emergency Mode	Normal Mode	Emergency Mode
121-16L-530-NW-G3-EBPC (Normal Mode)	16	530	4000K	28	14	2818	1353	2607	1252	2614	1255
121-16L-650-NW-G3-EBPC (Normal Mode)	16	650	4000K	37	14	3510	1353	3248	1252	3256	1255
121-32L-530-NW-G3-EBPC (Normal Mode)	32	265	4000K	28	14	2808	1764	2597	1632	2604	1636
121-32L-650-NW-G3-EBPC (Normal Mode)	32	325	4000K	32	14	3497	1764	3235	1632	3244	1636

- Contact outdoorlighting.applications@philips.com for details on cool or warm white color temperatures.
- Wattage and lumen output may vary by +/- 8% due to LED manufacturer forward volt specification and ambient temperature. Wattage shown is average for 120V through 277V input. Actual wattage may vary by an additional +/- 10% due to actual input voltage.
- Lumen values based on photometric tests performed in compliance with IESNA LM-79.
- For emergency EBPC option, published values are based on initial lumens.

### Luminaire options

**DD:** 0-10V dimming driver with leads supplied through back of luminaire (for secondary dimming controls by others).

**Dynadimmer Automatic Profile Dimming:** Automatic dimming profiles (CS50/CM50/CE50) offer safety, median, or economy settings, for shorter or longer duration. Dimming profiles provide flexibility towards energy savings goals while optimizing light levels during specific dark hours. 50% dimming is standard. DA50 offers 50% instantaneous dimming all night (during all dark hours). 75% and 25% dimming is also available if different light levels are required (contact Technical Support for details).

Profile	Dimming		
	Schedule	Duration	Level
Economy	9 PM - 6 AM	9 hours	50%
Median	10 PM - 6 AM	8 hours	50%
Safety	11 PM - 6 AM	7 hours	50%
Reactive 50	all night	dynamic	

**IMR12, IMR13:** Infrared Motion Response Integral (IMRI). IMRI module is mounted integral to the luminaire door and is available with two different sensor lens types to accommodate various mounting heights and occupancy detection ranges (see charts for approximate detection patterns). Motion response for option IMRI is set/operates in the following fashion: The motion sensor is set to a constant 25%. When motion is detected by the PIR sensor, the luminaire returns to 100% light output. Dimming on low is factory set to 25% with 5 minute default in "full power" prior to dimming back to low. When no motion is detected for 5 minutes, the motion response system reduces the wattage by 75%, to 25% of the normal constant wattage reducing the light level. IMRI can also be specified with automatic profile dimming for the added benefit of a combined dimming profile with sensor detection, where the PIR sensor will override the dimming profile when occupancy is detected. Passive infrared (PIR) motion sensor, WattStopper FSP-211, equipped with lens choice specified. Available in 120V or 277V input only. Motion sensor off state power is 0.0 watts. The FSP-211 can also be reprogrammed with WattStopper's FS1R-100 remote programming tool accessory.

**DCC:** Dual Circuit Control permits separate switching of 32L models only, where a quantity of (2) 16 LED modules are controlled independently by use of two sets of leads, one for each module.

**Wireless Controls:** Controller radio/sensor module attached to luminaire (included with LLC2 and LLC3 option) and includes radio, photocell and motion sensor. Also available with remote pod accessory where pod is mounted separate from luminaire to pole or wall (see accessories and Wireless Controls information page 4).

**F1:** Fusing Single (for 120, 277 or 347VAC)

**F2:** Fusing Double (for 208, 240 or 480VAC)

**F3:** Fusing Canadian Double Pull (for 208, 240 or 480VAC)

**EBPC:** Emergency battery pack is cold weather rated down to -20C (-4F) and integral to the luminaire, allowing for a consistent look between emergency and non-emergency sconces. A separate surface mount accessory box is not required. Dual light engines (32L) are wired in parallel, both operating in emergency mode to meet various redundancy lamp requirements. Also available with single light engine (16L). Secondary driver with relay immediately detects AC power loss and powers luminaire for a minimum of 90 minutes from the time power is lost.

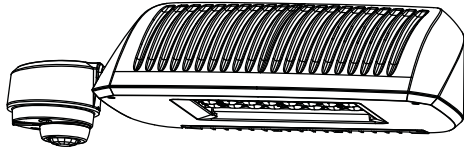
# 121 LED wall sconce

## Wall mount

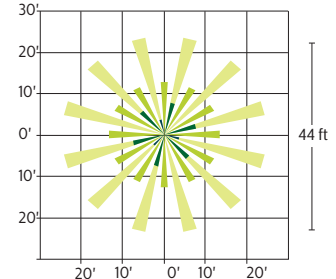
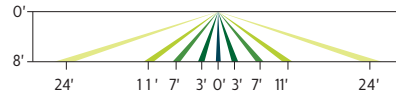
### Infrared Motion Response and Wireless Controls Sensor Coverage Patterns

#### LLC2/3 Luminaire Mounted Controller

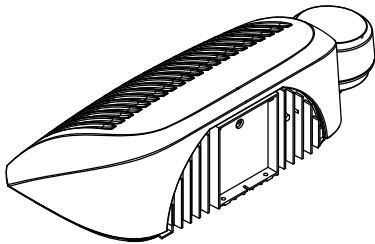
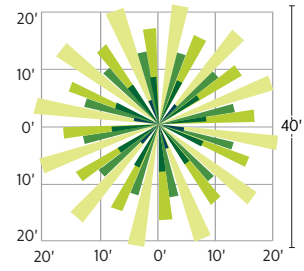
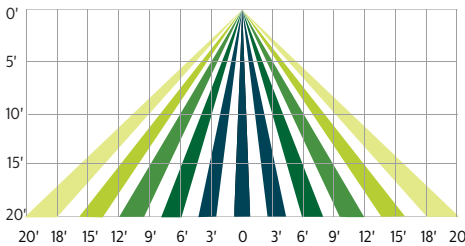
Controller attached to luminaire and includes radio, photocell and motion sensor with #2 or #3 lens for 8-20' mounting heights.



#### IMRI2/LLC2/LLCR2

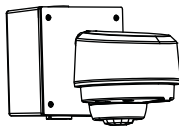


#### IMRI3/LLC3/LLCR3

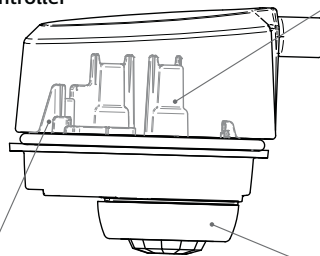


#### Remote Mount Wireless Controller

Used to extend the communication on site, to extend motion response and add other luminaires that are not pole mounted. Consult factory for more information.



#### Controller



#### Wireless Radio

- 1.8 Watts max (no load draw)
- Operating voltage 120-277 VAC RMS
- Communicates using the ZigBee protocol
- Carries out dimming commands from Gateway
- Reports ambient light readings to 1500 Ft-Cd
- Transmission Systems Operating within the band 2400-2483.5Mhz
- ROHS Compliant

#### Photocell

- Ambient light photocell on every wireless radio that averages the light levels of up to 5 controllers for an accurate reading and optimal light harvesting activity.
- Reports ambient light readings to 1500 Fc.

#### Motion Response

- Detects motion through passive infrared sensing technology with three different lens configurations
- Motion sensor coverage can be adjusted from a narrow to a wide detection range, which helps reduce false triggers to further increase energy savings.
- Sensing profiles can be updated to adapt to activity levels in the environment, such as occupancy level, wind, and mounting height



# 121 LED wall sconce

## Wall mount

### Luminaire Configuration Information – Sconce with wireless controls

#### Gateway

**Overview:** The gateway opens up communication with the wireless radios installed on equipped luminaires (or pole), allowing you to control your fixtures straight from the web. One gateway can communicate with up to 800 fixtures. Typically one unit is required per parking lot.

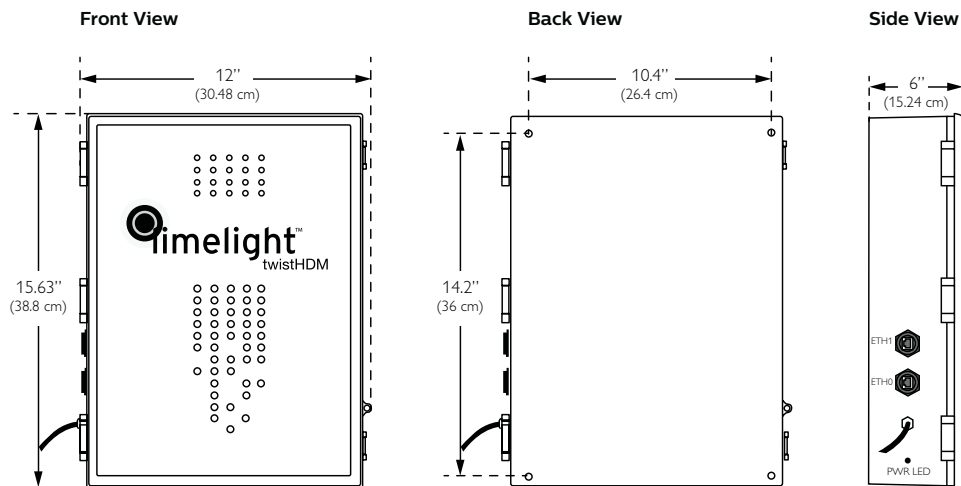
**Installation:** Gateway has 4 blind threaded holes on the back side that accept 10-32 screws. Mount spacing is 10.41" across and 14.19" vertical.

**Requirements:** The gateway must be mounted in a secure on-site location. The gateway requires 120V. Distance of gateway to the first radio varies upon application; contact factory. Strong internet connection required.

#### Specifications:

- High density RF Mesh coordinator
- Ethernet or wireless internet connection to server
- Proprietor of software "rules of operation"
- Watertight Ethernet connections
- Highly protected, long life ac/dc power supply
- Single board, ARM compliant 520Mhz Intel computer.
- Operating Temperature -20°C to 55°C
- Tamper proof housing

#### Gateway Dimensions



# 121 LED wall sconce

## Wall mount

### Specifications

#### Housing

Main body cast housing and back plate made of a low copper die cast Aluminum alloy for a high resistance to corrosion, 0.100" (2.5mm) minimum thickness. Hinged door allows access to driver and LED compartment.

#### Mounting

Mounting is completed through integral back plate that features a separate recessed feature for hook and lock quick mount plate that secures with two set screws from bottom of luminaire. Mounting plate is located in the center of the luminaire width and 3.5" above the luminaire bottom (lens down position). Luminaire ships fully assembled, ready to install.

#### Light Engine

Composed of 4 main components: Heat Sink / LED Module / Optical System / Driver. Electrical components are RoHS compliant. IP66 sealed light engines. LEDs tested by ISO 17025-2005 accredited lab in accordance with IESNA LM-80 guidelines extrapolations in accordance with IESNA TM-21. Metal core board ensures greater heat transfer and longer lifespan.

#### Heat Sink

Integral door/heat sink design made of low copper die cast Aluminum alloy for a high resistance to corrosion.

#### LED Module

Composed of high performance white LEDs. Color temperature as per ANSI/NEMA bin Neutral White, 4000K nominal (+/- 275K), CRI 70 Min. Available in other color temperatures including Cool White, 5700K and Warm White, 3000K.

#### LED Performance

Predicted lumen depreciation data <sup>1</sup>				
Ambient Temperature (°C)	Driver mA	Calculated L <sub>70</sub> hours <sup>1,2</sup>	L <sub>70</sub> per TM-21 <sup>2,3</sup>	Lumen Maintenance % @ 60,000 hours
25°C	up to 1200 mA	>100,000	>42,000	88%

1. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions.
2. L<sub>70</sub> is the predicted time when LED performance depreciates to 70% of initial lumen output.
3. Calculated per IESNA TM21-11. Published L<sub>70</sub> hours limited to 6 times actual LED test hours.
4. 32L rated for 30°C at 1000mA.

#### Hardware

All exposed screws are stainless and/or corrosion resistant and captive.

#### Optical System

The advanced LED optical systems provide IES Types 2, 3, 4. Composed of high performance UV stabilized optical grade polymer refractor lenses to achieve desired distribution optimized to get maximum spacing, target lumens and a superior lighting uniformity. System is rated IP66. Performance shall be tested per LM-63, LM-79 and TM-15 (IESNA) certifying its photometric performance. Dark sky compliant with 0% uplight and U0 per IESNA TM-15.

#### Driver

High power factor of 90% min. Electronic driver, operating range 50/60 Hz. Auto adjusting universal voltage input from 120 to 277 VAC or 347 to 480 VAC rated for both application line to line or line to neutral, Class I, THD of 20% max. The current supplying the LEDs will be reduced by the driver if the driver experiences internal overheating as a protection to the LEDs and the electrical components. Output is protected from short circuits, voltage overload and current overload. Automatic recovery after correction. Standard built in driver surge protection of 2.5kV (min).

#### Surge Protection

Each luminaire is provided as standard with surge protector (Philips designed SP1) tested in accordance with ANSI/IEEE C62.45 per ANSI/IEEE C62.41.2 Scenario I Category C High Exposure 10kV/5kA waveforms for Line Ground, Line Neutral and Neutral Ground, and in accordance with U.S. DOE (Department of Energy) MSSLC (Municipal Solid State Street Lighting Consortium) Model Specification for LED Roadway Luminaires Appendix D Electrical Immunity High Test Level 10kV / 5kA.

#### Wiring (supplied by others)

Splices must be made in the junction box.

#### Finish

Five standard colors offered in textured black, white, bronze, dark gray and medium gray. Color in accordance with the AAMA 2604 standard. Application of polyester powder coat paint 2.5 mils minimum. The thermosetting resins provides a discoloration resistant finish in accordance with the ASTM D2244 standard, as well as luster retention in keeping with the ASTM D523 standard and humidity proof in accordance with the ASTM D2247 standard. RAL and custom color matching available.

#### LED Products Manufacturing Standard

The electronic components sensitive to electrostatic discharge (ESD) such as light emitting diodes (LEDs) are assembled in compliance with EC61340-5-1 and ANSI/ESD S20.20 standards so as to eliminate ESD events that could decrease the useful life of the product.

#### LED Useful Life

Luminaire Useful Life accounts for LED lumen maintenance. Refer to IES files for energy consumption and delivered lumens for each option. Based on ISTMT in situ thermal testing in accordance with UL1598 and UL8750, LED LM-80/TM-21, expected to reach 100,000 + hours with >L70 lumen maintenance @ 25°C.

#### Certifications and Compliance

cULus Listed for Canada and USA suitable for wet locations when mounted downward facing. cULus Listed for Canada and USA suitable for damp locations when inverted upward facing when mounted in covered ceiling application. Emergency Battery Pack option is tested and listed to UL924 and CSA C22.2 No. 141-10 DesignLights Consortium qualified on models as listed on DLC QPL. Luminaire is rated for operation in ambient temperature of -40°C (-40°F) up to +40°C (+104°F)<sup>4</sup>.

#### Limited Warranty

5-year limited warranty. See philips.com/warranties for details and restrictions. Visit our eCatalog or contact your local sales representative for more information.

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Tel. 855-486-2216

Philips Lighting Canada Ltd.  
281 Hillmount Rd, Markham, ON, Canada L6C 2S3  
Tel. 800-668-9008





Project: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Cat.No: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Qty: \_\_\_\_\_  
 Notes: \_\_\_\_\_



Philips Gardco EcoForm LED luminaire combines economy with performance. Capable of delivering up to 20,000 lumens or more in a compact, low profile housing, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems, including motion response and wireless controls are available for further energy savings during off peak hours.

**Ordering guide**

example: ECF-APD-MRO-1-4-75LA-NW-120-NP-LF

Prefix	Controls	Mounting	Optical System	Wattage	Color Temp	Voltage	Finish	Options
ECF								
ECF EcoForm	— Standard luminaire (leave blank) <b>DIM</b> 0-10V Dimming <b>APD</b> <sup>1</sup> Auto Profile Dimming <b>APD-MRO</b> <sup>2</sup> Auto Profile Dimming and Motion Response Override pole mounted motion sensor <b>APD-MRI</b> <sup>2,3</sup> APD with Motion Response Override luminaire sensor <b>MRI</b> <sup>2,3</sup> Motion Response at 50% low luminaire sensor <b>MR50</b> <sup>2</sup> Motion Response at 50% low, pole mounted sensor <b>Wireless Controls</b> (Remote wireless controller available. See p.2 for details) <b>LLC2</b> <sup>1,4</sup> #2 lens for 8' mounting heights <b>LLC3</b> <sup>1,4</sup> #3 lens for 9-20' mounting heights <b>LLC4</b> <sup>1,4</sup> #4 lens for 21-40' mounting heights	<b>1</b> Standard <b>2</b> 2@180 <b>2@90</b> 2@90 <b>3</b> 3@90 <b>3@120</b> 3@120 <b>4</b> 4@90 <b>WS</b> Wall mount including surface conduit rear entry permitted <b>MA</b> Mast Arm Fitter (requires 2-3/8" O.D. Mast Arm)	<b>2</b> Type 2 <b>3</b> Type 3 <b>4</b> Type 4 <b>5</b> Type 5	<b>530 mA</b> <b>55LA-3253</b> <sup>1</sup> <b>75LA-4853</b> <b>100LA-6453</b> <b>700mA</b> <b>70LA-3270</b> <b>105LA-4870</b> <b>135LA-6470</b> <b>1050mA</b> <b>105LA-321A</b> <sup>1</sup> <b>160LA-481A</b> <b>215LA-641A</b>	<b>CW</b> Cool White 5,700K 70 CRI (nominal) <b>NW</b> Neutral White 4,000K 70 CRI (nominal) <b>WW</b> <sup>5</sup> Warm White 3,000K 70 CRI (nominal)	<b>120</b> 120V <b>208</b> 208V <b>240</b> 240V <b>277</b> 277V <b>347</b> 347V <b>480</b> 480V <b>UNV</b> 120-277V 50hz/60hz <b>HVU</b> 347-480V 50hz/60hz	<b>BRP</b> Bronze Paint <b>BLP</b> Black Paint <b>WP</b> White Paint <b>NP</b> Natural Paint <b>OC</b> Optional Color Specify optional color or RAL (ex: OC-LGP or OC-RAL7024) <b>SC</b> Special color Specify, must supply color chip. Requires factory quote.	<b>TL</b> Tool-Less entry and driver removal hardware <b>TB</b> <sup>3</sup> Terminal Block <b>IS</b> <sup>6</sup> Internal Shield <b>LF</b> <sup>7</sup> Line Fusing <b>LFC</b> <sup>7</sup> Line Fusing for Canada <b>PC</b> <sup>5,7,8</sup> Receptacle with Photocell (Includes PCR5) <b>PCB</b> <sup>4,7,8</sup> Photocell Button <b>PCRS</b> <sup>4,9,10</sup> Photocell Receptacle only with 2 dimming connections <b>PCR7</b> <sup>4,10,11</sup> Photocell Receptacle only with 2 dimming and 2 auxiliary connections <b>RAM</b> Retrofit Arm Mount kit <b>PTF2</b> <sup>12</sup> Pole Top Fitter for 2 3/8" - 3" Tenon <b>PTF3</b> <sup>12</sup> Pole Top Fitter for 3" - 3 1/2" Tenon <b>PTF4</b> <sup>12</sup> Pole Top Fitter for 3 1/2" - 4" Tenon <b>RPA</b> <sup>13</sup> Round Pole Adapter for 3" - 3.9" O.D. <b>BD</b> Bird Deterrent (field installed only)

- Available in 120V-277V Voltages only (UNV, 120, 208, 240 & 277).
- MR50 and APD-MRO luminaires require one motion sensor per pole, ordered separately. See page 2 for Accessories. Available in 120V or 277V only.
- ECF-MRI requires outboard sensor when used with Terminal Block (TB) Option.
- LLC2/LLC3/LLC4 Wireless Controls are not configurable with PC/PCB/PCR5/PCR7 Options. See page 6-7 for more info.
- Contact factory for lead times on warm white.
- Not configurable with Type 5 (5) Optics.
- Not configurable with 120-277V (UNV) Voltage. Voltage must be specified.
- Not configurable with 480V (480) Voltage.
- Works with 3-pin or 5-pin NEMA photocell/dimming device.
- If ordered with DIM, APD, MRI, MR50, APD-MRI, APD-MRO, dimming will not be connected to NEMA receptacle.
- Works with 3-pin or 5-pin NEMA photocell/dimming device and auxiliary connections are not connected (for future use only).
- Not configurable with 3@120 (3@120) Mounting.
- No adaptor required for 4" round poles. RPAs provided with Black Paint standard.

# ECF EcoForm LED luminaire

## EcoForm Accessories (order separately)

### FS1R-100

MR hand held programmer

For use with 'MRI' motion response when field programming is required. If desired, only one is needed per job.

### MS-A-120V

120V Input Area Motion Sensor

For MR50 (Motion Response) or APD-MRO (Automatic Profile Dimming with Motion Response Override)

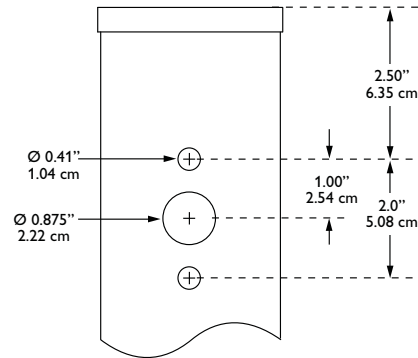
### MS-A-277V

277V Input Area Motion Sensor

For MR50 (Motion Response) or APD-MRO (Automatic Profile Dimming with Motion Response Override)

**Note:** Motion Sensors are ordered separately, with one (1) motion sensor required per pole location for MR50 or APD-MRO luminaires. See Luminaire Configuration Information on page 5 for more details. Area motion sensor color is Arctic White. MRI and APD-MRI luminaires include an integral motion sensor.

## EcoForm Drill Template (standard arm mount)



## EcoForm Wireless Controls Accessories (for wall or pole mount)<sup>1,2,3,4</sup>

### LLCR2-(F)

Standalone wall or pole wireless controller with #2 Lens.

### LLCR3-(F)

Standalone wall or pole wireless controller with #3 Lens.

### LLCR4-(F)

Standalone wall or pole wireless controller with #4 Lens.

1. When using the wireless remote accessory option (LLCR-F) in a pole mount application, specify pole option (CL=Coupling Internal Thread, 3/4" size)
2. 120-277V only.
3. Must specify finish (F=Specify matching finish)
4. Luminaire configuration must include 0-10V Dimming 'ECF-DIM' option when Wireless Controls Accessories are specified

## LED Wattage and Lumen Values (standard EcoForm luminaire)

Ordering Code	No. of LED Modules (16 LEDs per Module)	Total LEDs	LED Current (mA)	Average System Watts <sup>5</sup>	Color Temp.	Type 2			Type 3			Type 4			Type 5		
						Delivered Lumens <sup>6</sup>	Efficacy (LPW)	BUG Rating	Delivered Lumens <sup>6</sup>	Efficacy (LPW)	BUG Rating	Delivered Lumens <sup>6</sup>	Efficacy (LPW)	BUG Rating	Delivered Lumens <sup>6</sup>	Efficacy (LPW)	BUG Rating
55LA-3253	2	32	530	52	4000K	6,294	122	B1-U0-G1	6,190	120	B2-U0-G2	6,106	118	B1-U0-G2	5,867	114	B3-U0-G2
70LA-3270	2	32	700	69	4000K	7,754	112	B2-U0-G2	7,955	115	B2-U0-G2	7,659	111	B2-U0-G2	7,421	107	B3-U0-G2
75LA-4853	3	48	530	77	4000K	9,344	121	B2-U0-G2	9,191	119	B2-U0-G2	9,086	117	B2-U0-G2	8,712	113	B3-U0-G2
105LA-321A	2	32	1050	107	4000K	10,709	100	B2-U0-G2	10,981	103	B3-U0-G2	10,576	99	B2-U0-G2	10,255	96	B4-U0-G2
105LA-4870	3	48	700	104	4000K	11,513	111	B2-U0-G2	11,812	114	B3-U0-G2	11,373	110	B2-U0-G2	11,019	106	B4-U0-G2
100LA-6453	4	64	530	103	4000K	12,491	121	B2-U0-G2	12,285	119	B3-U0-G2	12,129	118	B2-U0-G2	11,645	113	B4-U0-G2
135LA-6470	4	64	700	139	4000K	15,390	111	B3-U0-G2	15,789	114	B3-U0-G2	15,192	110	B3-U0-G3	14,729	106	B4-U0-G2
160LA-481A	3	48	1050	158	4000K	15,901	101	B3-U0-G3	16,343	103	B3-U0-G2	15,696	99	B3-U0-G3	15,188	96	B4-U0-G2
215LA-641A	4	64	1050	211	4000K	21,255	101	B3-U0-G3	21,265	100	B4-U0-G3	20,984	99	B3-U0-G3	20,874	99	B5-U0-G3

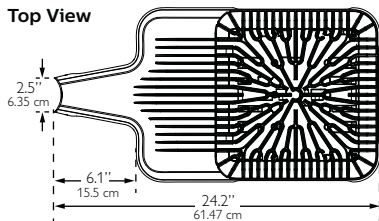
5. System input wattage may vary based on input voltage, by up to +/- 10% , and based on manufacturer forward voltage, by up to +/- 8%.

6. Lumen values based on photometric tests performed in compliance with IESNA LM-79.

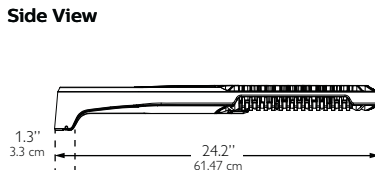
**Note:** Some data may be scaled based on tests of similar, but not identical, luminaires.

## Dimensions – Standard EcoForm luminaire

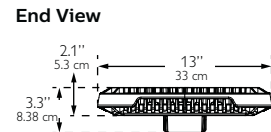
### Top View



### Side View



### End View



### EPA (ft<sup>2</sup>/m<sup>2</sup>)

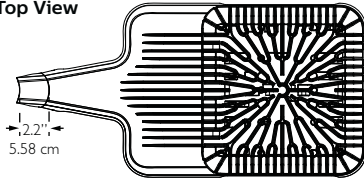
Single	Twin (2@180)	3/4@90
0.2 / 0.019	0.5 / 0.046	0.5 / 0.046

Approximate Luminaire Weight:  
20 Lbs (9.07 Kg)

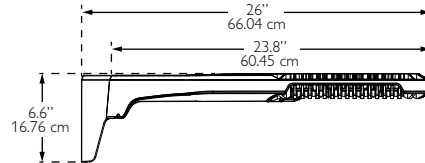
# ECF EcoForm LED luminaire

## Dimensions – EcoForm with Retrofit Arm Mount (RAM)

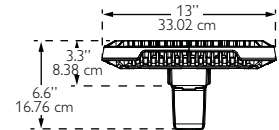
Top View



Side View



End View



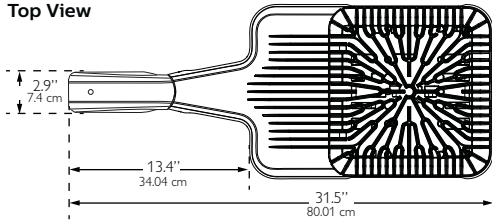
EPA (ft<sup>2</sup>/m<sup>2</sup>)

Single	Twin (2@180)	3/4@90
0.3 / 0.028	0.6 / 0.056	0.7 / 0.065

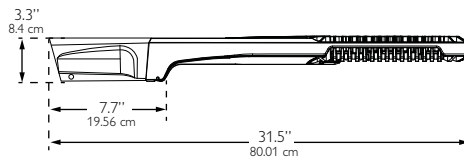
Approximate Luminaire Weight:  
21 Lbs (9.53 Kg)

## Dimensions – EcoForm with Mast Arm Fitter (MA)

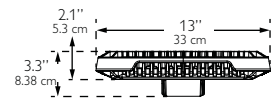
Top View



Side View



End View



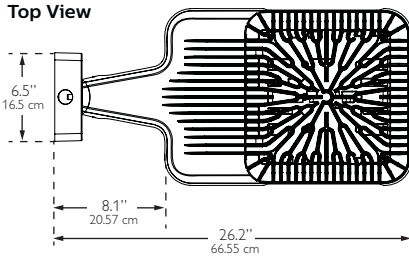
EPA (ft<sup>2</sup>/m<sup>2</sup>)

Single
0.51 / 0.047

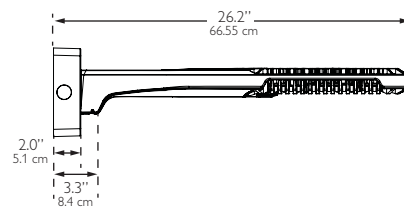
Approximate Luminaire Weight:  
21.5 Lbs (9.77 Kg)

## Dimensions – EcoForm with Wall Mount (WS)

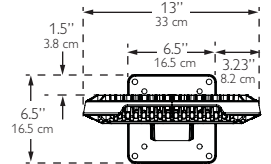
Top View



Side View



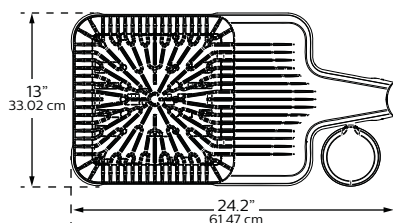
End View



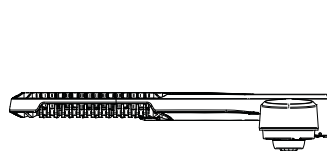
Approximate Luminaire Weight:  
23.36 Lbs (10.6 Kg)

## Dimensions – EcoForm with wireless controls (luminaire mounted controller)

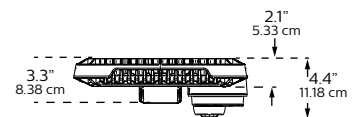
Top View



Side View



End View



# ECF EcoForm LED luminaire

## Luminaire Configuration Information

### ECF

Philips Gardco EcoForm LED standard luminaire providing constant wattage and constant light output when power to the luminaire is energized.

### ECF-DIM

Philips Gardco EcoForm LED luminaire provided with 0-10V dimming for connection to a control system provided by others.

### ECF-APD

Philips Gardco EcoForm LED luminaire with Automatic Profile Dimming. Luminaire is provided with a Philips DynaDimmer module, programmed to go to 50% power, 50% light output two (2) hours prior to night time mid-point and remain at 50% for six (6) hours after night time mid-point. Mid-point is continuously recalculated by the Philips DynaDimmer module based on the average mid-point of the last two full night cycles. Short duration cycles, and power interruptions are ignored and do not affect the determination of mid-point.

ECF-APD is available in 120V–277V input only.

ECF-APD Dimming Profile:

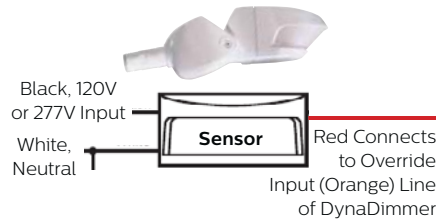
100%	2 hours 50%	6 hours 50%	100%
Power On	Mid Point	Power Off	

### ECF-MR50

Philips Gardco EcoForm LED luminaire with motion response, providing a 50% power reduction on low and a commensurate reduction in light output. The power and light output reduction is accomplished utilizing the Philips DynaDimmer module, programmed for a constant 50% power. Power supplied by the motion sensor connected to the override line on the DynaDimmer takes the luminaire to high setting, 100% power and light output, when motion is detected. The luminaire remains on high until no motion is detected for the motion sensor duration period, after which the luminaire returns to low. Duration period is factory set at 15 minutes, and is field adjustable from 5 minutes up to 15 minutes.

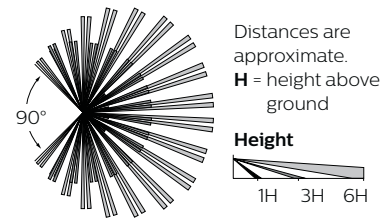
ECF-MR50 is available in 120V–277V input only to the luminaire. Motion sensors require single voltage 120V or 277V input.

The Area PIR motion sensor is the WattStopper EW-200-120-W (120V Input – MSA-120V) or the WattStopper EW-200-277-W (277V Input – MSA-277V.) One motion sensor per pole is required and is ordered separately. Area sensors require single voltage 120V or 277V input.



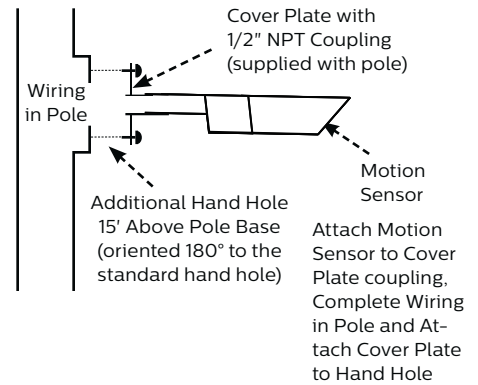
The area motion detector provides coverage equal to up to 6 times the sensor height above ground, 270° from the front-center of the sensor.

### Area PIR Motion Sensor Coverage Pattern:



Motion response requires that the pole include an additional hand hole 15 feet above the pole base, normally oriented 180° to the standard hand hole. For Philips Gardco poles, order the pole with the Motion Sensor Mounting (MSM) option which includes the hand hole and a special hand hole cover plate for the sensor with a 1/2" NPT receptacle centered on the hand hole cover plate into which the motion sensor mounts. Once the motion sensor is connected to the hand hole cover plate, then wiring connections are completed in the pole. The plate (complete with motion sensor attached and wired) is then mounted to the hand hole. If poles are supplied by others, the customer is responsible for providing suitable mounting accommodations for the motion sensor in the pole.

### Mounting to a Philips Gardco Pole:



### ECF-APD-MRO

Philips Gardco EcoForm LED luminaire with Automatic Profile Dimming, with Motion Response Override. The ECF-APD-MRO combines the benefits of both automatic profile dimming and motion response, using the Philips DynaDimmer module. The luminaire will dim to 50% power, 50% light output, per the dimming profile shown for the ECF-APD. If motion is detected during the time that the luminaire is operating at 50%, the luminaire returns to 100% power and light output. The luminaire remains on high until no motion is detected for the duration period, after which the luminaire returns to low. Duration period is factory set at 15 minutes, and is field adjustable from 5 minutes up to 15 minutes.

### Notes:

ECF-APD-MRO is available in 120V through 277V input only to luminaire. The motion sensor requires either 120V or 277V input to the motion sensor.

The ECF-APD-MRO has the same pole requirements and utilizes the same motion sensors as the ECF-MR50. The motion sensor mounts and wires identically as well. The ECF-APD-MRO utilizes the identical dimming profile as shown for the ECF-APD.

By combining the benefits of automatic profile dimming and motion response, the ECF-APD-MRO assures maximum energy savings, and insures that adequate light is present if motion is detected.

All motion sensors utilized consume 0.0 watts in the off state.

# ECF EcoForm LED luminaire

## Luminaire Configuration Information (Continued)

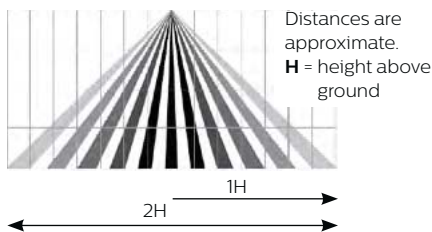
### ECF-MRI

Luminaires with Motion Response include a LED driver and an integral programmable motion sensor. The motion sensor is set to a constant 50%. When motion is detected, the luminaire goes to 100%. The luminaire remains on high until no motion is detected for the motion sensor duration period, after which the luminaire returns to low. Duration period is factory set at 5 minutes. Available with 120V or 277V only.

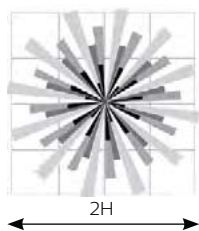
Luminaires include a passive infrared (PIR) motion sensor, WattStopper® FSP-211 equipped with an FSP-L3 lens, capable of detecting motion within 20 feet of the sensor, 180° around the luminaire, when placed at a 20 foot mounting height, or mounted on a wall. Available in 120V or 277V input only. Motion sensor off state power is 0.0 watts.

The approximate motion sensor coverage pattern is as shown below.

#### Side Coverage Pattern



#### Top Coverage Pattern



### ECF-APD-MRI



Luminaires with Automatic Profile Dimming and Motion Response Override combine the benefits of both automatic profile dimming and motion response. APD-MRI luminaires utilize Philips DynaDimmer. The luminaire will dim to 50% power, 50% light output, per the dimming profile shown for APD luminaires (see page 4). If motion is detected during the time that the luminaire is operating at 50%, the luminaire goes to 100% power and light output. The luminaire remains on high until no motion is detected for the duration period, after which the luminaire returns to low. Duration period is factory set at 5 minutes.

APD-MRI luminaires are available with 120V or 277V input voltages only.

APD-MRI luminaires use the identical motion sensor as MRI luminaires. See motion sensor details for ECF-MRI.

### FS1R-100 Wireless Remote Programming Tool

The FS1R-100 Remote Programming Tool accessory permits adjustment of ECF-MRI and ECF-APD-MRI sensor settings, including duration and dimming level on low, without the need to connect any wires to the luminaire.

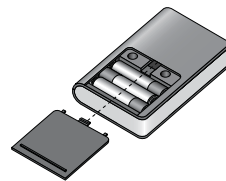
The FS1R-100 Wireless IR Programming Tool is a handheld tool for setup and testing of WattStopper FSP-211. It provides wireless access to the FSP-211 sensors for setup and parameter changes.

The FS1R-100 display shows menus and prompts to lead you through each process. The navigation pad provides a familiar way to navigate through the customization fields.

Within a certain mounting height of the sensor, the FS1R-100 allows modification of the system without requiring ladders or tools simply with a touch of a few buttons.

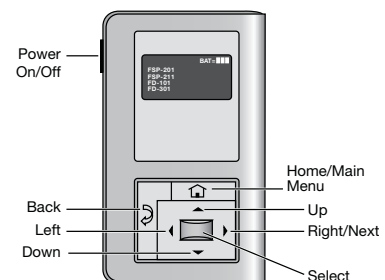
The FS1R-100 IR transceiver allows bi-directional communication between the FSP-211 and the FS1R-100 programming tool. Simple menu screens let you see the current status of the system and make changes. It can change FSP-211 sensor parameters such as high/low mode, sensitivity, time delay, cut off and more. With the FS1R-100 you can also establish and store FSP-211 parameter profiles.

The FS1R-100 operates on three standard 1.5V AAA Alkaline batteries or three rechargeable AAA NiMH batteries. The battery status displays in the upper right corner of the display. Three bars next to BAT= indicates a full battery charge. A warning appears on the display when the battery level falls below a minimum acceptable level. To conserve battery power, the FS1R-100 automatically shuts off 10 minutes after the last key press.



You navigate from one field to another using (up) or (down) arrow keys. The active field is indicated by flashing (alternates between yellow text on black background and black text on yellow background.)

Once active, use the Select button to move to a menu or function within the active field. Value fields are used to adjust parameter settings. They are shown in "less-than/greater-than" symbols: <value>. Once active, change them using (left) and (right) arrow keys. In general the up key increments and the down key decrements a value. Selections wrap-around if you continue to press the key beyond maximum or minimum values. Moving away from the value field overwrites the original value. The Home button takes you to the main menu. The Back button can be thought of as an undo function. It takes you back one screen. Changes that were in process prior to pressing the key are lost. More information on the FS1R-100 Remote Programming Tool is available at [wattstopper.com](http://wattstopper.com).

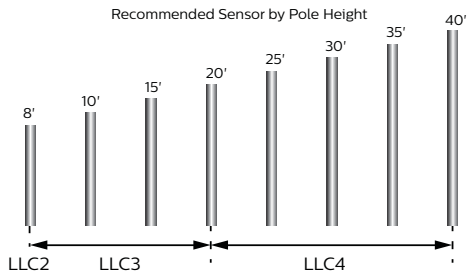
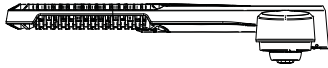


# ECF EcoForm LED luminaire

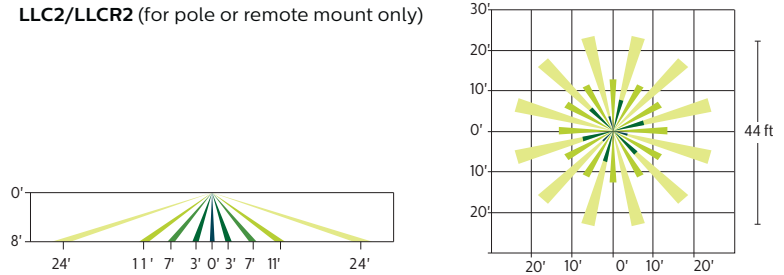
## Luminaire Configuration Information – EcoForm with wireless controls

### ECF-LLC2/3/4 Luminaire Mounted Controller

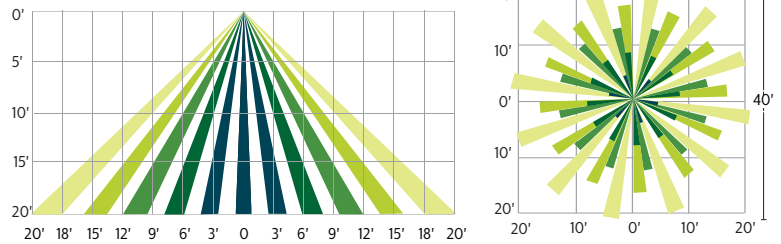
Wireless controller attached to luminaire and includes radio, photocell and motion sensor with #2, 3, or 4 lens for 8-40' mounting heights.



### LLC2/LLCR2 (for pole or remote mount only)

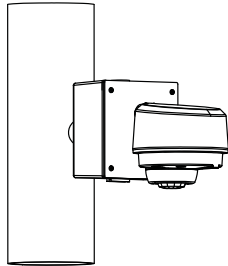


### LLC3/LLCR3 (for luminaire, pole, or remote mount)



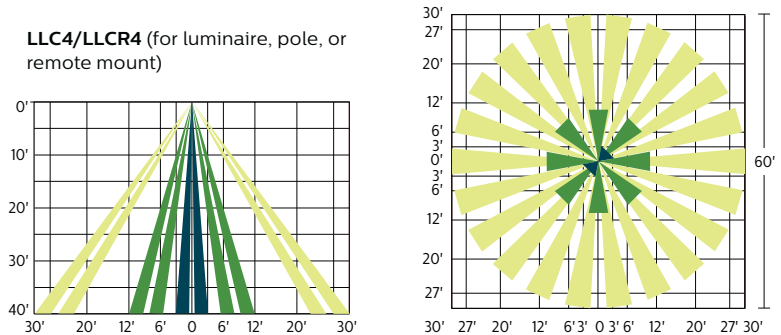
### LLCR2/3/4 Pole Mounted Controller

In this configuration, the wireless controller will be mounted to the pole at a fifteen foot mounting height. The number of luminaires on each pole, as well as the specific wattage chosen, will determine how many controllers will be required.



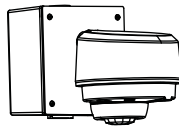
When using the wireless remote accessory option (LLCR-F) in a pole mount application, specify pole option (CL=Coupling Internal Thread, 3/4" size). Confirm required orientation of luminaire and wireless controller. Indicate height above pole base and orientation to handheld. Recommended min pole height is 18ft, with option (CL) 15ft above pole base. Other heights are possible when choosing the appropriate sensor lens type. See pole specification sheets for more information.

### LLC4/LLCR4 (for luminaire, pole, or remote mount)

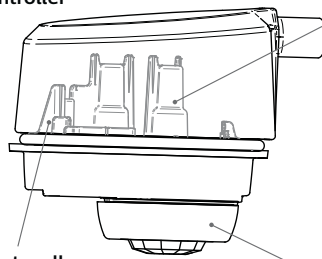


### Remote Mount Wireless Controller

Used to extend the communication on site, to extend motion response and add other luminaires that are not pole mounted. Consult factory for more information.



### Controller



### Photocell

- Ambient light photocell on every wireless radio that averages the light levels of up to 5 controllers for an accurate reading and optimal light harvesting activity.
- Reports ambient light readings to 1500 Fc.

### Wireless Radio

- 1.8 Watts max (no load draw)
- Operating voltage 120-277 VAC RMS
- Communicates using the ZigBee protocol
- Carries out dimming commands from Gateway
- Reports ambient light readings to 1500 Ft-Cd
- Transmission Systems Operating within the band 2400-2483.5Mhz
- ROHS Compliant

### Motion Response

- Detects motion through passive infrared sensing technology with three different lens configurations
- Motion sensor coverage can be adjusted from a narrow to a wide detection range, which helps reduce false triggers to further increase energy savings.
- Sensing profiles can be updated to adapt to activity levels in the environment, such as occupancy level, wind, and mounting height



# ECF EcoForm LED luminaire

## Luminaire Configuration Information (EcoForm with wireless controls)

### Gateway

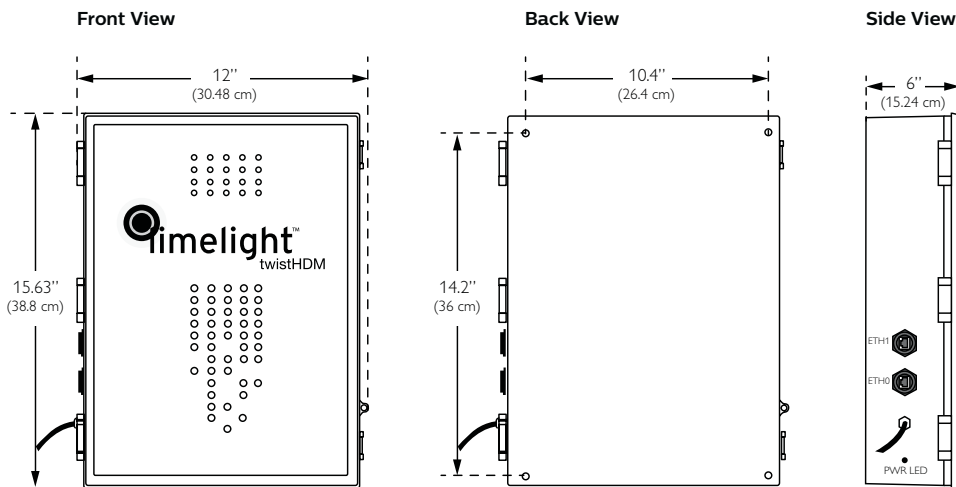
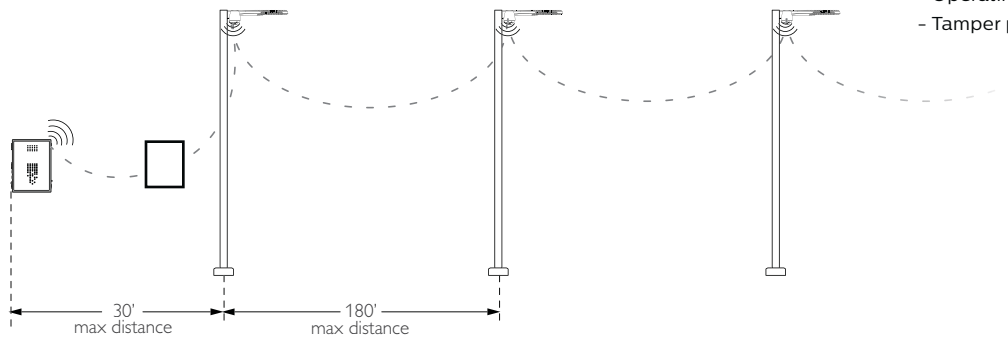
**Overview:** One gateway is included with the wireless controls system. The gateway opens up communication with the wireless radios installed with the EcoForm luminaires (or pole), allowing you to control your fixtures straight from the web. One gateway can communicate with up to 800 fixtures. Typically one unit is required per parking lot.

**Installation:** Gateway has 4 blind threaded holes on the back side that accept 10-32 screws. Mount spacing is 10.41" across and 14.19" vertical.

**Requirements:** The gateway must be mounted in a secure on-site location. The gateway requires 120V. Distance of gateway to the first radio varies upon application; contact factory. Strong internet connection required.

### Specifications:

- High density RF Mesh coordinator
- Ethernet or wireless internet connection to server
- Proprietor of software "rules of operation"
- Watertight Ethernet connections
- Highly protected, long life ac/dc power supply
- Single board, ARM compliant 520Mhz Intel computer.
- Operating Temperature -20°C to 55°C
- Tamper proof housing



# ECF EcoForm LED luminaire

## Specifications

### Housing

One piece die cast aluminum housing with integral arm and separate, self retained hinged, one piece die cast door frame.

### IP Rating

LED light engine rated IP66.

### Vibration Resistance

EcoForm with Standard Arm carries a 3G vibration rating that conforms to standards set forth by ANSI C136.31. Testing includes vibration to 3G acceleration in three axes, all performed on the same luminaire.

### Electrical

Driver efficiency (>90% standard). 120-480V available (restrictions apply). Open/short circuit protection. Optional 0-10V dimming to 10% power. RoHS compliant. Surge protector standard. 10KA per ANSI/IEEE C62.41.2.

### LED Board and Array

32, 48, or 64 LEDs. Color temperatures: 3000K, 4000K, 5700K +/- 250K. Minimum CRI of 70. Aluminum metal clad board. RoHS compliant.

### LED Thermal Management

The housing design allows the one piece housing to provide excellent thermal management critical to long LED system life.

### Energy Saving Benefits

System efficacy up to 95 lms/W with significant energy savings over Pulse Start Metal Halide luminaires. Optional control options provide added energy savings during unoccupied periods.

### LED Performance

Predicted Lumen Depreciation Data<sup>1</sup>

Ambient Temperature °C	Driver (mA)	Calculated L <sub>70</sub> Hours <sup>1,2</sup>	L <sub>70</sub> Per TM-21 <sup>2,3</sup>	Lumen Maintenance % @ 60,000 hours
Up to 40 °C	Up to 1050 mA	> 350,000 hours	> 60,000 hours	97%

1. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions.
2. L<sub>70</sub> is the predicted time when LED performance depreciates to 70% of initial lumen output.
3. Calculated per IESNA TM21-11. Published L<sub>70</sub> hours limited to 6 times actual LED test hours.

### Wireless Controls

The wireless controls system includes: gateway, controller (with wireless radio, motion response, and photocell), and commissioning/training. This intelligent web-based system operates through a high density mesh (HDM) wireless technology. Wireless radios with motion response and photocell sensors are integrated with PureForm luminaires, and enable the fixtures to communicate via the ZigBee protocol. The gateway is a mini computer that connects to the internet, and is located in a secure location. The central database channels communication to and from the gateway, allowing data to be viewed or managed through the web-based graphical user interface (GUI). See wireless controls pages 6-7 for details and technical information.

### Motion Sensors

ECF-MR50, ECF-APD-MRO, ECF-MRI, ECF-APD-MRI luminaires may be specified for additional energy savings during unoccupied periods. See pages 4-6 for complete details.

### Optical Systems

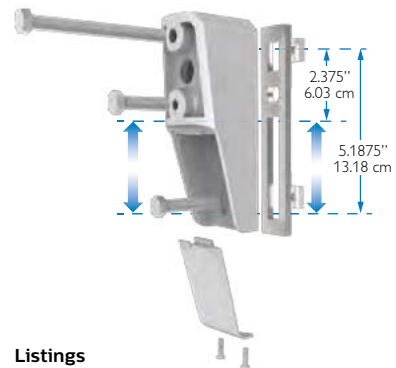
Type 2, 3, 4, and 5 distributions available. Internal Shield option mounts to LED optics and is available with Type 2, 3, and 4 distributions to control backlight.

### Mounting

Standard luminaire arm mounts to 4" round poles. Square pole adapter included with every luminaire. Round Pole Adapter (RPA) required for 3-3.9" poles.

### Retrofit Arm Mount

EcoForm features an innovative retrofit arm kit. When specified with the retrofit arm (RAM) option, EcoForm seamlessly simplifies site conversions to LED by eliminating the need for additional pole drilling on most existing poles. RAM will be boxed separately.



### Listings

ETL/cETL listed to the UL 1598 standard, suitable for Wet Locations. Suitable for use in ambients from -40° to 40°C (-40° to 104°F). The quality systems of this facility have been registered by UL to the ISO 9001 series standards. All EcoForm luminaires equipped with NW and CW are DesignLights Consortium® qualified.

### Finish

Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors include bronze (BRP), black (BLP), white (WP), and natural aluminum (NP). Consult factory for specs on optional or custom colors.

### Warranty

EcoForm luminaires feature a 5 year limited warranty. Philips Gardco LED luminaires with LED arrays feature a 5 year limited warranty covering the LED arrays. LED Drivers also carry a 5 year limited warranty. Motion sensors are covered by warranty for 5 years by the motion sensor manufacturer.





Job: Lidl US Stores  
 Type: per schedule  
 Notes: Typical pole standard for site lighting in customer parking areas

# Poles

## 5" / 6" Straight Square Steel

The Philips Gardco SSS straight steel pole consists of a one-piece square fabricated steel lighting standard. The carbon steel base plate is secured to the shaft with a continuous circumferential weld providing excellent strength and integrity. The poles are finished with an electrostatically applied, thermally cured TGIC polyester powdercoat. All poles include anchor bolts, full base cover, hand hole, ground lug and top cap.



PREFIX	HEIGHT	SIZE	GAUGE	DRILLING	FINISH	OPTIONS
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

Enter the order code into the appropriate box above. Note: Philips Gardco reserves the right to refuse a configuration. Not all combinations and configurations are valid. Refer to notes below for exclusions and limitations. For questions or concerns, please consult the factory.

PREFIX	HEIGHT	SIZE	GAUGE	DRILLING
SSS5 SSS6	22' (25' cut to 22")	5" 6"	7 11	D1 1 Way D2 2 Way D2@90 2 Way at 90° D3 3 Way D4 4 Way T2 2 3/8" OD Tenon T4 4" OD Tenon

**NOTE:** This is a one or the other choice depending on number of luminaires per pole.

FINISH	
PP	Prime Painted
BRP	Bronze Paint
<b>BLP</b>	Black Paint
WP	White Paint
NP	Natural Aluminum Paint
GV	Galvanized (No Paint)
FPGV	Finished Paint over Galvanized (specify color)
OC	Optional Color Paint Specify RAL designation ex: OC-RAL7024.
SC	Special Color Paint Specify. Must supply color chip.

OPTIONS	
FES	Festoon Outlet
AHH	Additional Hand Hole
<b>Couplings</b> Indicate size (1/2", 3/4", 1", 1 1/4", 1 1/2".) Indicate height above base and orientation to hand hole. See Pole Orientation Information on Page 4.	
CL	Coupling - Internal thread
<b>Single Mount Bullhorn Brackets</b> Indicate height above base and orientation to hand hole. See Pole Orientation Information on Page 4.	
GM-080-19	Single - 1.9" OD
GM-080-24	Single - 2.4" OD
<b>Motion Response Provisions</b>	
GMR	Provision for Gardco HID Motion Response System  Minimum Pole Height is 18'. Includes a 1/2" coupling placed 180° to the hand hole, 12' above the pole base.
MSM	Motion Sensor Mounting Provision for LED Luminaires available with Motion Response  Minimum Pole Height is 18'. Includes a special hand hole with 1/2" coupling placed in the cover plate, 180° to the hand hole, 15' above the pole base.

*For Festoon Outlets and Additional Hand Holes, indicate height above base and orientation to original hand hole. See Pole Orientation Information on Page 4.*

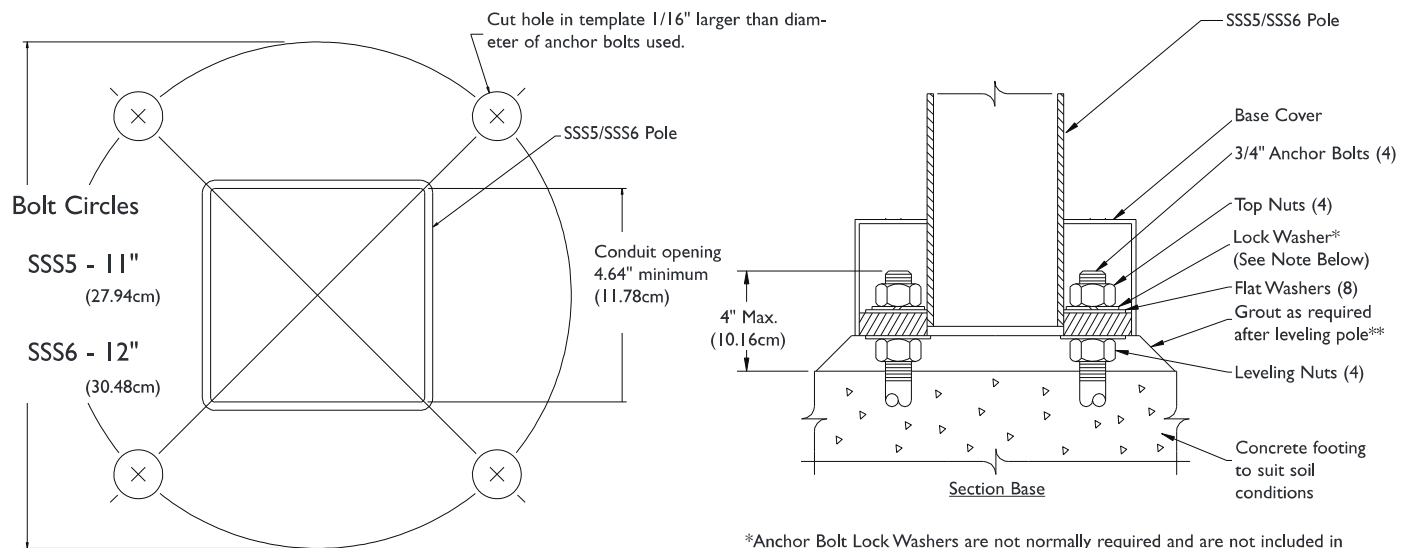
Refer to Steel Pole Accessories sheet 79415-26 for additional accessories.

### POLE DATA

CATALOG NUMBER		POLE SIZE		MAXIMUM LUMINAIRE LOADING <sup>1</sup>									ANCHOR BOLT DATA <sup>2</sup>		
				HIGH WIND CONDITIONS						NORMAL WIND CONDITIONS					
				130 MPH		120 MPH		110 MPH		100 MPH	90 MPH	80 MPH			
PREFIX	HEIGHT (FT.)	POLE SIZE (inches)	GAUGE	EPA FT <sup>2</sup>	Max Weight (lbs)	EPA FT <sup>2</sup>	Max Weight (lbs)	EPA FT <sup>2</sup>	Max Weight (lbs)	EPA FT <sup>2</sup>	EPA FT <sup>2</sup>	EPA FT <sup>2</sup>	BOLT CIRCLE (inches)	BOLT SIZE (inches)	MAX PROJ. (inches)
SSS	20	5	11	3.5	88	5.0	125	7.0	175	9.4	12.7	17.7	11.0"	3/4 x 17 x 3	4.0"
SSS	20	5	7	6.2	155	8.2	205	10.7	270	16.2	21.4	28.1	11.0"	3/4 x 17 x 3	4.0"
SSS	25	5	11	-	-	-	-	2.1	53	3.7	6.3	9.8	11.0"	3/4 x 17 x 3	4.0"
SSS	25	5	7	2.7	68	4.3	108	6.3	158	9.5	13.3	18.5	11.0"	3/4 x 17 x 3	4.0"
SSS	30	5	11	-	-	-	-	-	-	-	2.0	4.7	11.0"	3/4 x 17 x 3	4.0"
SSS	30	5	7	-	-	-	-	2.0	50	3.9	6.7	10.7	11.0"	3/4 x 17 x 3	4.0"
SSS	30	6	7	-	-	3.3	83	5.6	140	9.0	13.2	19.0	12.0"	1 x 36 x 4	4.0"
SSS	35	5	7	-	-	-	-	-	-	-	2.5	5.9	11.0"	3/4 x 17 x 3	4.0"
SSS	35	6	7	-	-	-	-	-	-	4.2	7.6	12.4	12.0"	1 x 36 x 4	4.0"
SSS	40	6	7	-	-	-	-	-	-	-	3.0	7.2	12.0"	1 x 36 x 4	4.0"

- Warning:** Additional wind loading, in terms of EPA, from banners, cameras, floodlights and other accessories attached to the pole, must be added to the luminaire(s) EPA before selecting the pole with the appropriate wind load capability.
- Factory supplied template must be used when setting anchor bolts. Philips Gardco will not honor any claim for incorrect anchorage placement resulting from failure to use factory supplied templates.

### DIMENSIONS



**NOTE:** Factory supplied template must be used when setting anchor bolts. Philips Gardco will not honor any claim for incorrect anchorage placement from failure to use factory supplied templates.

\*Anchor Bolt Lock Washers are not normally required and are not included in standard anchor bolt sets. They are available upon request at additional cost.  
 \*\* Grouting should include a drainage slot or tube (by others) to permit water to drain from the base of the pole. Failure to provide drainage may weaken the pole base structure over time and may result in pole base failure, for which Philips Gardco is not responsible.

### SPECIFICATIONS

**POLE SHAFT:** The pole shaft is fabricated from a single-piece of 11 ga (.1196") or 7 ga (.1793") commercial carbon steel. The formed steel plate is longitudinally welded providing minimum yield strength of 46 KSI.

**ANCHOR BASE:** The pole anchor base is fabricated from A-36 structural quality carbon steel with a minimum yield strength of 36 KSI. The base plate telescopes the pole shaft and is circumferentially welded on both top and bottom.

**ANCHOR BOLTS:** Anchor bolts are fabricated from a commercial quality hot rolled carbon steel bar that meets or exceeds a minimum guaranteed yield strength of 50,000 psi. Bolts have an "L" bend on one end and threaded on the opposite end. Anchor bolts are galvanized a minimum of 12" on the threaded end. Four (4) properly sized bolts, each furnished with two (2) regular hex nuts and two (2) flat washers, are provided per pole, unless otherwise specified.

**BASE COVER:** A two-piece base cover completely conceals the entire base plate and anchorage.

**HAND HOLE:** The reinforced hand hole has a nominal rectangular 2" X 4" inside opening in the pole shaft. Included is a cover plate with attachment screws. The hand hole is located 18" above the base and 180° clockwise with respect to the luminaire arm when viewed from the top of the pole for one arm. For two arms the hand hole is located directly under one arm.

**POLE TOP CAP:** Each pole assembly is provided with a removable pole top cap.

**FINISH:** Poles are available with a bronze, natural, white or black electrostatically applied, thermally cured TGIC polyester powdercoat finish.

**STOCK POLES:** Poles provided from stock under the Quick Ship program are drilled for four (4) luminaires at 90° with three (3) hole sets plugged.

### GENERAL POLE INFORMATION

**DESIGN:** The poles as charted are designed to withstand dead loads and predicted dynamic loads developed by variable wind speeds with an additional 30% gust factor under the following conditions:

The charted weights include luminaire(s) and/or mounting bracket(s).

The wind velocities are based on 10 mph increments from 80 mph through 100 mph. Poles to be located in areas of known abnormal conditions may require special consideration. For example: coastal areas, airports and areas of special winds.

Poles are designed for ground mounted applications. Poles mounted on structures (such as buildings and bridges) may also necessitate special consideration requiring Philips Gardco's recommendation.

Height correction factors and drag coefficients are applied to the entire structure. An appropriate safety factor is maintained based on the minimum yield strength of the material incorporated in the pole.

**WARNING:** This design information is intended as a general guideline only. The customer is solely responsible for proper selection of pole, luminaire, accessory and foundation under the given site conditions and intended usage. The addition of any items to the pole, in addition to the luminaire, will dramatically impact the EPA load on that pole. It is strongly recommended that a qualified professional be consulted to analyze the loads given the user's specific needs to ensure proper selection of the pole, luminaire, accessories, and foundation. Philips Gardco assumes no responsibility for such proper analysis or product selections. **Failure to insure proper site analysis, pole selection, loads and installation can result in pole failure, leading to serious injury or property damage.**

**GENERAL INFORMATION:** Mounting height is the vertical distance from the base of the lighting pole to the center of the luminaire arm at the point of luminaire attachment. Twin arms as charted are oriented at 180° with respect to each other. For applications of two (2) arms at 90° or other multiple arm applications, consult the factory.

**WARRANTY:** Philips Gardco poles feature a 1 year limited warranty. See Warranty Information on [www.sitelighting.com](http://www.sitelighting.com) for complete details and exclusions.

1611 Clovis Barker Road, San Marcos, TX 78666

(800) 227-0758 (512) 753-1000 FAX: (512) 753-7855 [sitelighting.com](http://www.sitelighting.com)

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Philips Gardco reserves the right to change materials or modify the design of its product without notification as part of the company's continuing product improvement program.

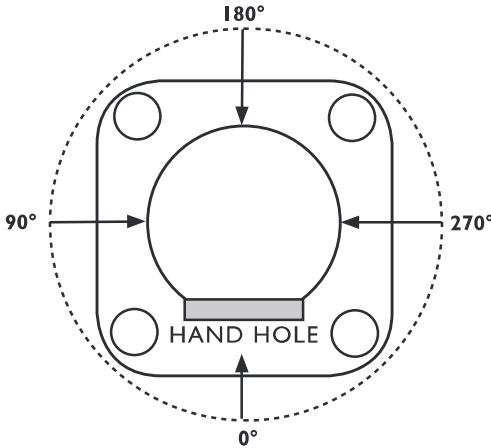
79415-18/0611

**PHILIPS**



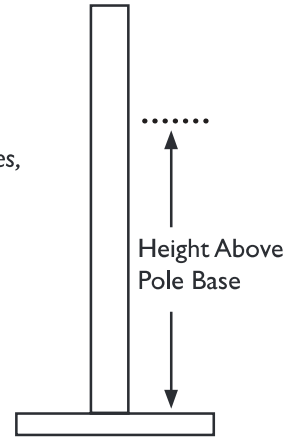
### ORIENTATION INFORMATION

#### FACTORY INSTALLED OPTIONS AND ACCESSORIES



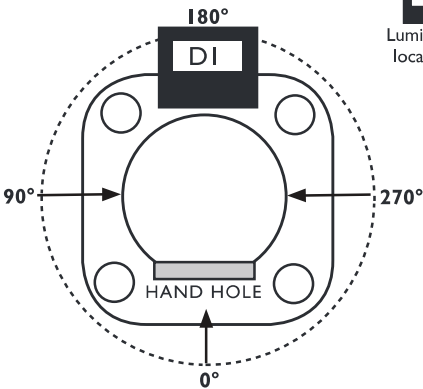
Orientation is measured clockwise from the Hand Hole Center.

For Factory Installed Options and Accessories, Specify Orientation from Hand Hole and Height Above Pole Base Where Required.



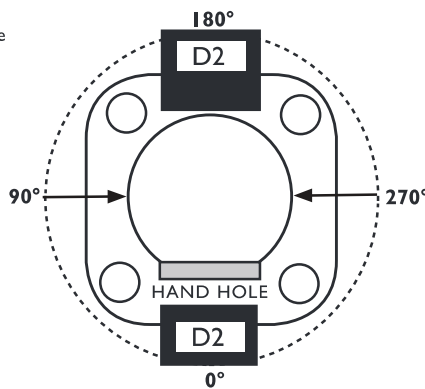
#### STANDARD ARM MOUNT LUMINAIRE ORIENTATION

**D1** Drilled for Single Luminaire

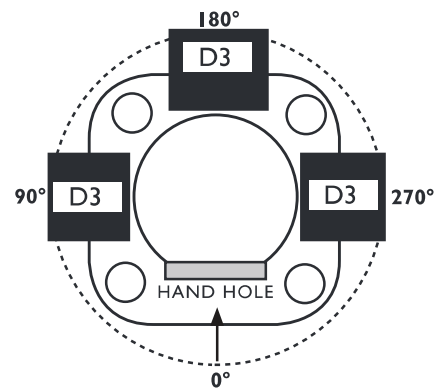


 Luminaire location

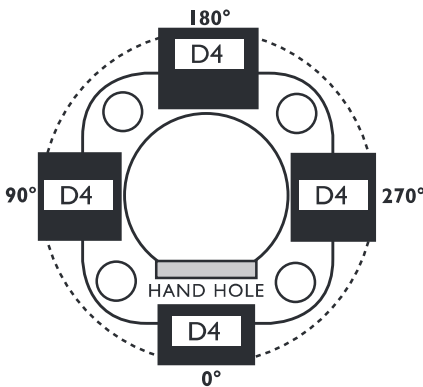
**D2** Drilled for 2 Luminaires at 180°



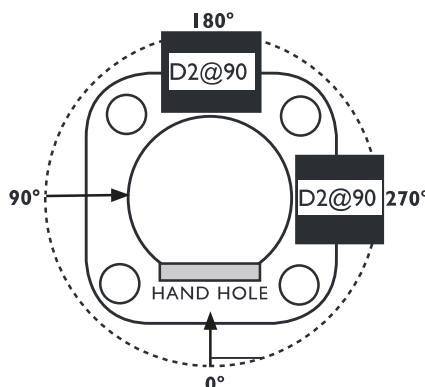
**D3** Drilled for 3 Luminaires @ 90°



**D4** Drilled for 4 Luminaires at 90°



**D2@90** Drilled for 2 Luminaires at 90°



**CITY OF ROCKWALL**  
**PLANNING AND ZONING COMMISSION MEMO**

**AGENDA DATE:** 01/31/2017

**APPLICANT:** Brett Mashchak; *Academy Sports + Outdoors*

**AGENDA ITEM:** **SP2017-007**; *Amended Site Plan for Academy Sports + Outdoors*

---

**SUMMARY:**

Discuss and consider a request by Brett Mashchak of Academy Sports + Outdoors on behalf of Tim Denker of Steger Dunhill, LLC for the approval of an amended site plan for an existing building situated on a 5.511-acre parcel of land identified as Lot 4, Block A, Steger Towne Crossing, Phase 1, Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts, addressed as 920 Steger Towne Drive, and take any action necessary.

**BACKGROUND AND PURPOSE:**

The applicant is requesting the approval of an amended site plan for the purpose of changing the exterior building elevations for an existing 56,125 SF building. The site plan and final plat for the facility were approved on June 11, 1996 under *Case No's. PZ1996-037-01 and PZ1996-037-02*. The facility was constructed in 1997 as an *Albertson's* grocery store and remodeled in 2008 (*i.e. BLD2008-0084*) to accommodate a *Sports Authority* sporting goods store.

**BUILDING ELEVATIONS:**

The applicant has submitted elevations showing changes to the exterior building intended to accommodate branding for an *Academy Sports + Outdoors* sporting goods store. The only major change to the exterior is the removal of the Aluminum Composite Material (ACM) panels that were installed as part of the sign variance granted to the *Sports Authority* in 2008 (*i.e. SGN2007-0231*). The applicant is proposing to cover this area using *EIFS*, which will raise the total amount of *EIFS* on the front façade to ~13.32%. According to both the IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts all exterior walls are to be 90% masonry with the remaining ten (10) percent being permitted to be secondary materials. *EIFS* is not defined as a masonry material and as a result would be limited to ten (10) percent of the buildings' façade. In this case, the applicant will require a variance to the secondary material requirements.

It should be pointed out that the original building was constructed in 1997 in accordance with the requirements of the Comprehensive Zoning Ordinance (*as opposed to the Unified Development Code*), which permitted synthetic stucco (*i.e. EFIS*) to count toward the masonry materials; however, the original building used 100% CMU. When the Unified Development Code (UDC) was adopted in 2004, the zoning code was changed to count *EFIS* as a secondary material in favor of encouraging the use of three (3) part stucco which counts as a masonry material.

**VARIANCE:**

Based on the applicant's submittal staff has identified the following variance:

- a) *Secondary Materials*. According to Section 6.6, IH-30 Overlay (IH-30 OV) District, and Section 6.8, Scenic Overlay (SOV) District of the Unified Development Code (UDC), "(s)econdary materials used on the façade of a building are those that comprise less than

ten (10) percent of an elevation area. Permitted secondary materials are primary materials, aluminum and other metal, EFIS, cast stone or other materials as approved by the Director of Planning or his designee.” In this case, the front (*southwest*) façade of the building will incorporate an estimated ~13.32% EFIS, which will require a variance for the additional 3.32%. According to Sections 6.6.G & 6.8.J, of the UDC “(t)he City Council may, upon request from the [an] applicant, grant a variance to any provision of this section [*the SOV & IH-30*] where unique or extraordinary conditions exist or where strict adherence to the provisions of this section would create a hardship ...” *This variance is discretionary and will require a ¾-majority vote by the City Council for approval.*

### **ARCHITECTURAL REVIEW BOARD (ARB):**

On January 31, 2017, the Architectural Review Board (ARB) will review the proposed building elevations and make a recommendation to the Planning and Zoning Commission during its regularly scheduled meeting.

### **RECOMMENDATIONS:**

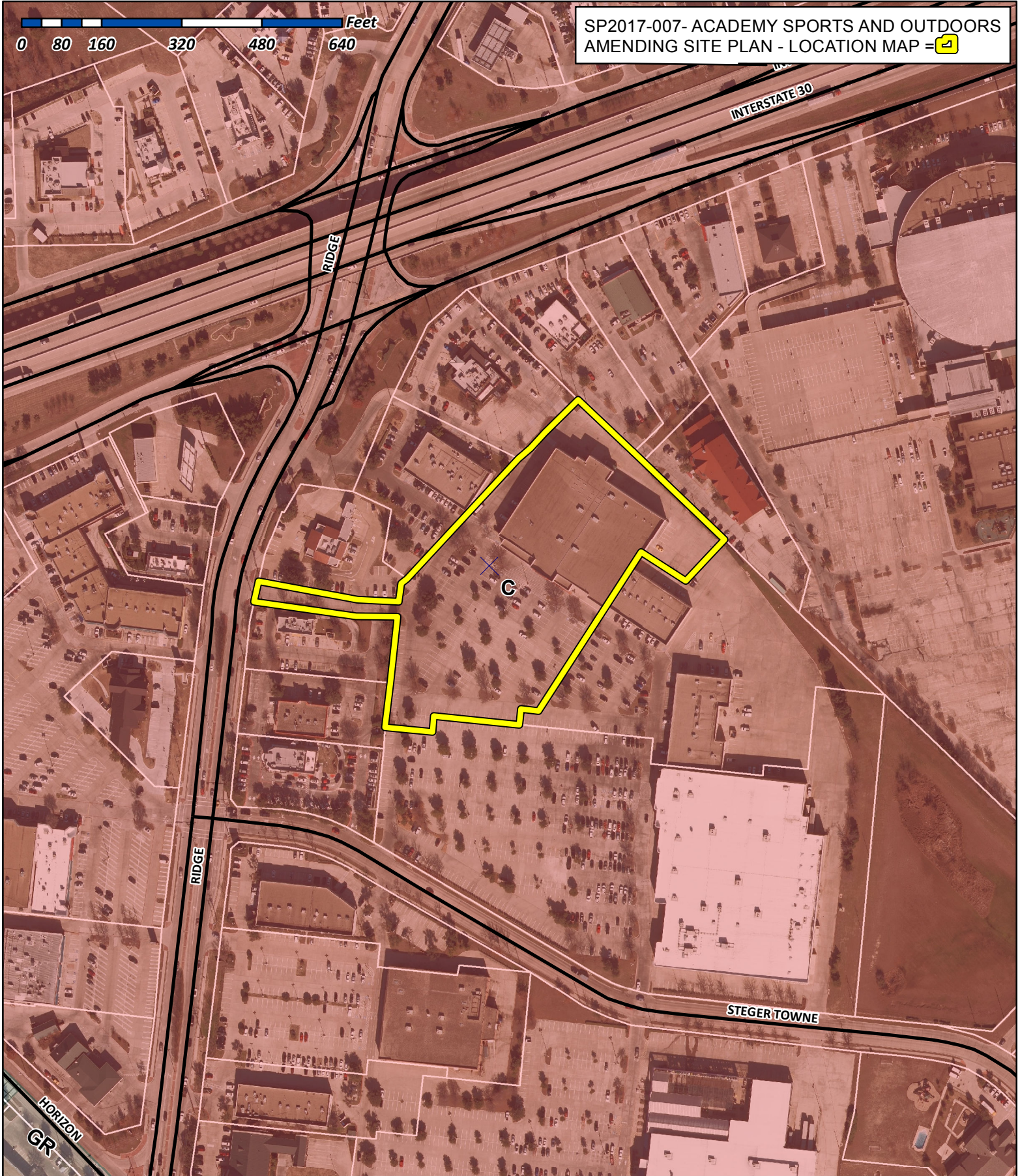
If the Planning & Zoning Commission chooses to approve the applicant’s request then staff would recommend the following conditions of approval:

- 1) All comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) Any construction or building necessary to complete this *Site Plan* request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



0 80 160 320 480 640 Feet

SP2017-007- ACADEMY SPORTS AND OUTDOORS  
AMENDING SITE PLAN - LOCATION MAP - [2]



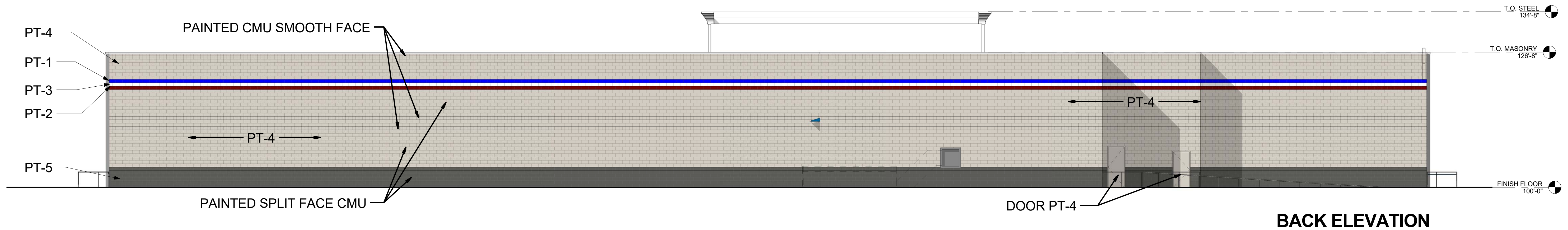
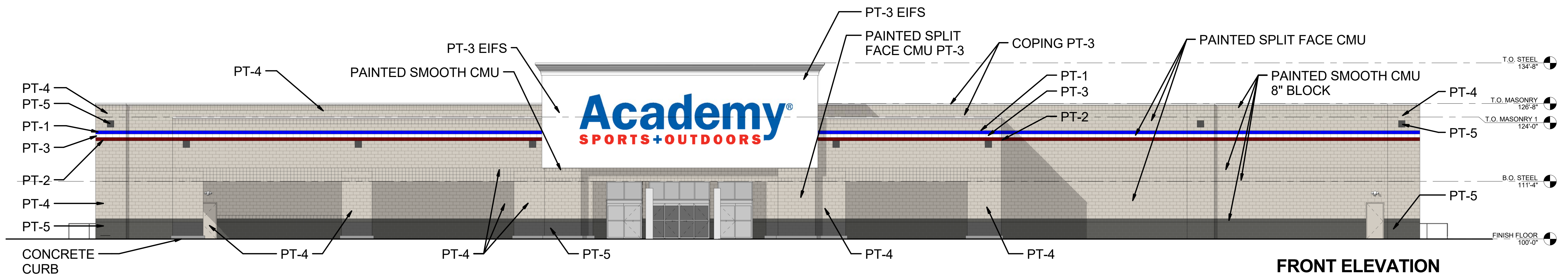
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







## ACADEMY'S STANDARD COLORS

### PAIN T SELECTION

PT-1	SW CM ACADEMY BLUE
PT-2	SW CM ACADEMY RED
PT-3	SW 7005 PURE WHITE
PT-4	SW 7641 COLLONADE GRAY
PT-5	SW CM ACADEMY DARK GRAY

### WALLS

CONCRETE TILT UP WALL PANEL - TEXTURED PAINT

### CANOPY

PURE WHITE SW 7005

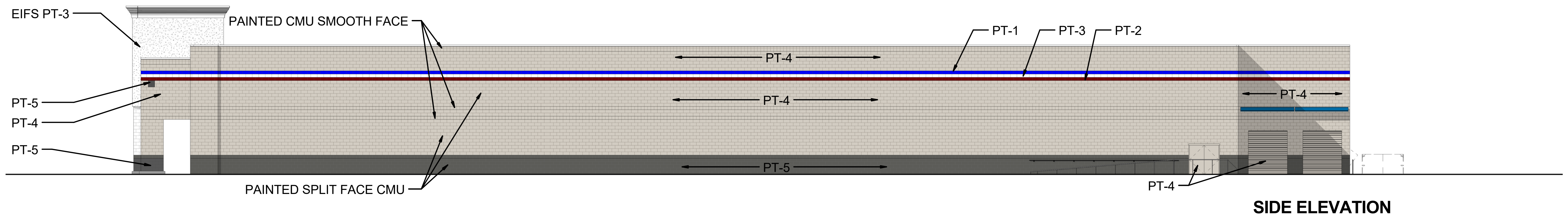
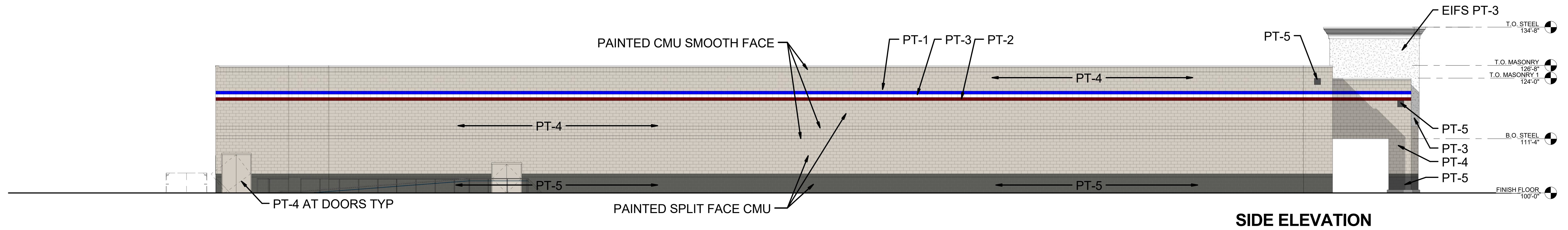
**RAMP AND STAIR DESIGNS SUBJECT TO CHANGE PENDING FINAL GRADING PLAN FROM CIVIL. GUARD RAILS AT RAMP AND STAIRS NOT SHOWN FOR CLARITY**

**Academy**<sup>®</sup>  
**SPORTS+OUTDOORS**

920 SEGER TOWNE RD  
 ROCKWALL, TX

01/10/17





### ACADEMY'S STANDARD COLORS

**PAINT SELECTION**

- PT-1 SW CM ACADEMY BLUE
- PT-2 SW CM ACADEMY RED
- PT-3 SW 7005 PURE WHITE
- PT-4 SW 7641 COLLONADE GRAY
- PT-5 SW CM ACADEMY DARK GRAY

**WALLS**

CONCRETE TILT UP WALL PANEL - TEXTURED PAINT

**CANOPY**

PURE WHITE SW 7005

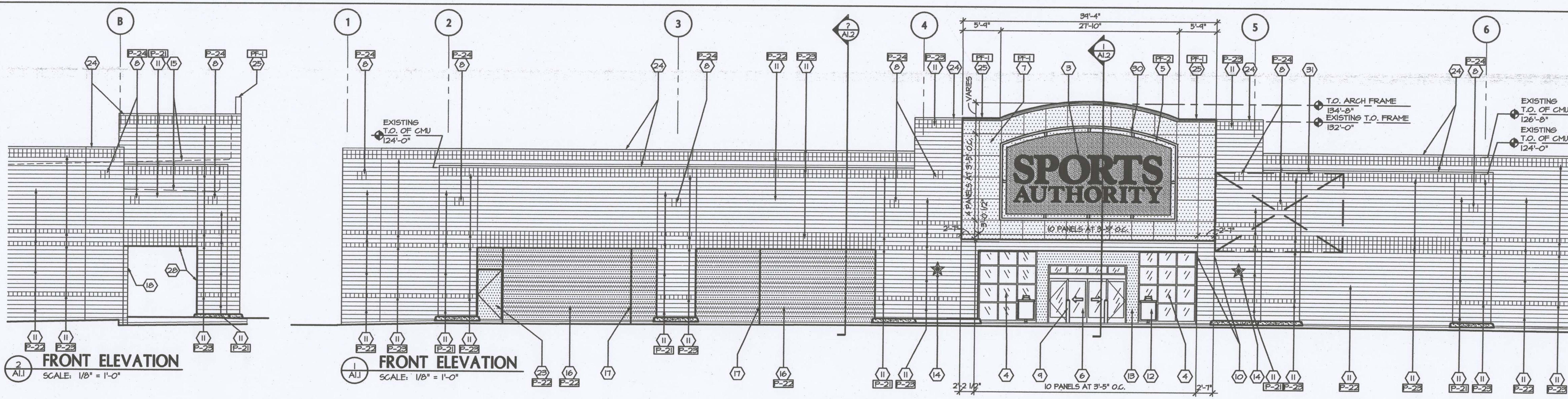
**RAMP AND STAIR DESIGNS SUBJECT TO CHANGE PENDING FINAL GRADING PLAN FROM CIVIL. GUARD RAILS AT RAMP AND STAIRS NOT SHOWN FOR CLARITY**

**Academy®**  
**SPORTS+OUTDOORS**

920 SEGER TOWNE RD  
 ROCKWALL, TX

01/10/17





**KEYED NOTES:**

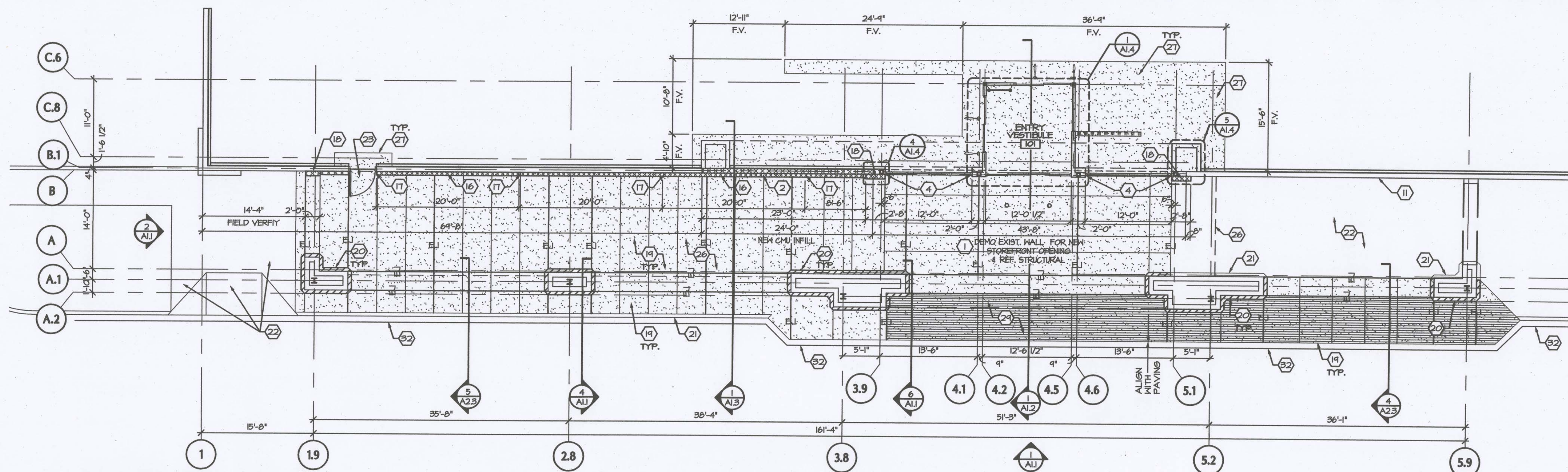
- 1 REMOVE PORTION OF EXISTING CMU WALL AS NOTED ON PLAN. PROVIDE SHORING AS NOTED IN STRUCTURAL DRAWINGS
- 2 NEW CMU WALL INFILL, REF STRUCTURE
- 3 SPORTS AUTHORITY SIGN, REFER SIGNAGE SUBMITTAL
- 4 NEW STOREFRONT SYSTEM
- 5 ALUMINUM FRAME BY SIGNAGE MANUFACTURER
- 6 NEW AUTO SLIDER DOOR
- 7 NEW ALUMINUM COMPOSITE METAL PANEL SYSTEM IN 3'-5" X 5'-5" GRID. ALL JOINTS TO BE PRE-FINISHED TO MATCH 'SPORTS AUTHORITY RED'.
- 8 EXISTING CERAMIC TILE, REPAIR TO MATCH EXISTING
- 9 PIPE BOLLARDS REF 2/A1.3
- 10 REPAIR SPLIT FACE CMU AT CORNERS OF COLUMNS TO PROVIDE INTEGRAL FINISH AND APPEARANCE
- 11 EXISTING CMU WALL, RESEAL ALL CONTROL JOINTS AND CRACKS. PAINT TO MATCH EXISTING
- 12 METAL ASH/TRASH RECEPTACLE REF ACCESSORIES ON A2.1
- 13 BREAK METAL TO MATCH STOREFRONT, REF DETAILS ON A1.4
- 14 EXISTING APPLIED STAR MEDALLION TO REMAIN, REMOVE AND RE-ATTACH AS REQUIRED
- 15 EXISTING ROOF SLOPE (BEYOND)
- 16 NEW SPLIT-FACED CMU VENEER, ANCHOR TO EXISTING STRUCTURE WITH MASONRY TIE-ANCHORS @ 16" OC VERTICALLY AND 52" OC HORIZONTALLY, PAINT TO MATCH EXISTING
- 17 NEW VENEER CONTROL JOINT, MATCH SEALANT COLOR TO CMU VENEER BLOCK. PAINT, DO NOT PAINT
- 18 NEW CMU PILLASTER, ANCHOR TO EXISTING STRUCTURE WITH MASONRY TIE-ANCHORS @ 16" OC VERTICAL AND 5" HORIZONTAL. PATCH TO MATCH EXISTING
- 19 NEW CONCRETE SIDEWALK, REF DETAILS 4, 5, 6 THIS SHEET
- 20 NEW CONCRETE CURB, REF DETAIL 4-A1.1
- 21 EXISTING CONCRETE CURB, PROTECT AND REPAIR AS REQUIRED
- 22 EXISTING CONCRETE SIDEWALK, PROTECT AND REPAIR AS REQUIRED
- 23 NEW DOOR, REF DOOR AND FRAME SCHEDULE
- 24 EXISTING PREFINISHED METAL GAP FLASHING, PROTECT DURING CONSTRUCTION AS REQUIRED
- 25 NEW PREFINISHED METAL GAP FLASHING
- 26 NEW STUCCO CEILING TO MATCH EXISTING, REF 1-A1.2 AND 1-A1.3
- 27 NEW CONCRETE SLAB, REF STRUCTURAL
- 28 RE-CONDITION EXISTING CMU AND LINTEL AS REQUIRED FOR FINISH. PAINT TO MATCH EXISTING
- 29 SCORED TACTILE WARNING AT NEW SIDEWALK. RED STAINED CONCRETE AT TACTILE WARNING AREA, REF DETAIL 6-A2.3
- 30 METAL FASCIA PANEL BY SPORTS AUTHORITY, COLOR: SILVER
- 31 PAINT COLOR TEST AREA. PAINT THIS AREA AND WAIT FOR APPROVAL BY SPORTS AUTHORITY PROJECT MANAGER BEFORE PROCEEDING.
- 32 PAINTED FIRE LANE STRIPE. PAINT AND LETTER TO MATCH EXISTING

**COLOR:**

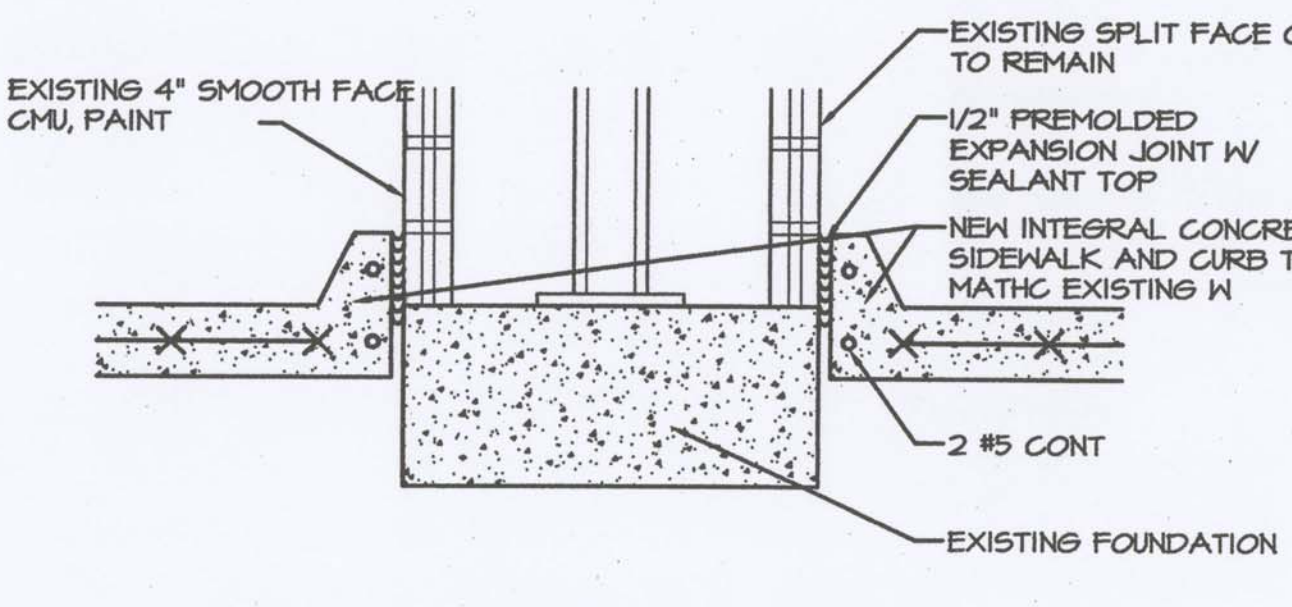
- 2-21 COLOR TO MATCH EXISTING CREAM COLOR
- 2-22 COLOR LIGHT TAN
- 2-23 COLOR TO MATCH EXISTING DARK BROWN
- 2-24 COLOR TO MATCH 'SPORTS AUTHORITY RED'
- 2-25 BLACK
- 1F-1 PREFINISHED COLOR TO MATCH 'SPORTS AUTHORITY RED'
- 1F-2 PREFINISHED COLOR - BLACK

**PAINTING:**

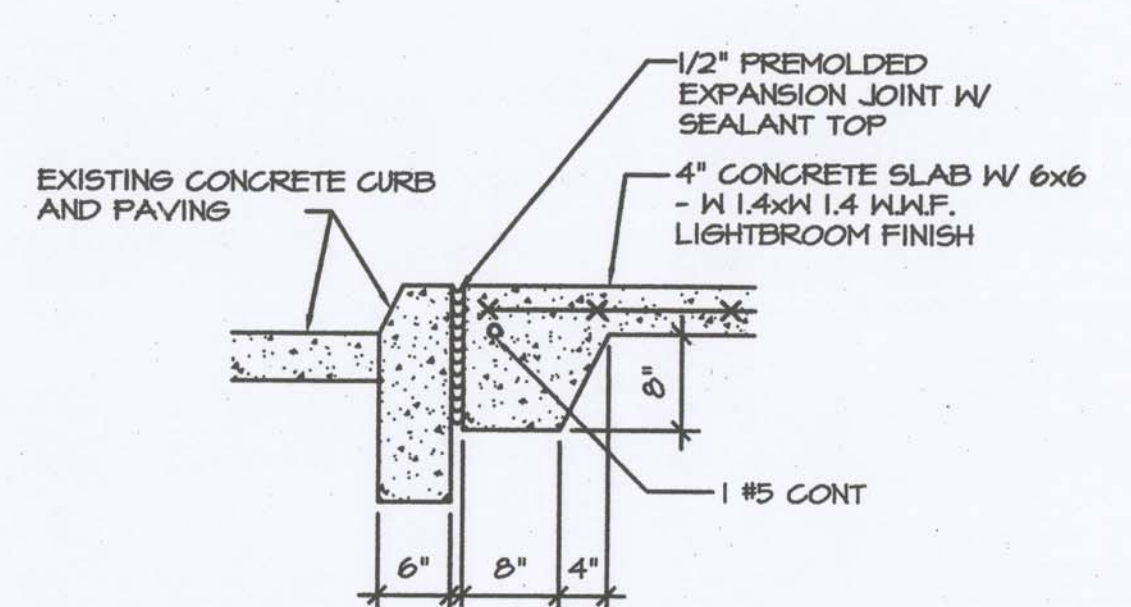
CONTRACTOR NOTE: REMAINDER OF EXTERIOR OF BUILDING IS TO BE PAINTED. WEST WALL IS TO BE PAINTED WITH ACCENT COLORS SIMILAR TO THE FRONT WALL. BACK WALL AND EAST WALLS ARE TO BE PAINTED 2-22.



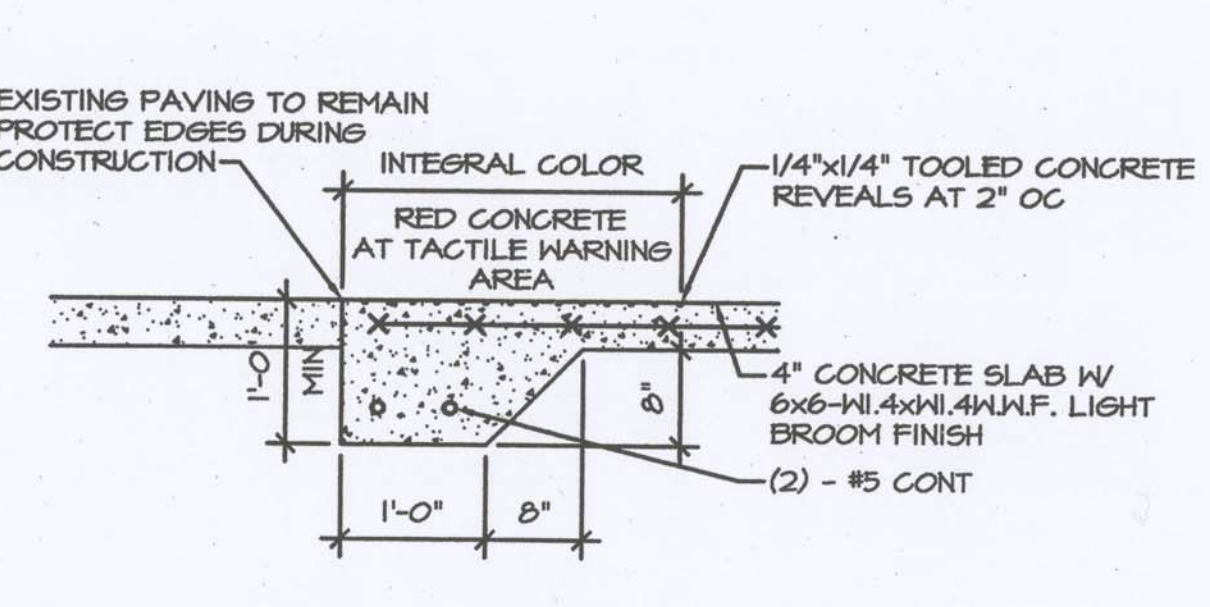
**ENLARGED ENTRY PLAN**  
SCALE: 1/8" = 1'-0"



**4** COLUMN/SIDEWALK DETAIL  
SCALE: 3/4" = 1'-0"



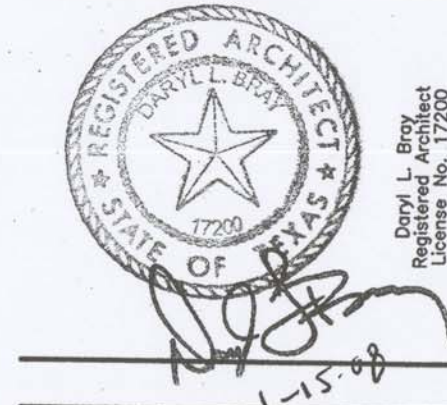
**5** NEW CONCRETE SIDEWALK  
SCALE: 3/4" = 1'-0"



**6** TACTILE WARNING RAMP  
SCALE: 3/4" = 1'-0"

**SPORTS AUTHORITY**  
STORE #211  
EXTERIOR REMODEL & TENANT IMPROVEMENT DRAWINGS  
STEEGER TOWNE CROSSING  
920 STEEGER TOWNE ROAD  
ROCKWALL, TX 75082  
SGA PROJECT NUMBER: 0748043

**SS**  
Daryl L. Gray, AIA  
Scott M. Miller, Architects  
1437 South Boulder Avenue  
Suite 100  
Thapa, Colorado 80119-2009  
P 303-557-8800  
F 303-557-8801



ISSUE DATE: 01/14/08  
DRAWN BY: JA  
CHECKED BY: DST/DSJ

EXTERIOR ELEVATIONS  
AND ENLARGED  
ENTRY PLAN





**SPORTS  
AUTHORITY**

920



# SPORTS AUTHORITY

920











FIRE LANE NO PARKING







## City of Rockwall Project Plan Review History



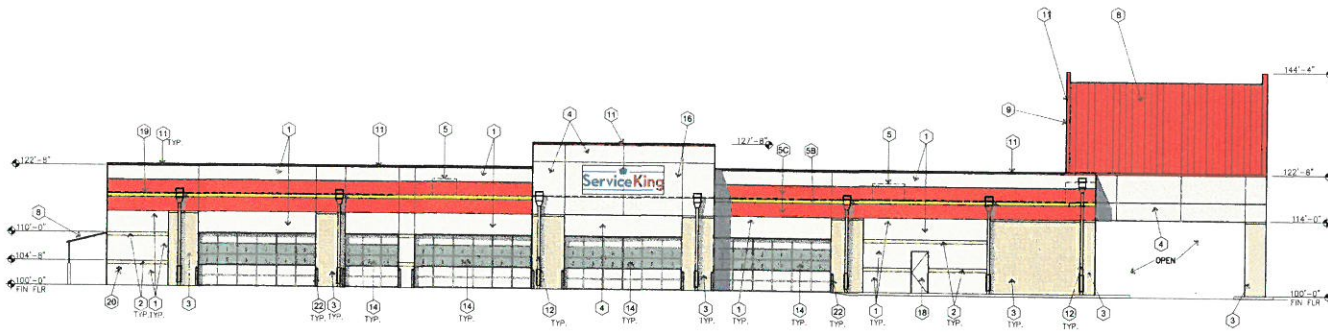
<b>Project Number</b> SP2017-004	<b>Owner</b> U, V REAL ESTATE LP	<b>Applied</b> 1/12/2017 LM
<b>Project Name</b> Service King	<b>Applicant</b> CARROLL ARCHITECTS, INC	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b> AMENDING		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 1/12/2017 LM

<b>Site Address</b> 1780 I30	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
---------------------------------	--	---------------

<b>Subdivision</b> ROCKWALL KIA	<b>Tract</b> 7-1	<b>Block</b> NULL	<b>Lot No</b> 7-1	<b>Parcel No</b> 0134-0000-0007-01-OR	<b>General Plan</b>
------------------------------------	---------------------	----------------------	----------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	1/12/2017	1/19/2017				
ENGINEERING	Amy Williams	1/12/2017	1/19/2017	1/18/2017	6	APPROVED	
FIRE	Ariana Hargrove	1/12/2017	1/19/2017	1/18/2017	6	APPROVED	
GIS	Lance Singleton	1/12/2017	1/19/2017	1/17/2017	5	APPROVED	
PLANNING (1/27/2017 8:48 AM KB) See Markups	Korey Brooks	1/12/2017	1/19/2017	1/27/2017	15	COMMENTS	Comments





② WEST ELEVATION

SCALE: 3/32" = 1'-0"  
 100% MASONRY  
 22% STONE  
 21% STUCCO  
 57% CMU BLOCK

Please show vent stacks in all elevations.

Stucco will need to be 3-part stucco

Please callout the percentage of smooth face CMU vs. split face



① SOUTH (FRONT) ELEVATION

SCALE: 3/32" = 1'-0"  
 100% MASONRY  
 30% STONE  
 37% STUCCO  
 33% CMU BLOCK

EXTERIOR ELEVATION KEYNOTES	
①	OLD CASTLE CMU, BRUSH LIMESTONE COLOR
②	OLD CASTLE CMU, BRUSH BURNISHED TAN COLOR
③	STONE, LIMESTONE 6"x4"x12" CHOPPED ASHLAR PATTERN
④	7/8" 3 PART STUCCO W/ ELASTOMERIC FINISH, MEDIUM TEXTURE, SWISS DRINE WHITE COLOR
⑤	RTU BEYOND
⑥	OLD CASTLE CMU, BRUSH SMOOTH FACE W/ ELASTOMERIC YELLOW PAINT FINISH
⑦	OLD CASTLE CMU, BRUSH SMOOTH FACE W/ ELASTOMERIC RED PAINT FINISH
⑧	PLASTER CONTROL/EXPANSION JOINT
⑨	EXPANSION JOINT BETWEEN STONE AND PLASTER WALL FINISH
⑩	MILEROY METAL ROOF, BRITE RED COLOR
⑪	MILEROY METAL ROOF, BRITE RED COLOR
⑫	ROOF ACCESS LADDER, PAINTED
⑬	MILEROY METAL COPING, BRITE RED COLOR
⑭	ROOF SCUPPER & DOWNSPOUT - PAINTED SWISS DRINE WHITE
⑮	PAINT BOOTH VENT STACK
⑯	INSULATED OH. DOOR & VISION PANELS
⑰	INSULATED OH. SECTIONAL METAL DOOR
⑱	7/8" 3 PART STUCCO WALL FINISH, PAINTED #2 YELLOW COLOR
⑲	FOURFRONT WINDOW & DOOR COLOR, MEDIUM BRONZE
⑳	EXTERIOR HOLLOW METAL DOOR & FRAME, REF. DET. 11-81/FADE, SW 8100 DRINE WHITE
㉑	ROOF LINE BEYOND
㉒	FIRE RISER W/ FIRE DEPARTMENT CONNECTION
㉓	ELECTRICAL RISER RE. ELEC. DRAWINGS
㉔	PAINT SW 8100 DRINE WHITE
㉕	2'-6" HIGH 4" DIA. FIRE BOLLARD
㉖	PAINT TRAFFIC YELLOW

STATE: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT: \_\_\_\_\_

NO. \_\_\_\_\_

DATE: \_\_\_\_\_

BY: \_\_\_\_\_

FOR: \_\_\_\_\_

SCALE: \_\_\_\_\_

PROJECT NO. \_\_\_\_\_

DATE: \_\_\_\_\_

BY: \_\_\_\_\_

FOR: \_\_\_\_\_

SCALE: \_\_\_\_\_

PROJECT NO. \_\_\_\_\_

DATE: \_\_\_\_\_

BY: \_\_\_\_\_

FOR: \_\_\_\_\_

SCALE: \_\_\_\_\_

**SERVICE KING**  
**COLLISION REPAIR CENTER**  
 1780 East Interstate 30  
 Rockwall, Texas

**SERVICE KING**  
**COLLISION REPAIR CENTER**  
 2600 N. CENTRAL EXPWY.  
 SUITE 400  
 RICHARDSON, TEXAS  
 75080

**CARROLL**  
**architects**

7501 Interstate 30  
 Rockwall, TX 75087  
 P. 972.212.8858  
 F. 972.212.8858

**EXTERIOR ELEVATIONS & DETAILS**

05.01.2016 SHEET NO:  
 2016001  
**A501**  
 DW  
 JC


Please provide case number "SP2017-004"

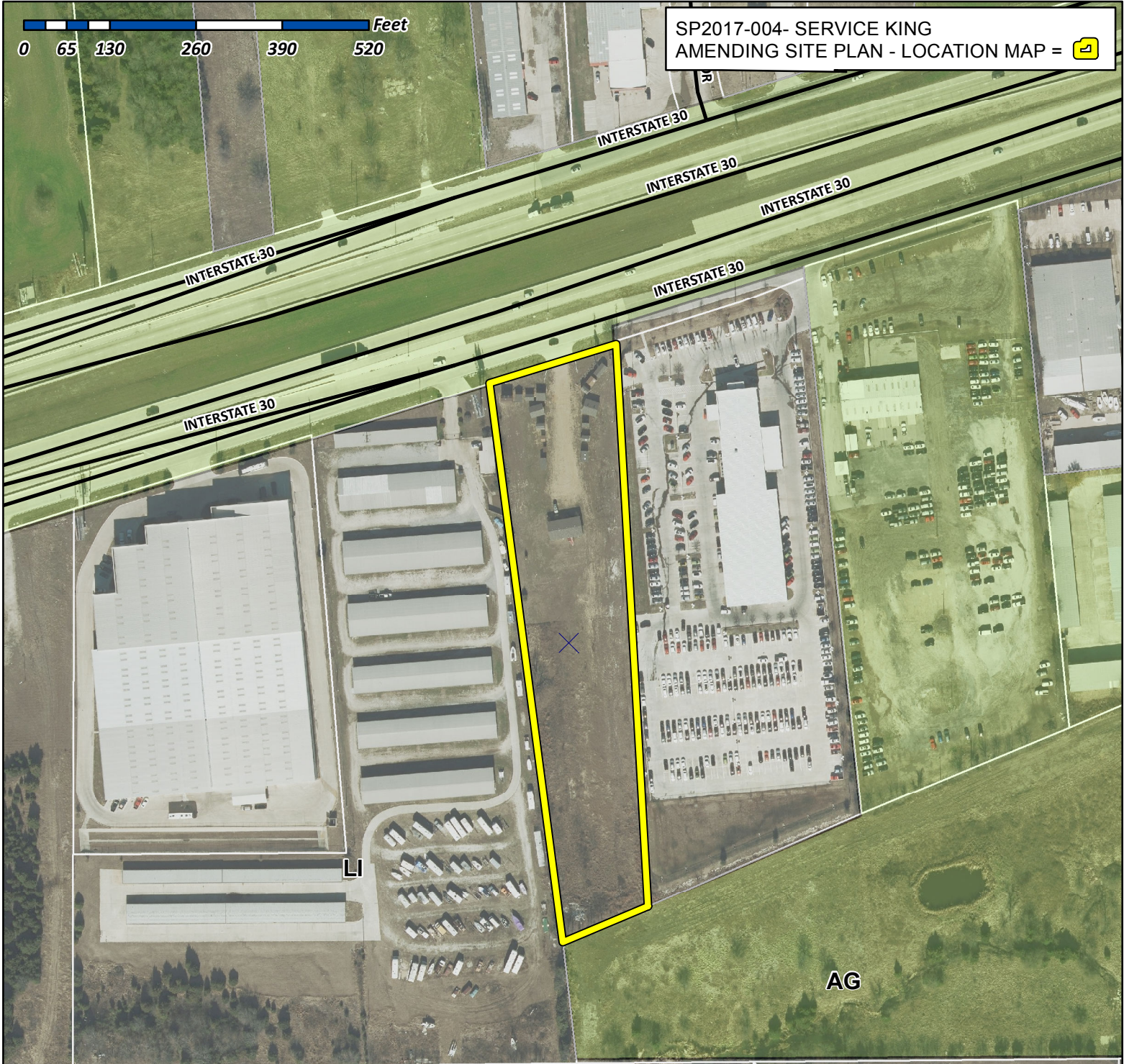






0 65 130 260 390 520 Feet

SP2017-004- SERVICE KING  
AMENDING SITE PLAN - LOCATION MAP = 



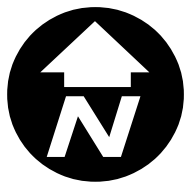
PD-10



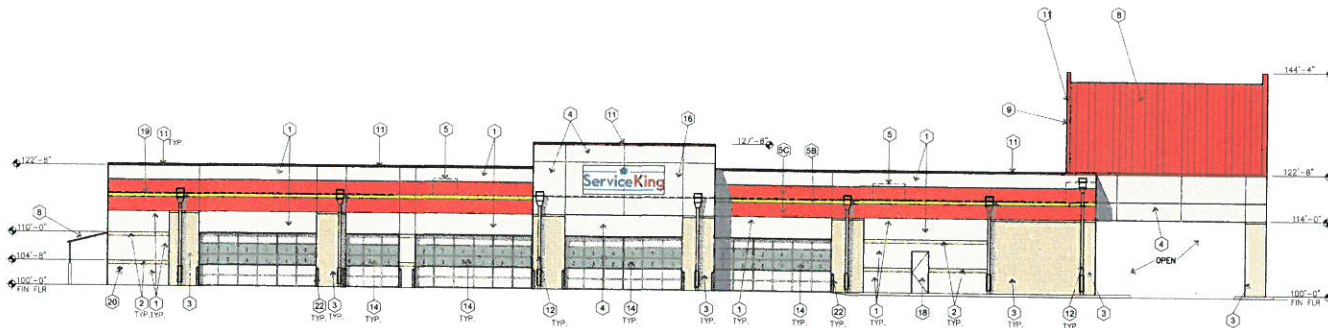
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
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⑬	MELROY METAL COPING, BRITE RED COLOR
⑭	ROOF SCUPPER & DOWNSPOUT - PAINTED SWIND DRINK WHITE
⑮	PAINT BOOTH VENT STACK
⑯	INSULATED CH. DOOR & VISION PANELS
⑰	INSULATED CH. SECTIONAL METAL DOOR
⑱	7/8" 3 PART STUCCO WALL FINISH, PAINTED #2 YELLOW COLOR
⑲	FORFRONT WINDOW & DOOR COLOR, MEDIUM BRONZE
⑳	EXTERIOR HOLLOW METAL DOOR & FRAME, REF. DTL. 7-8/FINISH, SW SID DRINK WHITE
㉑	ROOF LINE BEYOND
㉒	FIRE RISER W/ FIRE DEPARTMENT CONNECTION
㉓	ELECTRICAL RISER, RE. ELEC. DRAWINGS
㉔	PAINT SW SID DRINK WHITE
㉕	2'-6" HIGH 4" DIA. FIRE BOLLARD
㉖	PAINT TRAFFIC YELLOW

DATE: MAY 10, 2016  
 DWT: 26,2016

ROBERT J. JOZEL  
 LICENSE NO. 10222  
 STATE OF TEXAS  
 PROFESSIONAL ENGINEER  
 MECHANICAL  
 1000 W. UNIVERSITY BLVD., SUITE 1000  
 ROCKWALL, TEXAS 75087  
 P: 972-212-8058  
 F: 972-212-8058

**SERVICE KING  
 COLLISION REPAIR CENTER**  
 1780 East Interstate 30  
 Rockwall, Texas

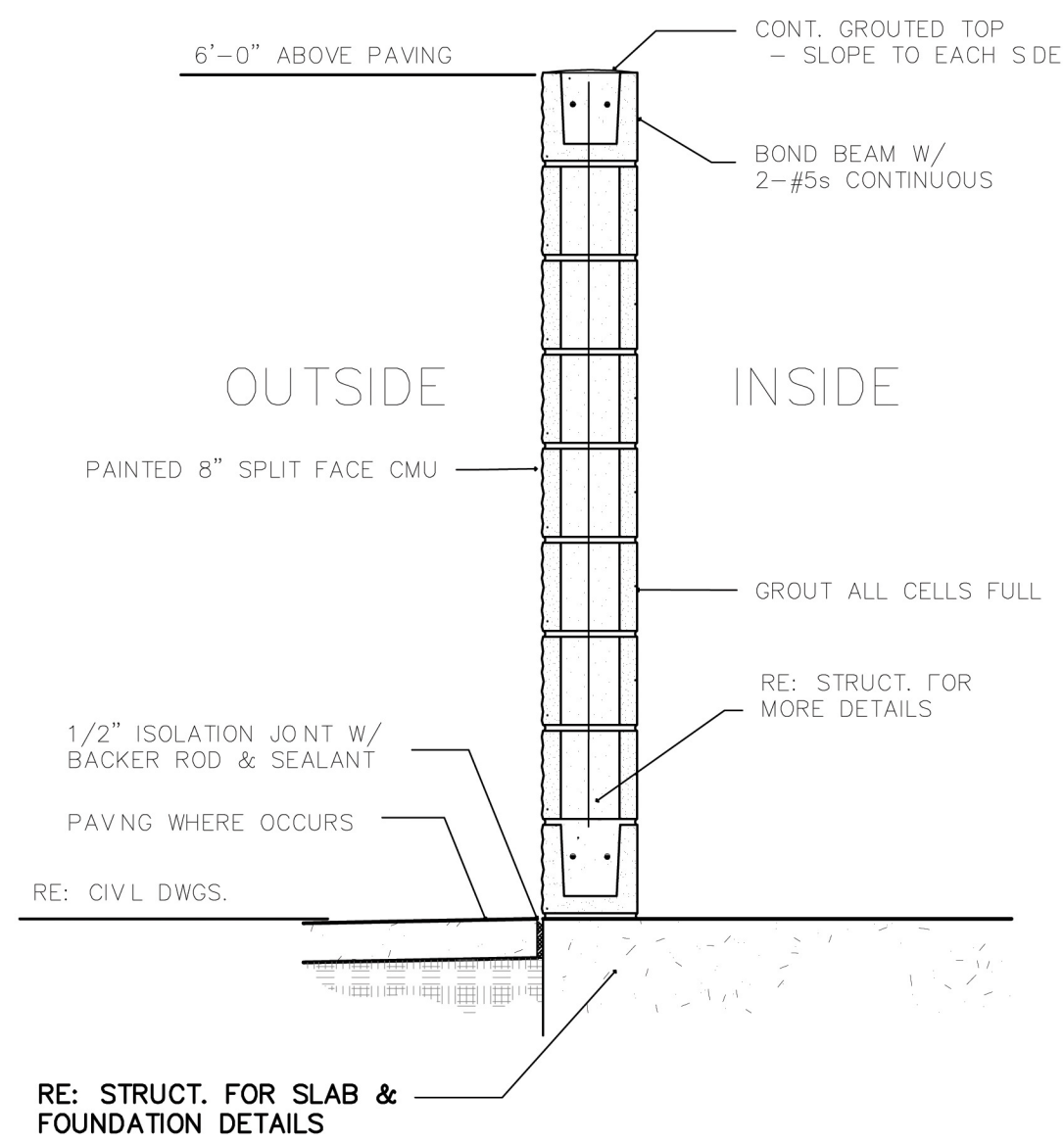
**SERVICE KING  
 COLLISION REPAIR CENTER**  
 2600 N. CENTRAL EXPWY.  
 SUITE 400  
 RICHARDSON, TEXAS  
 75080

**CARROLL  
 architects**

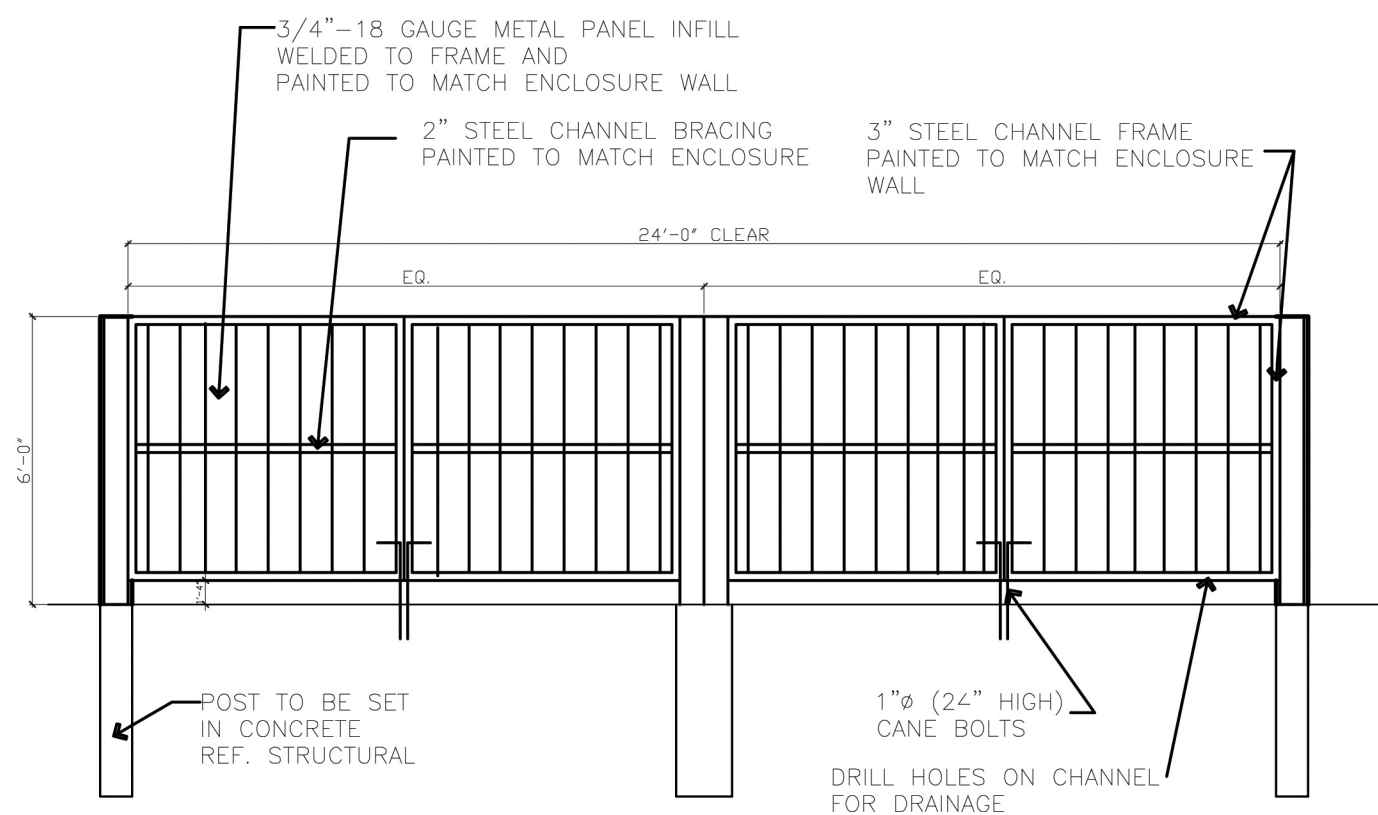
7501 Interstate 30  
 Rockwall, TX 75087  
 P: 972-212-8058  
 F: 972-212-8058

**EXTERIOR  
 ELEVATIONS  
 & DETAILS**

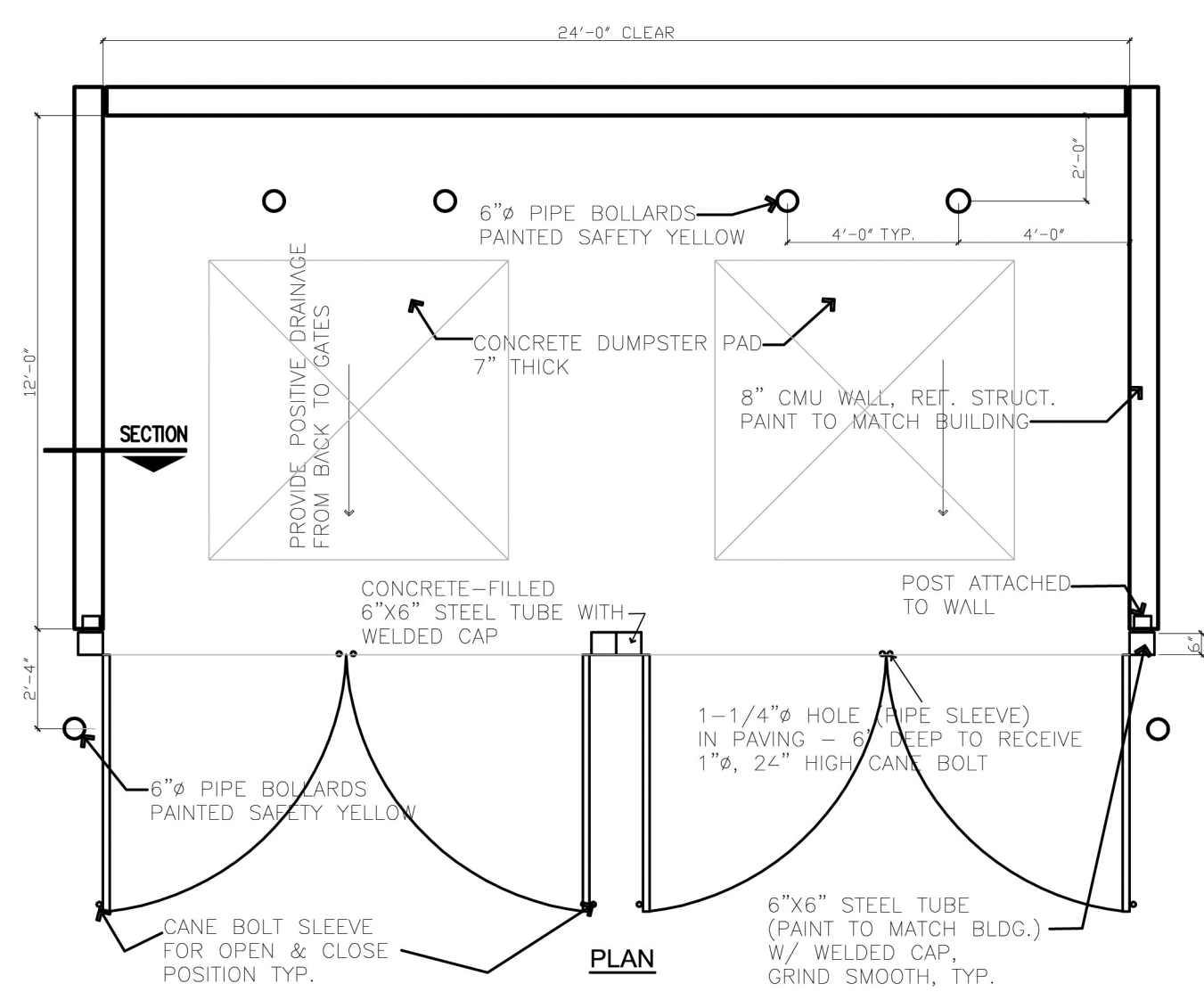




**3 DUMPSTER WALL SECTION**  
SCALE: 3/4"=1'-0"

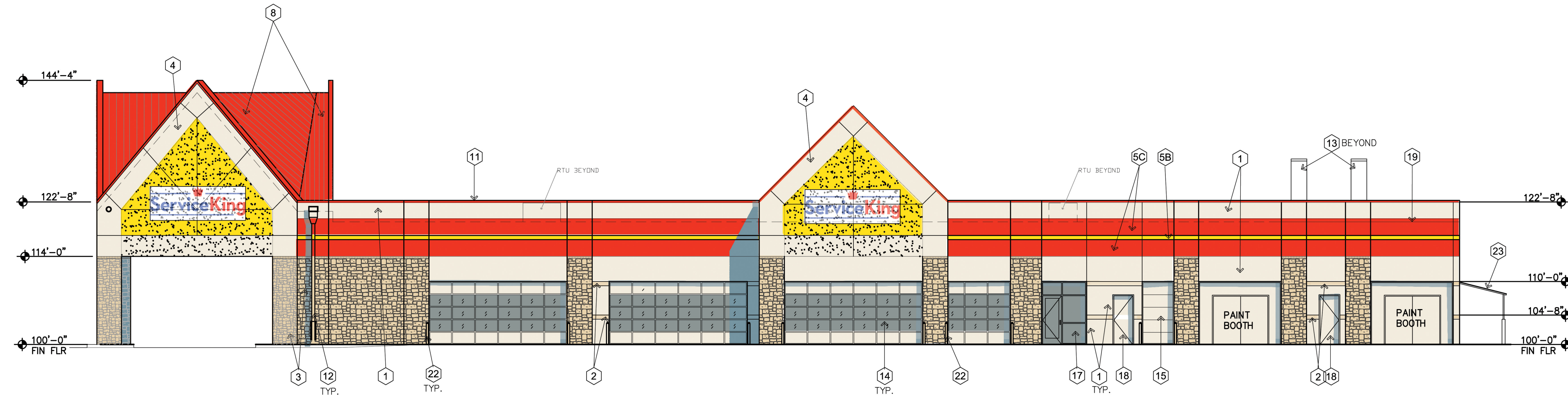


**ELEVATION**  
SELF LATCHING GATES

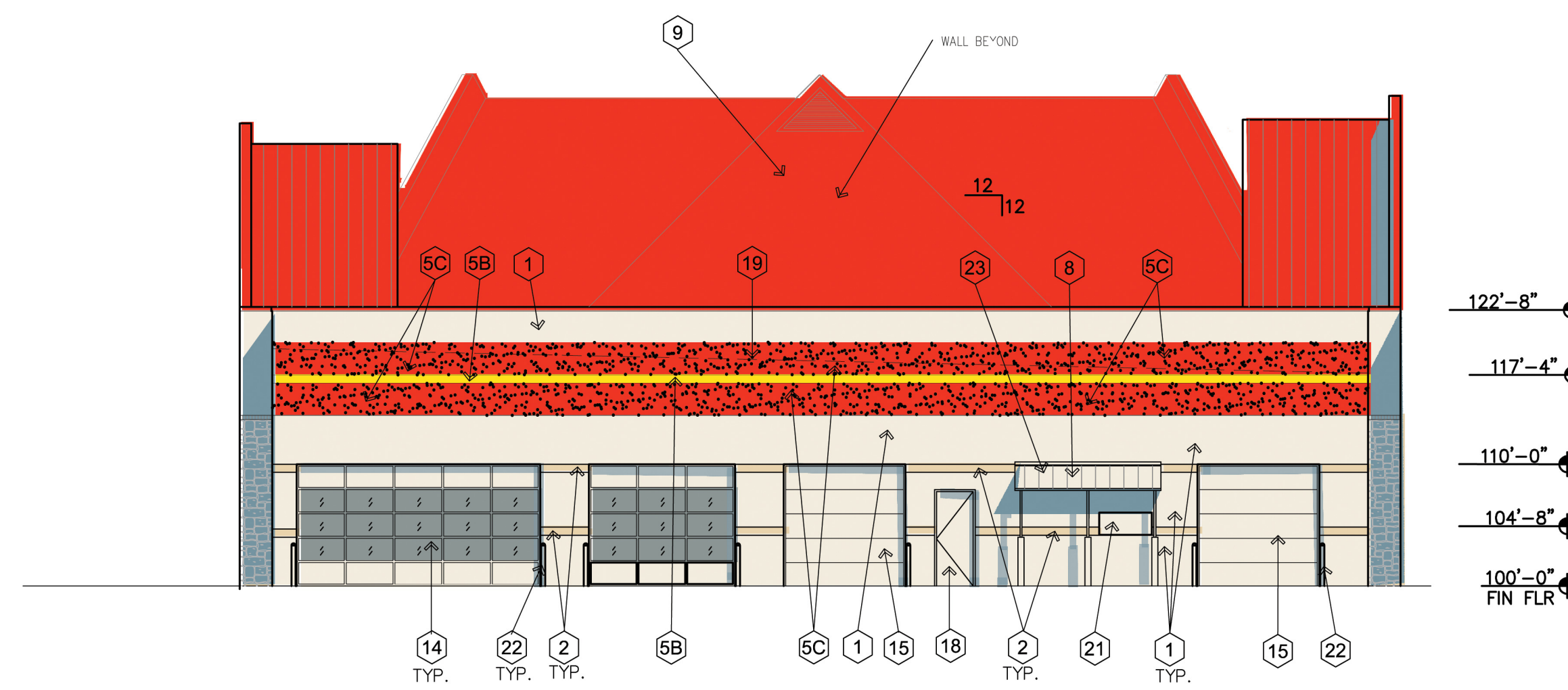


**4 DUMPSTER ENCLOSURE DETAIL**  
SCALE: 1/4"=1'-0"

Approved Elevations



**2 EAST ELEVATION**  
SCALE: 3/32" = 1'-0"  
100% CMU BLOCK MASONRY  
22% STONE  
27% STUCCO  
51% CMU BLOCK

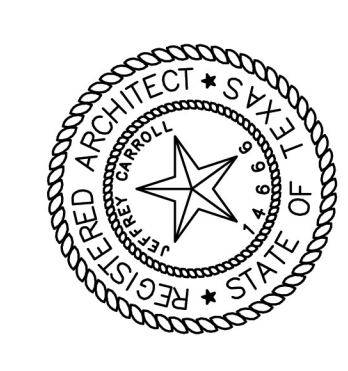


**1 NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"  
100% CMU BLOCK MASONRY

EXTERIOR ELEVATION KEYNOTES

- 1 SPLIT FACE CMU, INTEGRAL COLOR
- 2 CMU BURNISHED FACE, INTEGRAL COLOR
- 3 STONE
- 4 7/8" 3 PART STUCCO WALL FINISH
- 5A NOT USED
- 5B PAINTED COLOR #2 YELLOW COLOR
- 5C PAINTED COLOR #3 RED COLOR
- 6 PLASTER CONTROL/EXPANSION JOINT
- 7 EXPANSION JOINT BETWEEN CMU BLOCK AND PLASTER WALL FINISH
- 8 PREFINISHED STANDING SEAM METAL ROOF
- 9 PREFINISHED METAL SIDING
- 10 NOT USED
- 11 PREFINISHED METAL COPING
- 12 ROOF SCUPPER & DOWNSPOUT-(PAINTED)
- 13 PAINT BOOTH VENT STACK
- 14 OVERHEAD GLASS DOOR & TRACK
- 15 OVERHEAD SECTIONAL METAL DOOR
- 16 7/8" 3 PART STUCCO WALL FINISH PAINTED #2 YELLOW COLOR
- 17 STOREFRONT WINDOW & DOOR COLOR: CLEAR ANODIZED ALUMINUM
- 18 EXTERIOR HOLLOW METAL DOOR & FRAME. PAINTED REF. DTL. 7-8/A402
- 19 ROOF LINE BEYOND
- 20 FIRE RISER W/ FIRE DEPARTMENT CONNECTION
- 21 ELECTRICAL RISER, RE: ELEC. DRAWINGS
- 22 3'-6" HIGH 4" DIA. PIPE BOLLARD

ISSUE: MAY 10, 2016



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**SERVICE KING**  
**COLLISION REPAIR CENTER**  
1780 East Interstate 30  
Rockwall, Texas

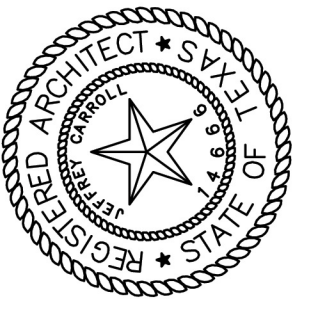
SERVICE KING  
COLLISION REPAIR  
2600 N. CENTRAL EXPWY.  
SUITE 400  
RICHARDSON, TEXAS  
75080



**EXTERIOR**  
**ELEVATIONS**  
**& DETAILS**

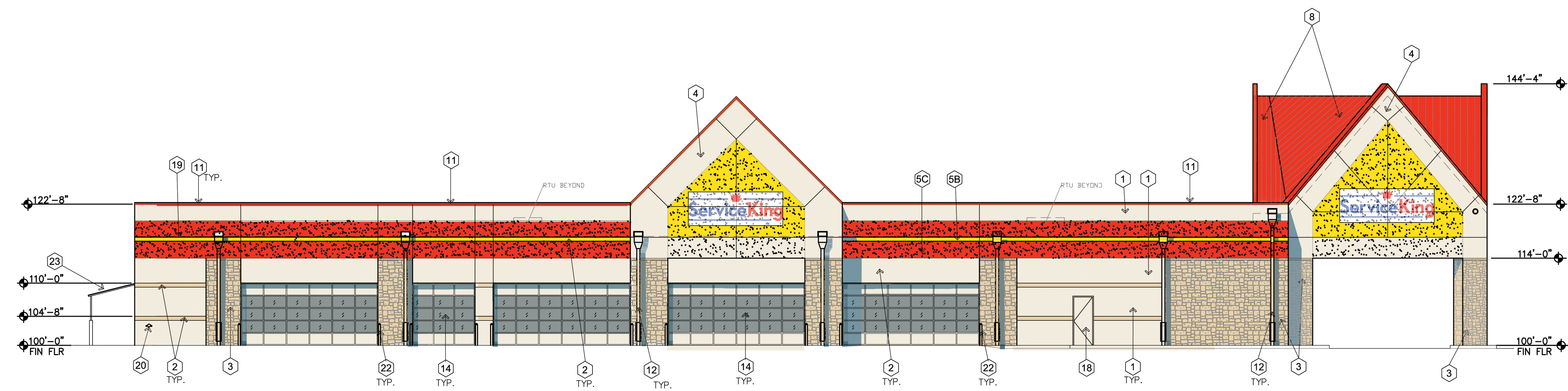
DATE: 05.01.2016 SHEET NO:  
PROJECT NO: 2016001 **A502**  
DRAWN BY: GW  
CHECKED BY: JC



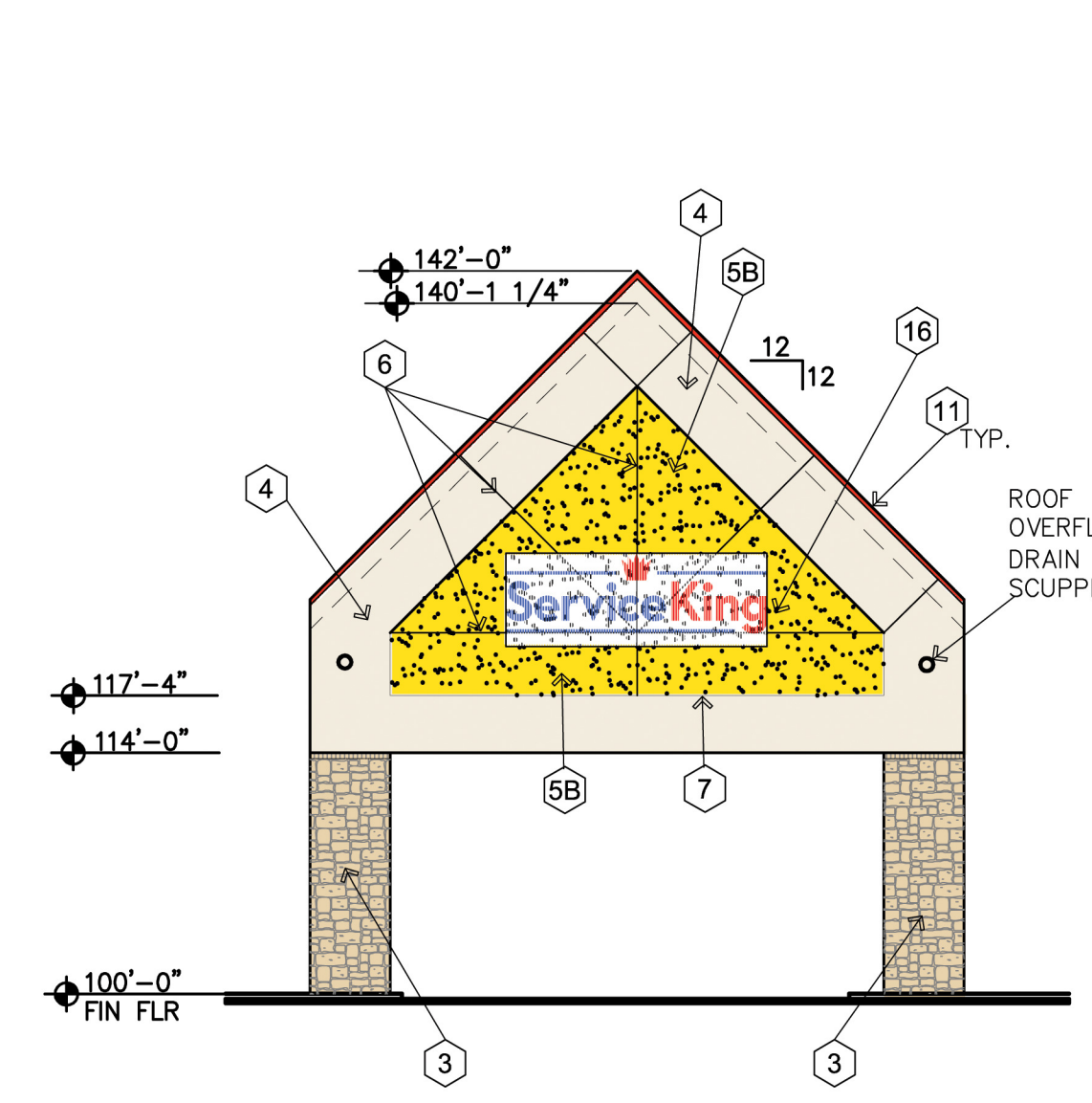


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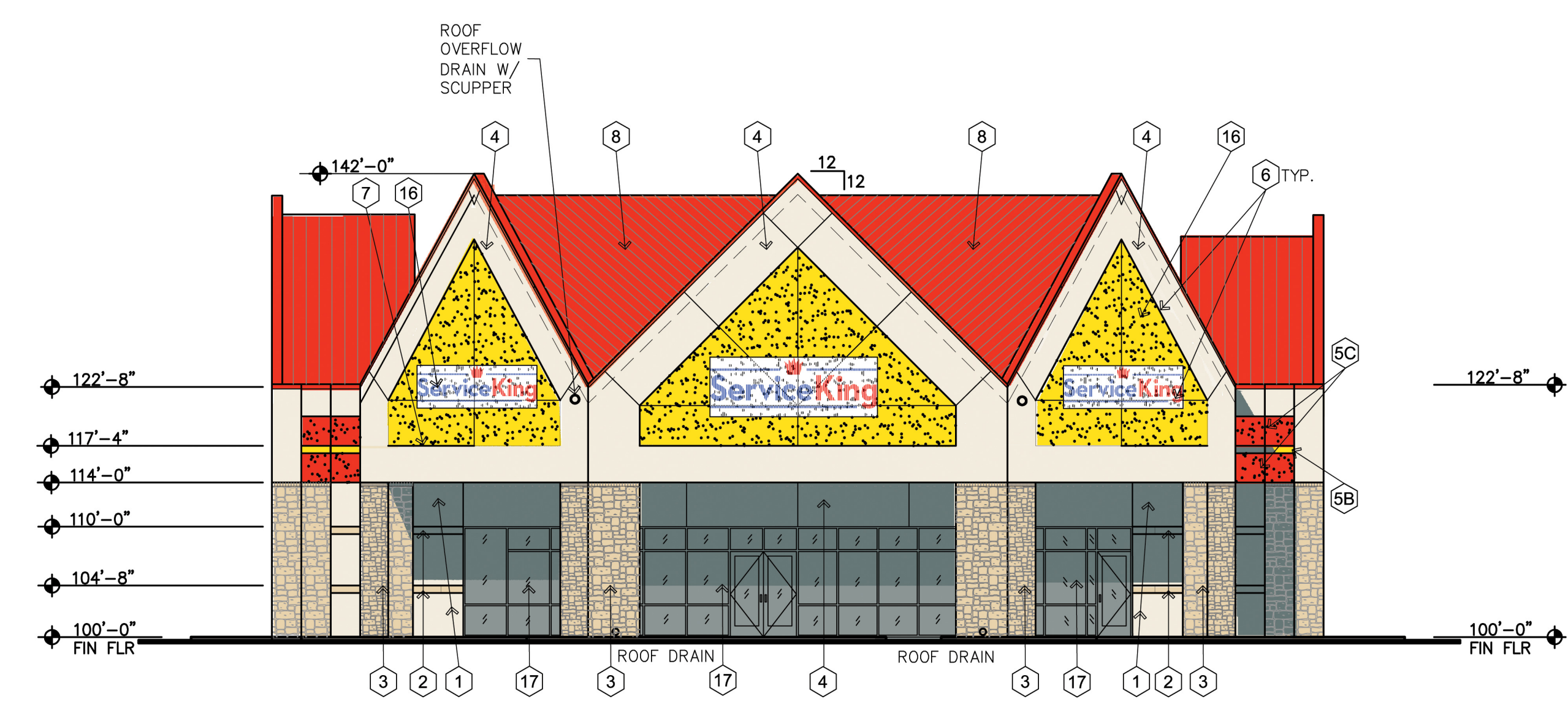
Approved Elevations



**2 WEST ELEVATION**  
 SCALE: 3/32" = 1'-0"  
 100% CMU BLOCK MASONRY  
 20% STONE  
 27% STUCCO  
 53% CMU BLOCK



**1A TRUE SIDE ELEVATION @ COVERED ENTRY**  
 SCALE: 3/32" = 1'-0"



**1 SOUTH (FRONT) ELEVATION**  
 SCALE: 3/32" = 1'-0"  
 100% MASONRY  
 20% STONE  
 58% STUCCO  
 22% CMU BLOCK

EXTERIOR ELEVATION KEYNOTES	
1	SPLIT FACE CMU, INTEGRAL COLOR
2	CMU BURNISHED FACE, INTEGRAL COLOR
3	STONE
4	7/8" 3 PART STUCCO WALL FINISH
5A	NOT USED
5B	PAINTED COLOR #2 YELLOW COLOR
5C	PAINTED COLOR #3 RED COLOR
6	PLASTER CONTROL/EXPANSION JOINT
7	EXPANSION JOINT BETWEEN STONE AND PLASTER WALL FINISH
8	PREFINISHED STANDING SEAM METAL ROOF
9	PREFINISHED METAL SIDING
10	ROOF ACCESS LADDER, PAINTED
11	PREFINISHED METAL COPING
12	ROOF SCUPPER & DOWNSPOUT--(PAINTED)
13	PAINT BOOTH VENT STACK
14	OVERHEAD GLASS DOOR & TRACK
15	OVERHEAD SECTIONAL METAL DOOR
16	7/8" 3 PART STUCCO WALL FINISH PAINTED #2 YELLOW COLOR
17	STOREFRONT WINDOW & DOOR COLOR: CLEAR ANODIZED ALUMINUM
18	EXTERIOR HOLLOW METAL DOOR & FRAME, PAINTED REF. DTL. 7-8 A402
19	ROOF LINE BEYOND
20	FIRE RISER W/ FIRE DEPARTMENT CONNECTION
21	ELECTRICAL RISER, RE: ELEC. DRAWINGS
22	3'-6" HIGH 4" DIA. PIPE BOLLARD

**SERVICE KING  
 COLLISION REPAIR CENTER**  
 1780 East Interstate 30  
 Rockwall, Texas

SERVICE KING  
 COLLISION REPAIR  
 2600 N. CENTRAL EXPWY.  
 SUITE 400  
 RICHARDSON, TEXAS  
 75080



**EXTERIOR  
 ELEVATIONS  
 & DETAILS**

DATE: 05.01.2016 SHEET NO:  
 PROJECT NO: 2016001 **A501**  
 DRAWN BY: GW  
 CHECKED BY: JC



## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2017-006	<b>Owner</b> TF HARBOR, LLC	<b>Applied</b> 1/17/2017 LM
<b>Project Name</b> The Harbor- Rockwall Addition	<b>Applicant</b> WINKELMANN & ASSOCIATES	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b> AMENDING		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 1/17/2017 LM

<b>Site Address</b> 2125 SUMMER LEE DR	<b>City, State Zip</b> ROCKWALL, TX 75032	<b>Zoning</b>
---	--	---------------


<b>Subdivision</b> HARBOR - ROCKWALL, THE	<b>Tract</b> 5	<b>Block</b> A	<b>Lot No</b> 5	<b>Parcel No</b> 3809-000A-0005-00-OR	<b>General Plan</b>
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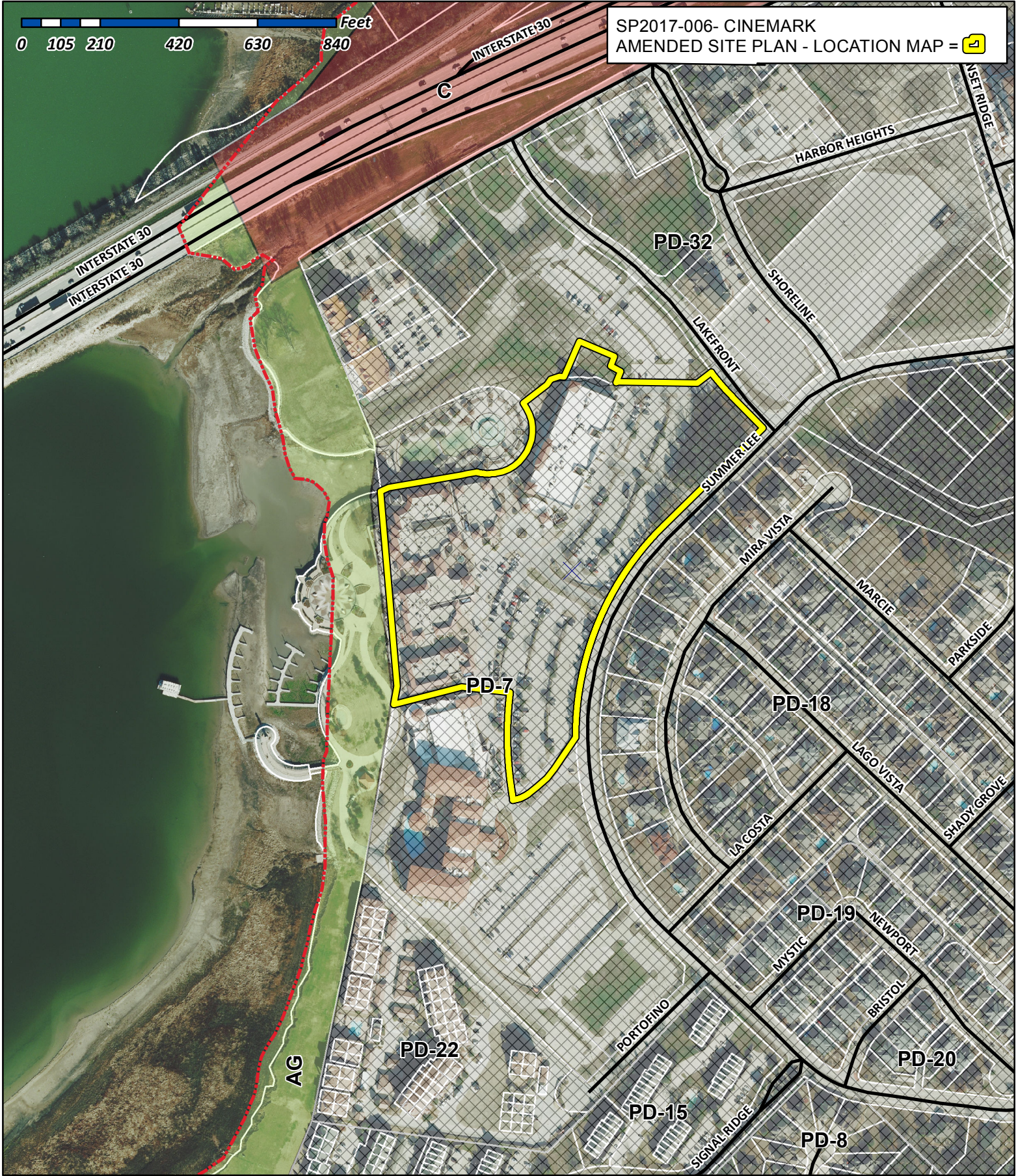
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	1/17/2017	1/24/2017	1/17/2017		APPROVED	
ENGINEERING	Amy Williams	1/17/2017	1/24/2017	1/18/2017	1	APPROVED	
FIRE	Ariana Hargrove	1/17/2017	1/24/2017	1/18/2017	1	APPROVED	
GIS	Lance Singleton	1/17/2017	1/24/2017	1/17/2017		APPROVED	
PLANNING	David Gonzales	1/17/2017	1/24/2017	1/25/2017	8	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Discuss and consider a request by Maria Bonilla of Winkleman &amp; Associates on behalf of Jim Ziggler of PegasusAblon for the approval of an amended site plan for the expansion of the existing Cinemark 12 Rockwall movie theater being a 12.894-acre tract of land currently identified as Lot 5 and a portion of Lot 7, Block A, The Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), addressed as 2125 Summer Lee Drive, and take any action necessary.</p> <p>PLANNING COMMENTS - DAVID GONZALES - 01.25.2017</p> <p>All staff comments are to be addressed and resubmitted by Tuesday, February 7, 2017. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p> <p>Planning Department General Comments to be addressed are as follows:</p> <ol style="list-style-type: none"> <li>1. Adherence to Engineering and Fire Department standards shall be required.</li> <li>2. Re-label revised site plan documents with "Case No. SP2017-006" at the lower right corner of each plan.</li> <li>3. All exterior signage requires submittal and approval of a separate building permit through the building inspections department.</li> </ol> <p>Please address the following Planning Comments for each plan submitted:</p> <p>Site Plan:</p> <ol style="list-style-type: none"> <li>1. Remove the "R" from the Lot descriptions (i.e. Lot 5R &amp; Lot 7R) to read Lot 5, Block A &amp; Lot 7, Block A. The City does not recognize "R" in lot numbers, rather a sequence of the lot numbers. The replat will recognize the lot number changes to Lots 8 &amp; 9.</li> <li>2. Reduce font size for coordinate information. Coordinates missing from left and right of page. Verify coordinates and correct page to where legible on page.</li> <li>3. Verify Curve and Line Tables. Does not match what is on site plan.</li> </ol> <p>Building Elevations:</p> <ol style="list-style-type: none"> <li>1. Building materials are to match the existing structure.</li> </ol> <p>The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the PD Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Meeting Dates to Attend:</p> <p>Architectural Review Board: January 31, 2017 (5:00 p.m.) [Applicant to receive recommendations from ARB]</p> <p>Planning - Work Session: January 31, 2017 (6:00p.m.) [Applicant to present case facts to P&amp;Z]</p> <p>Planning - Action: February 14, 2017 (6:00p.m.) [P&amp;Z to take action (i.e. approve, approve with conditions, etc.)]</p> <p>City Council - Action: February 20, 2017 (6:00 p.m.) [FOR VARIANCE &amp; EXCEPTION REQUEST ONLY]</p>						



0 105 210 420 630 840 Feet

SP2017-006- CINEMARK  
AMENDED SITE PLAN - LOCATION MAP = 



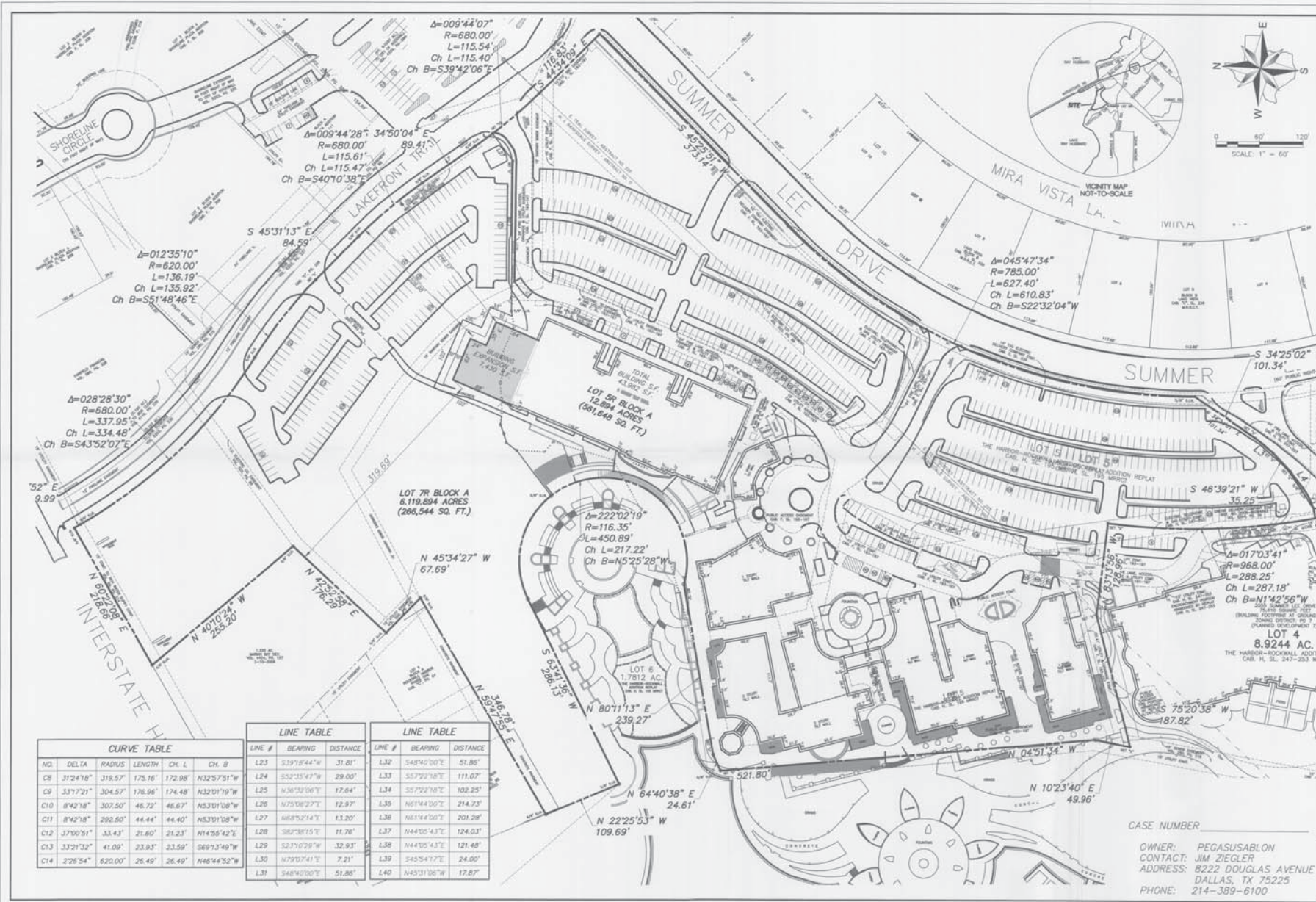
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

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CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CH. L.	CH. B.
C8	3124'18"	319.57'	175.16'	172.98'	N32°57'51" W
C9	3377'21"	304.57'	176.96'	174.48'	N32°01'19" W
C10	8'42'18"	307.50'	46.72'	46.67'	N53°01'08" W
C11	8'42'18"	292.50'	44.44'	44.40'	N53°01'08" W
C12	37'00'51"	33.43'	21.60'	21.23'	N14°55'42" E
C13	33'21'32"	41.00'	23.83'	23.59'	S69°13'49" W
C14	2'26'54"	620.00'	26.49'	26.49'	N46°44'52" W

LINE TABLE			LINE TABLE		
LINE #	BEARING	DISTANCE	LINE #	BEARING	DISTANCE
L23	S39°18'44" W	31.81'	L32	S48°40'00" E	51.86'
L24	S52°35'47" W	29.00'	L33	S57°22'18" E	111.07'
L25	N36°33'06" E	17.64'	L34	S57°22'18" E	102.25'
L26	N75°08'27" E	12.97'	L35	N61°14'00" E	214.73'
L27	N68°52'14" E	13.20'	L36	N61°14'00" E	201.28'
L28	S82°38'15" E	11.76'	L37	N44°05'43" E	124.03'
L29	S23°10'28" W	32.93'	L38	N44°05'43" E	121.48'
L30	N79°03'41" E	7.21'	L39	S45°54'17" E	24.00'
L31	S48°40'00" E	51.86'	L40	N45°31'06" W	17.87'

REVISION	DATE	BY	APPROVED	M.B.

01-13-2017

DATE

**Winkelmann & Associates, Inc.**

CONSULTING CIVIL ENGINEERS • SURVEYORS

1000 WEST WILSON AVENUE, SUITE 1000, DALLAS, TEXAS 75203  
 (214) 343-1100 • FAX (214) 343-1101  
 WWW.WINKELMANN-ASSOCIATES.COM

STATE OF TEXAS

COUNTY OF DALLAS

01-13-2017

AMENDED SITE PLAN

THE HARBOR

ROCKWALL, TEXAS

CASE NUMBER \_\_\_\_\_

OWNER: PEGASUSABLON

CONTACT: JIM ZIEGLER

ADDRESS: 8222 DOUGLAS AVENUE

DALLAS, TX 75225

PHONE: 214-389-6100



## City of Rockwall Project Plan Review History



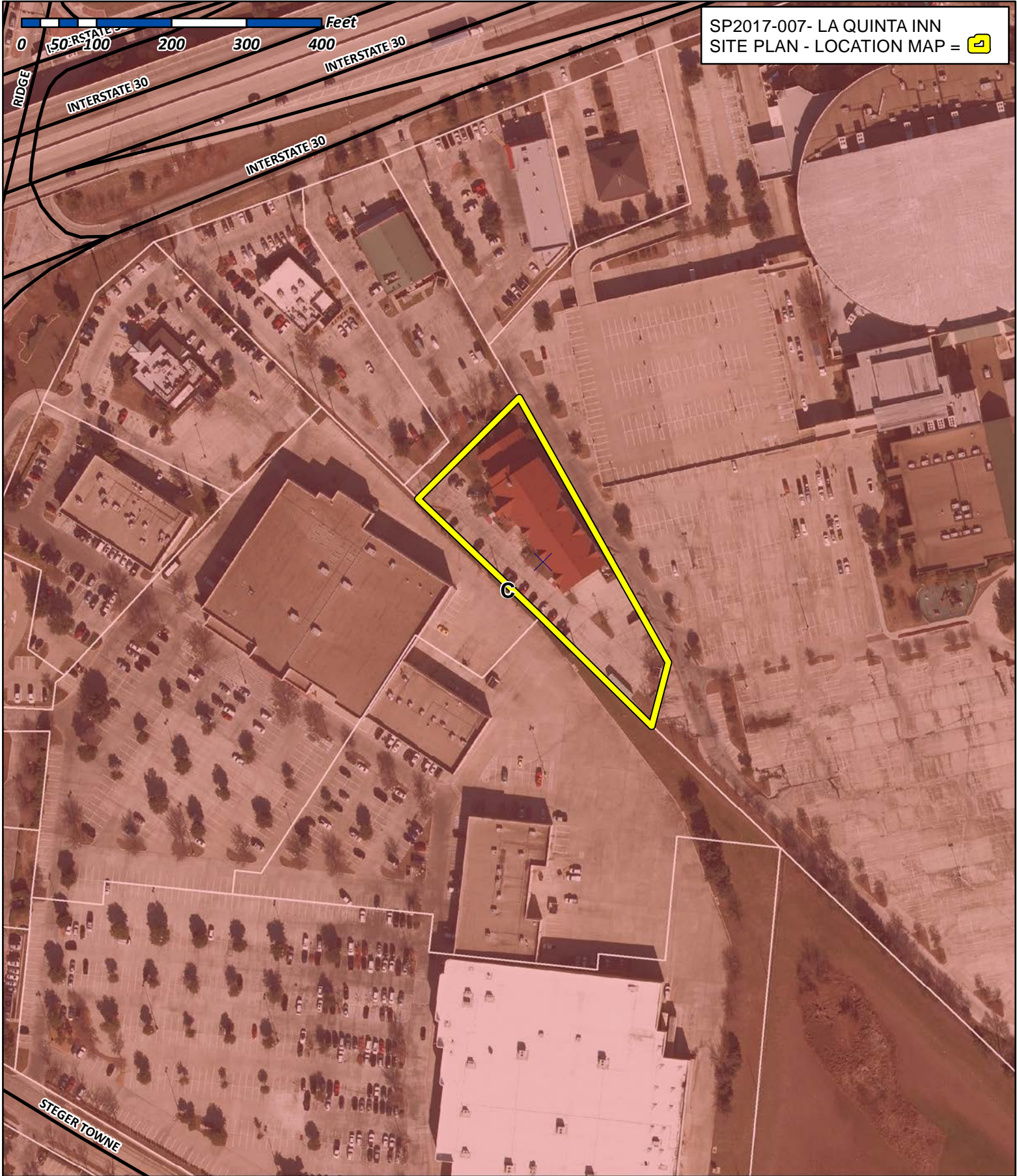
<b>Project Number</b> SP2017-008	<b>Owner</b> STJ, INVESTMENTS LLC	<b>Applied</b> 2/17/2017 LM
<b>Project Name</b> La Quinta	<b>Applicant</b> JAY SOUN	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b> AMENDING		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 2/17/2017 LM

<b>Site Address</b> 689 E I30	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
----------------------------------	--	---------------

<b>Subdivision</b> STEGER TOWNE CROSSING PH 1	<b>Tract</b> 3	<b>Block</b> NULL	<b>Lot No</b> 3	<b>Parcel No</b> 4429-0000-0003-00-OR	<b>General Plan</b>
--	-------------------	----------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	2/17/2017	2/24/2017	2/23/2017	6	APPROVED	
ENGINEERING	Amy Williams	2/17/2017	2/24/2017	2/22/2017	5	APPROVED	
FIRE (2/22/2017 3:25 PM AA) Fire Sprinkler coverage will be required to be evaluated/added in to the new addition.	Ariana Hargrove	2/17/2017	2/24/2017	2/22/2017	5	COMMENTS	see comment
GIS	Lance Singleton	2/17/2017	2/24/2017	2/22/2017	5	APPROVED	
PLANNING	Korey Brooks	2/17/2017	2/24/2017	2/23/2017	6	APPROVED	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(2/23/2017 1:26 PM KB)						
SP2017-008 La Quinta Inn Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1 This is a request by Jay Soun on behalf of the owner STJ Investments, LLC for the approval of a site plan amendment for a hotel (i.e. La Quinta Inn) on a 1.25-acre parcel of land identified as Lot 3, Block 1, Miller Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 689 E. IH-30.						
I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (SP2017-008) in the lower right hand corner of all pages on future submittals.						
M.4 Floor plan, roof plan, wall section, and exterior wall renovation plan will be reviewed once you submit for building permit.						
M.5 Please change "front, right, left back" elevations to direction (i.e. north, east, south, west).						
M.6 Please keep in mind that secondary materials (i.e. ceramic tile and aluminum) in excess of 10% on each façade will require a variance from P&Z and Council. Currently you have 10% total secondary materials on front façade, 8% on the right façade, and 9% on the right façade.						
M.7 Please ensure that both lots meet the minimum side setbacks of 25-feet.						
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by March 7, 2017.						
M.9 The Planning & Zoning Worksession date for this case will be February 28, 2017. The Planning and Zoning Meeting for this case is March 14, 2017.						
I.10 All meetings (with the exception of the Architectural Review Board [ARB] which is held at 5:00 p.m. before the worksession) will be held at 6:00 p.m. in the Council Chambers at City Hall.						



SP2017-007- LA QUINTA INN  
 SITE PLAN - LOCATION MAP = [icon]



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

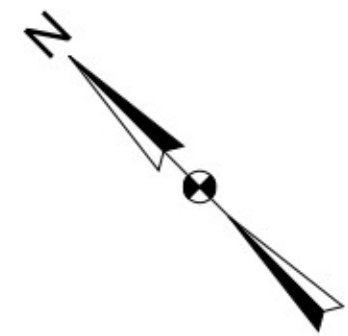
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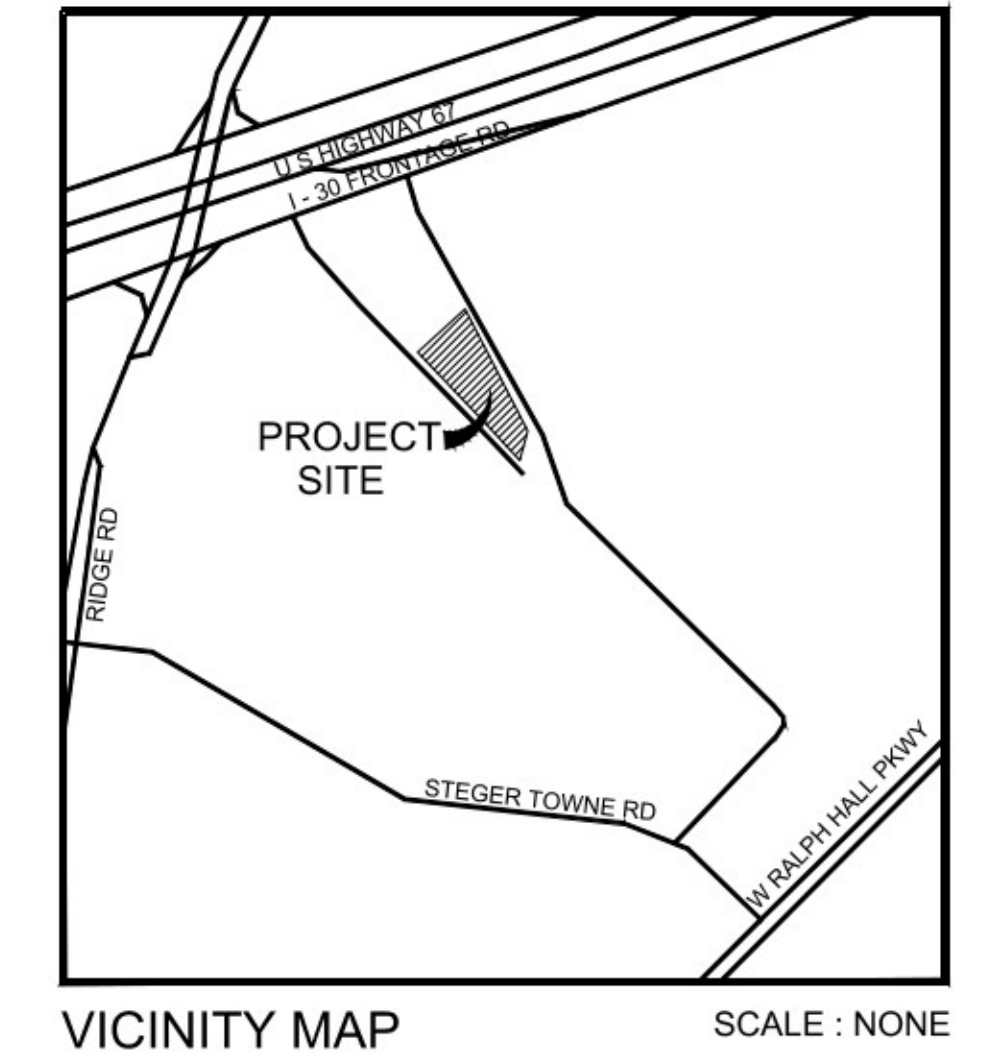
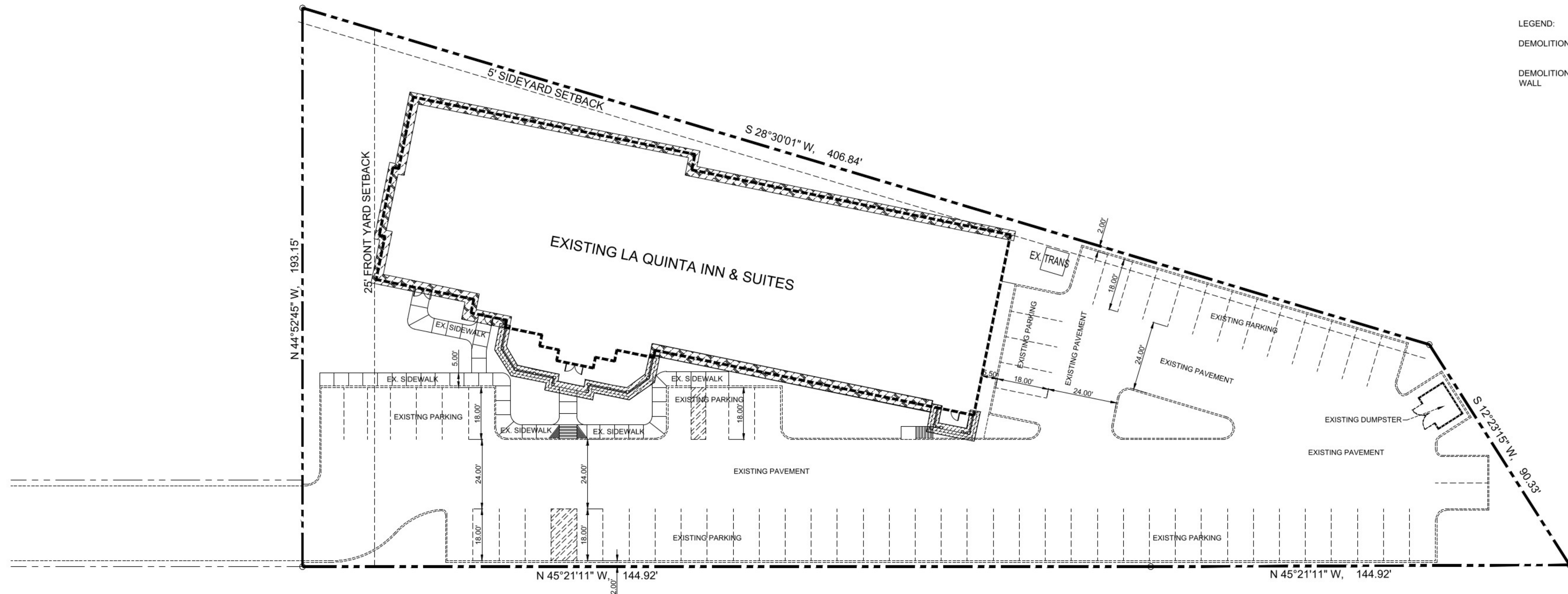


**DEMOLITION NOTES:**

- ① PROTECT EXISTING CANOPY TO REMAIN.
- ② PROTECT EXTERIOR WALLS AND WINDOWS.
- ③ REMOVE ALL EXTERIOR AS PER REQUIRED.
- ④ EXISTING ROOF \_\_\_ TO \_\_\_ CONTRACTOR TO INSPECT, VERIFY ROOF TO EXTERIOR WALL CONDITION OF BEAMS, FLOOR JOIST AND ASSESS EXTENT OF DEMOLITION AND REPAIR.

**LEGEND:**

- DEMOLITION FOR EXISTING CANOPY
- DEMOLITION FOR EXISTING EXTERIOR WALL

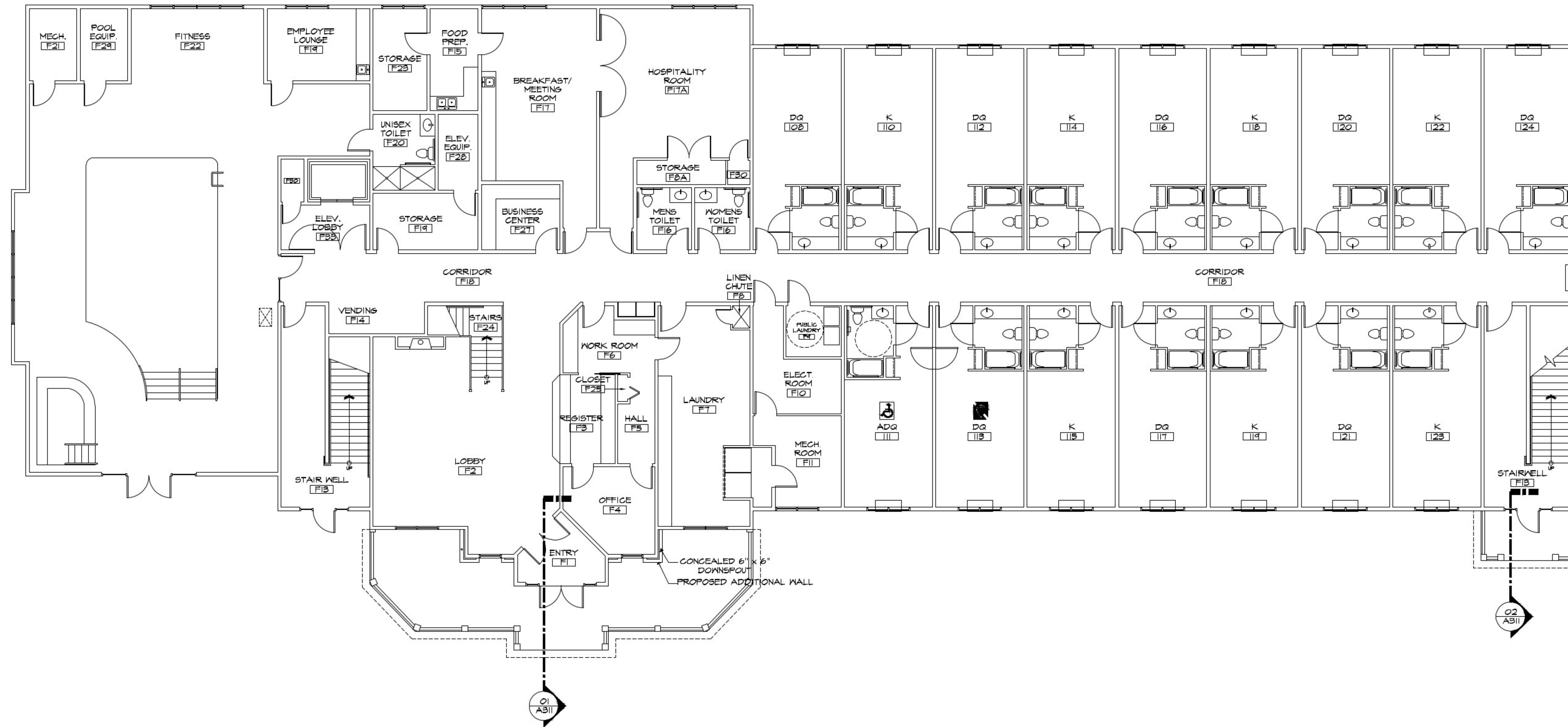


**01 ARCHITECTURAL SITE PLAN**  
 SCALE: 1" = 20'-0"  
 GRAPHIC SCALE

**OWNERSHIP AND USE OF DRAWINGS**  
 THESE DRAWINGS WHETHER PRINTED OR ELECTRONIC IN FORM, PREPARED BY THE ENGINEER / JR. EISENHOUR CONSULTING, LLC, ARE INSTRUMENTS OF SERVICE THROUGH WHICH THE CONTRACTOR SHALL EXECUTE THE WORK DESCRIBED HEREIN. ONLY THE ENGINEER SHALL OWN, CLAIM AUTHORSHIP, CLAIM COPYRIGHT OR RETAIN ANY OTHER RESERVED RIGHTS ON THESE DRAWINGS REVISED OR TRANSMITTED TO ANY THIRD PARTY.  
 THESE DRAWINGS SHALL BE USED SOLELY FOR THIS PROJECT. THE CONTRACTOR, SUBCONTRACTOR, MATERIAL OR EQUIPMENT SUPPLIER ARE PERMITTED TO USE OR REPRODUCE PORTIONS OF THE DRAWINGS RELATIVE TO THEIR PERFORMANCE CONTRACT AS SPECIFIED IN THE CONTRACT DOCUMENTS.  
 THESE DRAWINGS SHALL NOT BE USED BY THE CONTRACTOR, SUBCONTRACTOR, MATERIAL OR EQUIPMENT SUPPLIER ON OTHER PROJECTS OR ON ADDITIONS TO THIS PROJECT OUTSIDE THE ORIGINAL SCOPE OF WORKS WITHOUT THE SPECIFIC WRITTEN CONSENT OF THE ENGINEER.  
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<b>EISENHOUR Consulting, LLC</b> Land Development • Building Design <small>1044 Morningside Court Mesquite, TX 75150 Cell No: 972.415.1730 Fax: 972.415.1730</small>	
PROJECT NAME: <b>ARCHITECTURAL SITE PLAN          EXISTING LA QUINTA INN &amp; SUITES</b> 689-130 FRONTAGE ROAD ROCKWALL, TEXAS	
OWNER/DEVELOPER: <b>JAY SOUN</b> cell: 817.991.6034 email: jaysoun@gmail.com	
ENGINEER COMPANY: <b>EDWARD M. FAGGETT</b> P.O. BOX 17605 FORT WORTH, TEXAS 76102	
PROJECT STATUS: <b>FOR PERMITTING</b>	ENGINEER'S SIGNED/SEAL: 
PROJECT MANAGER: _____	DATE: _____
DESIGN COORDINATOR: _____	ON THE DATE INDICATED HEREIN ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING ACT.
REVISION DATE: 02/13/17 PLOT DATE: 02/13/17	SHEET: <b>ASP</b> OF: _____
DRAWING BY: _____	02/14/17





EXISTING FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"



ENGINEER :  
**EDWARD M. FAGGETT**  
P.O. BOX 17605  
FORT WORTH, TEXAS 76102

OWNER/DEVELOPER :  
**JAY SOUN**  
CELL: 817.981.6034  
email: jaysoun@gmail.com

**LAQUINTA**  
HOTEL & SUITES  
Extg. LA Quinta Inn & Suites  
689 I-30 FRONTAGE ROAD  
ROCKWALL, TEXAS

ENGINEER SEAL



PROJECT STATUS :  
FOR PERMITTING  
PROJECT MANAGER :  
FREDERICK L. GATELA  
DESIGN COORDINATOR :  
-

DRAWING BY :  
-  
JOB ORDER :  
-

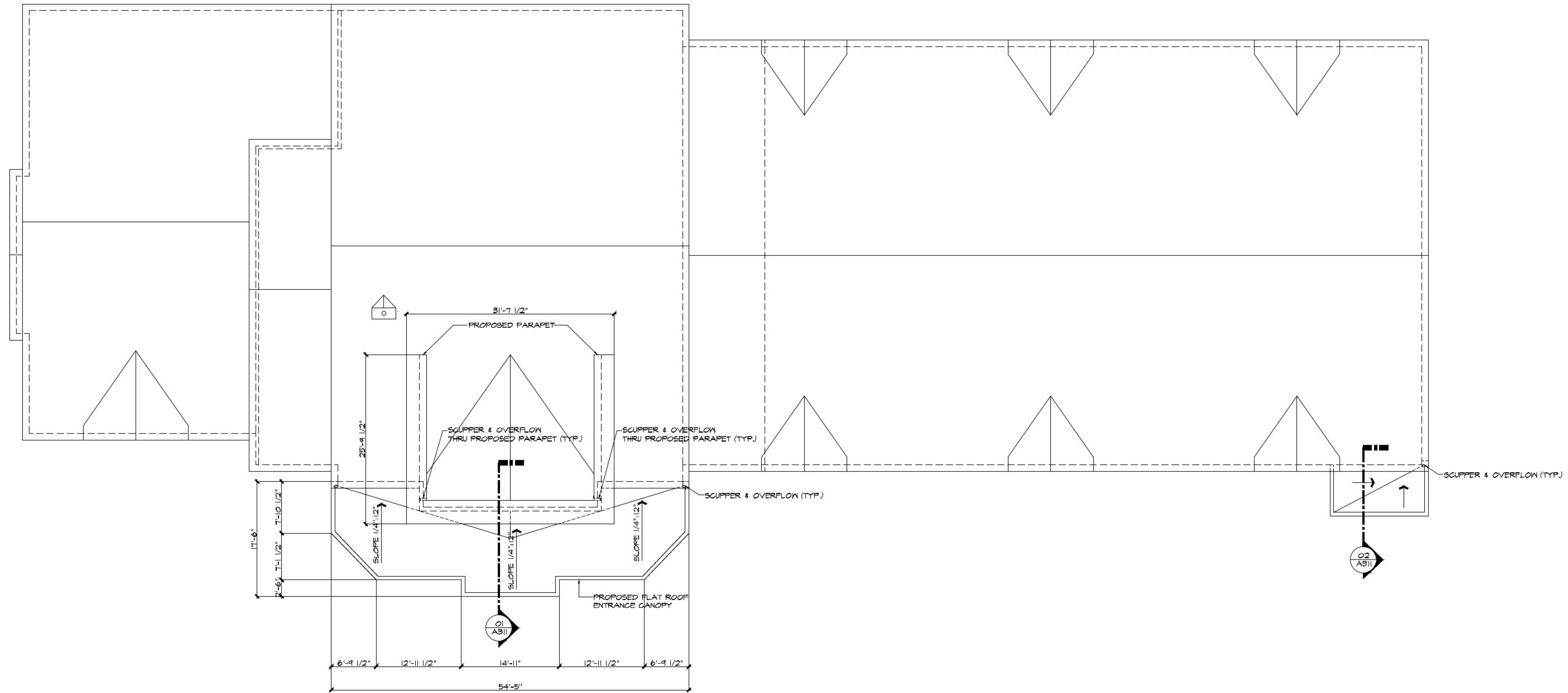
REVISION DATE:  
:  
:  
:

SHEET :

**A210**

02/14/2017





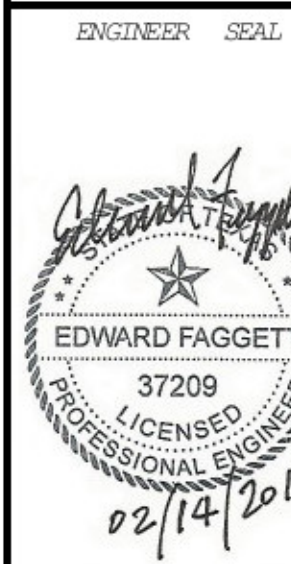
ROOF PLAN  
SCALE: 1/8"=1'-0"



EDWARD M. FAGGETT  
P.O. BOX 17605  
FORT WORTH, TEXAS 76102

JAY SOUN  
CELL: 817.991.6034  
email: jaysoun@gmail.com

LAQUINTA  
L.A. Inn & Suites  
689 I-30 FRONTAGE ROAD  
ROCKWALL, TEXAS



PROJECT STATUS:  
FOR PERMITTING  
PROJECT MANAGER:  
FREDERICK L. GATELA  
DESIGN COORDINATOR:

DRAWING BY:  
JOB ORDER :

REVISION DATE:

SHEET :

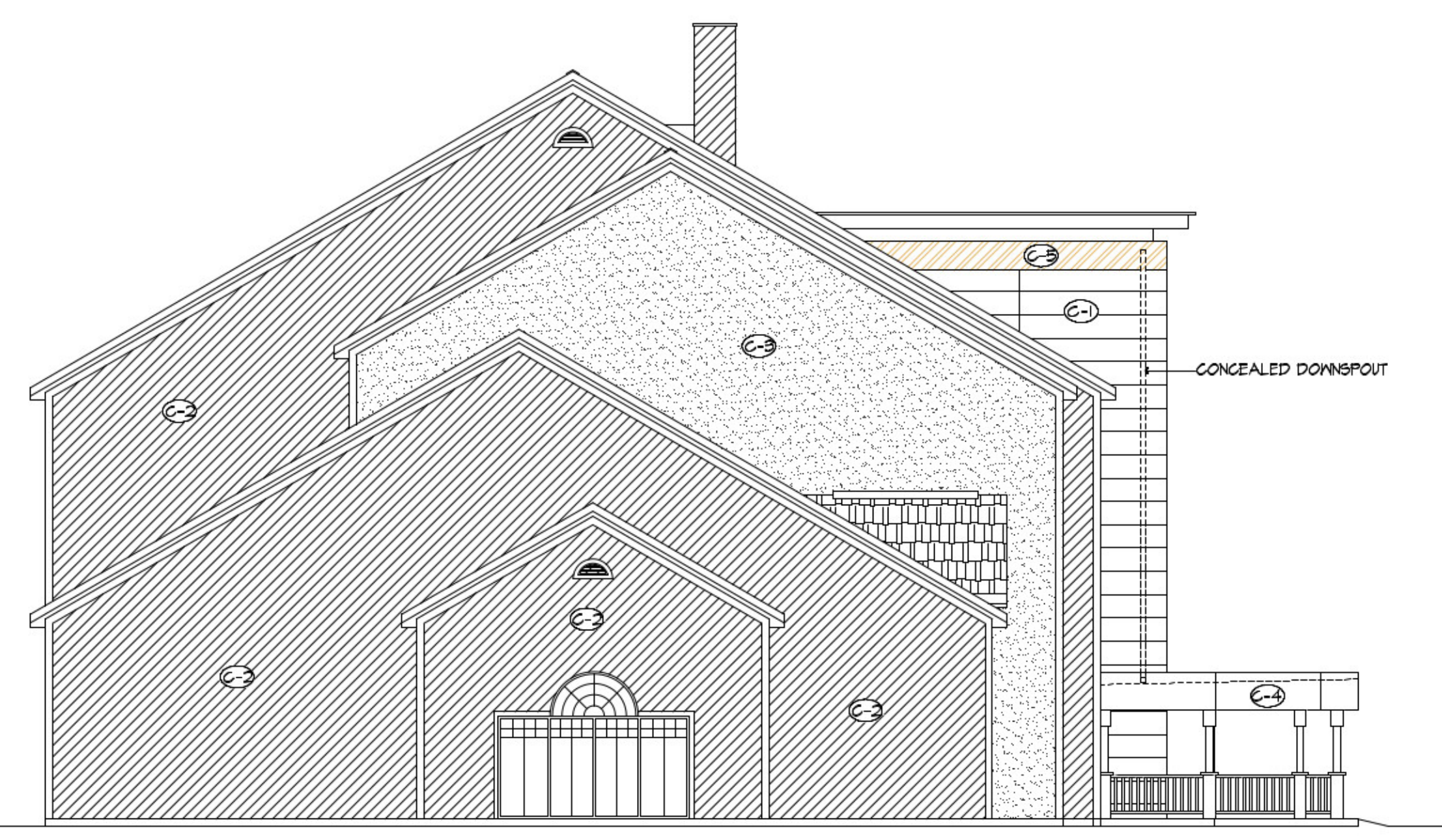
A220

02/14/2017

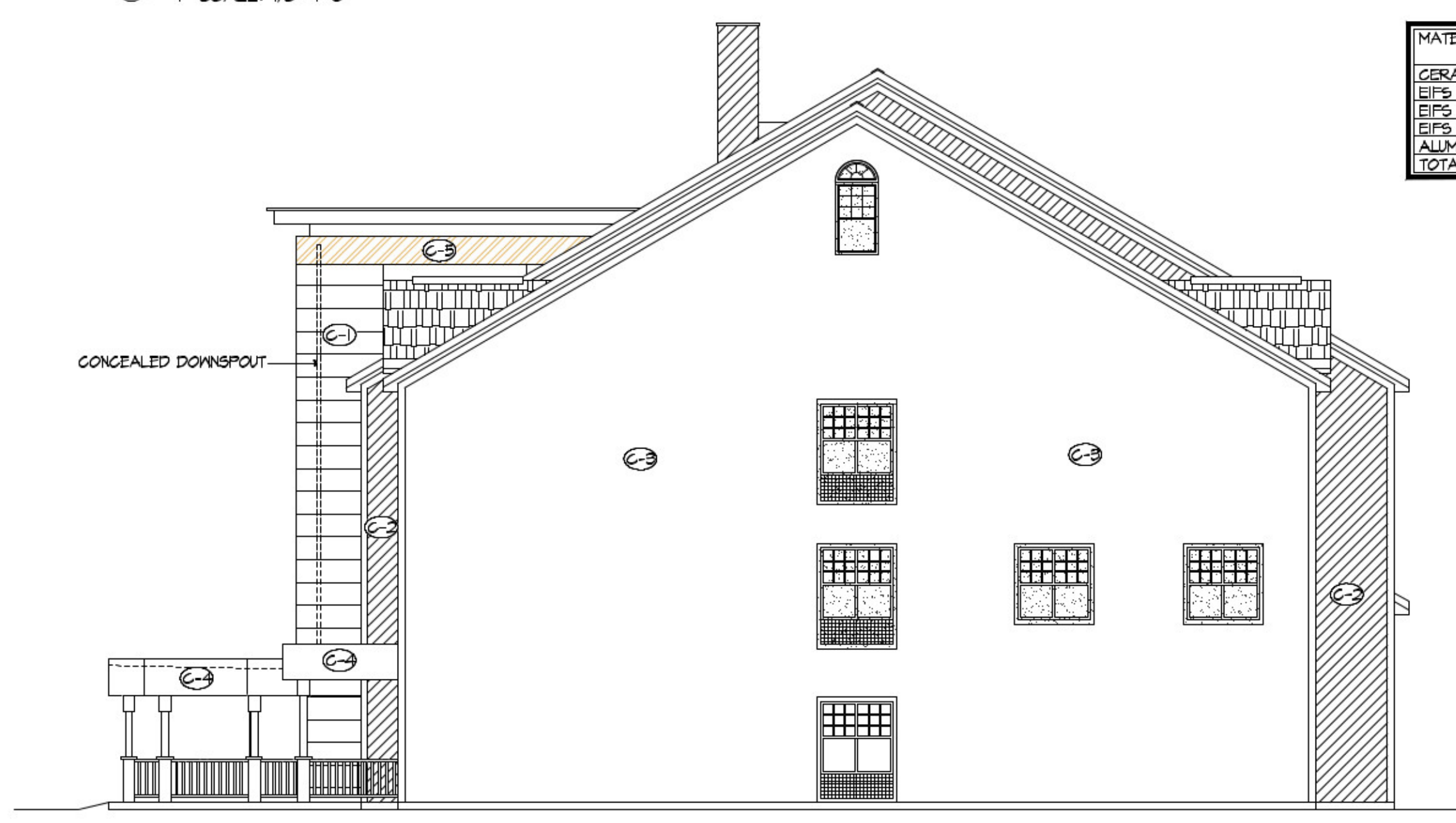




**04 REAR ELEVATION**  
SCALE: 1/8"=1'-0"



**02 LEFT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**03 RIGHT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"

MATERIAL	DESIGNATION	FRONT		REAR		RIGHT		LEFT	
		AREA SF	PCT.	AREA SF	PCT.	AREA SF	PCT.	AREA SF	PCT.
CERAMIC PANELS	C1	594 SF	6%	-	-	177 SF	6%	294 SF	7%
EIFS	C2	2,841 SF	37%	2,818 SF	65%	244 SF	8%	1,644 SF	56%
EIFS	C3	1,174 SF	15%	1,807 SF	42%	2,172 SF	73%	656 SF	21%
EIFS	C4	2,147 SF	28%	348 SF	8%	325 SF	11%	493 SF	16%
ALUMINUM	C7	56 SF	1%	-	-	43 SF	2%	43 SF	2%
<b>TOTAL</b>		<b>6,256 SF</b>	<b>100%</b>	<b>4,363 SF</b>	<b>100%</b>	<b>2,466 SF</b>	<b>100%</b>	<b>3,135 SF</b>	<b>100%</b>

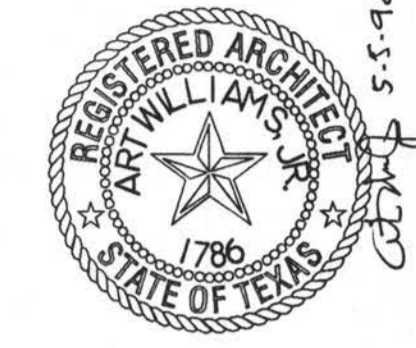
**COLOR SCHEDULE**

- CERAMIC PANELS  
MANUF: NEOLITH  
COLOR: IRON CORTEN  
CONTACT: PETER HOLLAND HOLLAND MARBLE  
472.247.1621
- EIFS (COARSE SAND TEXTURE) PAINTED  
SM-1645 - THUNDER GRAY
- EIFS (FINE SAND TEXTURE) PAINTED  
SM-1031 - MEGA GREIGE
- EIFS (FINE SAND TEXTURE)  
SM-1010 - DUCK WHITE
- EIFS (FINE SAND TEXTURE)  
SM-6514 - TORCHLIGHT
- DOOR & FRAME PAINT (AS NOTED)  
SM-1645 - THUNDER GRAY
- ALUMINUM (TOWER PARAPET EXTENSIONS)  
PAC-CLAD - SILVER
- ALUMINUM (WINDOWS, STOREFRONT, & PTAC GRILLS)  
CLEAR ANODIZED
- ALUMINUM FLUSH PANELS (PORTE-COCHERE)  
PAC-CLAD - STONE WHITE FINISH



**01 FRONT ELEVATION**  
SCALE: 1/8"=1'-0"





2 NORTHERN ELEVATION  
1/8"=1'-0"

- GENERAL NOTES
1. CLASS A INTERLOCKING FIBERGLASS ASPHALT SHINGLES OVER 15" FELT WITH ROOF EDGE STARTER STRIPS AND EXTRA FELT LAYER, IF REQUIRED. USE CERTAINTED 40 MIL FROM ROOF EDGE TO 24" INSIDE WALL.
  2. PREFINISHED METAL RIDGE VENT.
  3. PREFINISHED FLASHING A MINIMUM OF 8" EACH WAY FROM VALLEY OR OTHER DIRECTION CHANGE.
  4. PREFINISHED METAL 6" FASCIA/SOFFIT AND GUTTER SYSTEM. SOFFIT SHALL CONTAIN A GRILLE FREE AREA OF 8 SQUARE INCHES MINIMUM PER SQUARE FOOT OF SOFFIT MATERIAL.
  5. PREFINISHED METAL DOWN SPOUT. MINIMUM SIZE SHALL BE 3"x3". CONC. SPASHBLOCK @ EACH LOCATION.
  6. FYFON ELLIPTICAL SUNBURST # 863-12 8"D. 1/2".
  7. GAS VENT CHIMNEY EXTENDING 2 FEET ABOVE THE HIGHEST ROOF ELEVATION WITHIN 10 FEET.
  8. WHITE PLASTIC LATTICE GLUED AND NAILED TO EBONY PANEL 15 WITH METAL COVERED TRIM BOARDS ALL SIDES.
  9. MIN 2" PLYOSTRENE WITH EIFS FINISHED.
  10. THROUGH-WALL HVAC UNIT BEHIND PLASTIC LATTICE. (SEE PLANS)
  11. PAINTED ALUMINUM SLIDER OR FIXED WINDOWS WITH INSULATING GLASS. PROVIDE 18" WIDE SHUTTERS (FYFON #053) ON EACH SIDE OR 2x6 TRIM WRAPPED WITH PREFINISHED PREFINISHED METAL AS INDICATED.
  12. PAINTED WOOD DOORS WITH SAFETY GLASS AND TRUE DIVIDED LIGHTS.
  13. ANODIZED ALUMINUM DOOR AND FRAME WITH INSULATING GLASS W/INSIDE GLASS MUNTINS. (AND SIDELIGHTS WHERE INDICATED)
  14. MECH. GRILLES. COORDINATE LOCATION & SIZE W/ MECH. CONTR. TO PROVIDE RECTANGULAR PATTERN. PAINT TO MATCH SIDING.
  15. 24"x48" ROUND TOP EXTRUDED DECORATIVE LOUVER (FYFON #660 CT-24).
  16. WHITE ALUMINUM OR PVC PORCH RAIL SYSTEM. (SEE DETAILS)







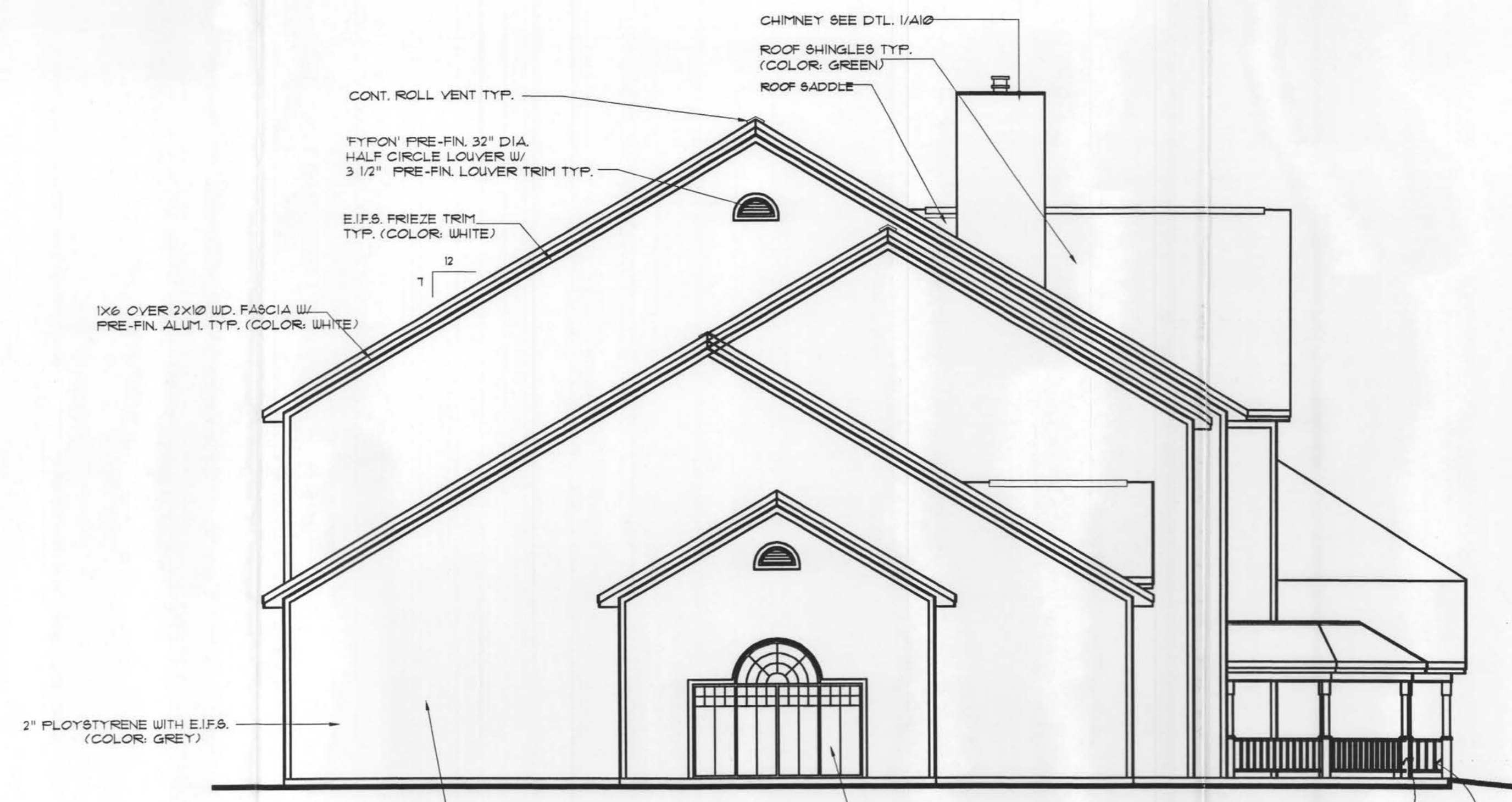
3 1/2" VINYL WINDOW AND LATTICE TRIM TYP.  
WEATHERSHIELD VISIONS 2000 VINYL SINGLE HUNG INSUL. WINDOWS TYP.  
VINYL SQ. PATTERN LATTICE TYP. (COLOR: WHITE)  
14" WIDE X 88" LONG VINYL SHUTTERS TYP. (COLOR: BRICK RED)

1 EAST ELEVATION  
1/8"=1'-0"

WINDOW SCHEDULE

SYMBOL	MANUFACTURER	SERIES NO. MODEL NO.	DESCRIPTION	ROUGH OPENING
(A)	WEATHERSHIELD	VISIONS 2000 21 - 3660	VINYL SINGLE-HUNG WINDOW	71 3/16" X 60"
(B)	WEATHERSHIELD	VISIONS 2000 31 - 3660	VINYL SINGLE-HUNG WINDOW	107 1/8" X 60"
(C)	WEATHERSHIELD	VISIONS 2000 21 - 3660	VINYL SINGLE-HUNG WINDOW	59 3/16" X 60"
(D)	WEATHERSHIELD	VISIONS 2000 64136 1/2 CIRCLE OVER 11 - 3660	VINYL SINGLE-HUNG WINDOW W/ CIRCLE TOP TRANSOM	36" X 60"
(E)	WEATHERSHIELD	VISIONS 2000 11 - 3660	VINYL SINGLE-HUNG WINDOW	36" X 60"

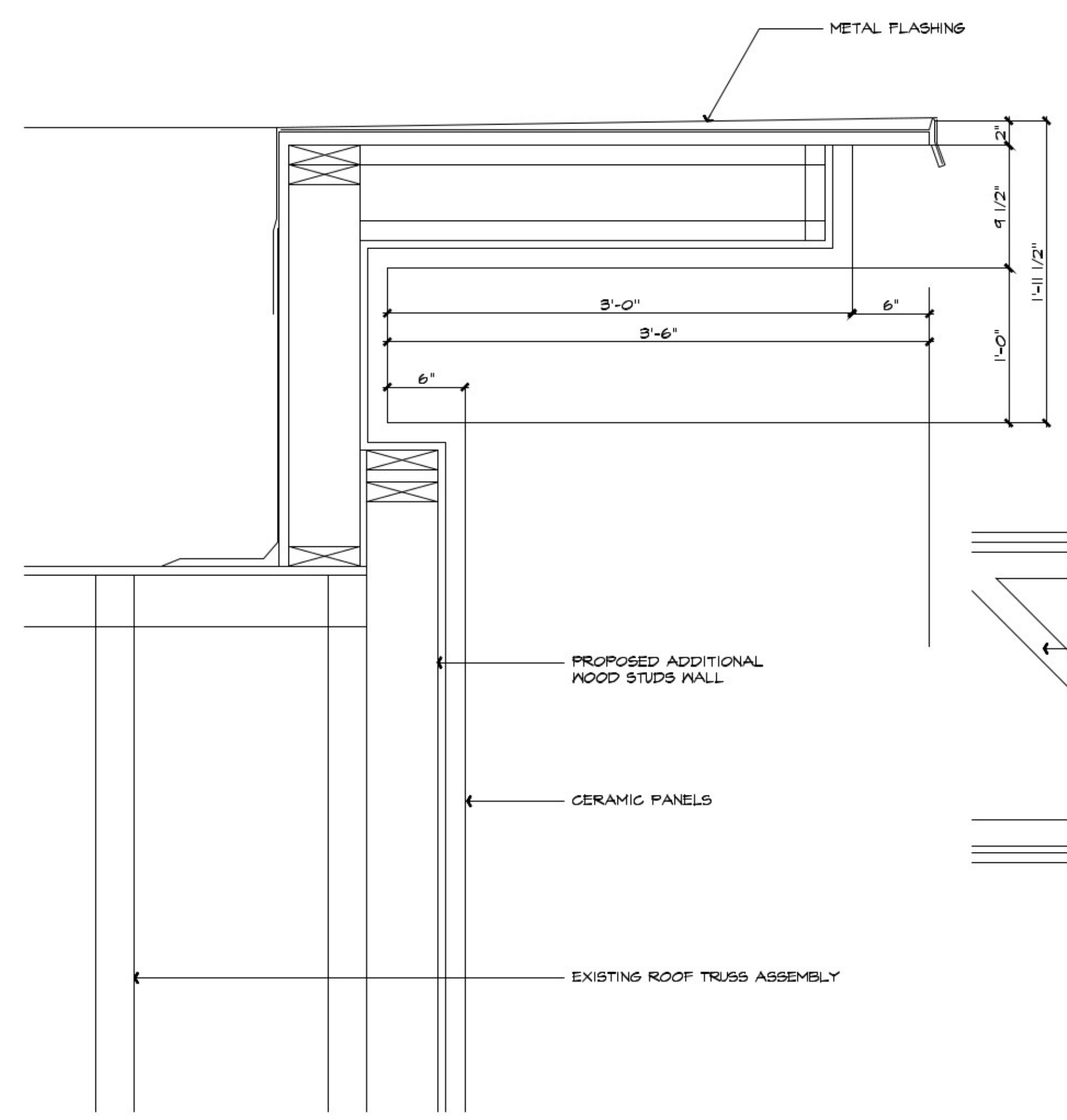
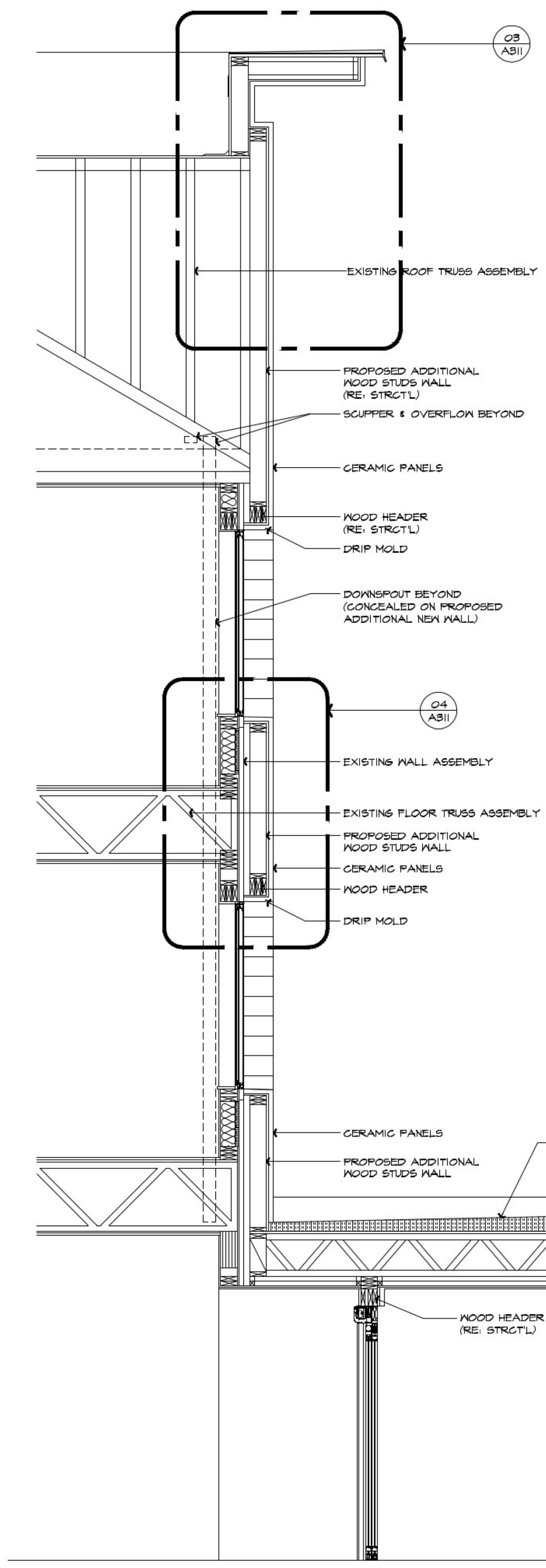
NOTES:  
1. SEE ELEVATIONS FOR GRILLE DESIGN.  
2. PROVIDE LIMITERS TO A MAXIMUM OF 10" FOR EACH OPERABLE WINDOW SASH.



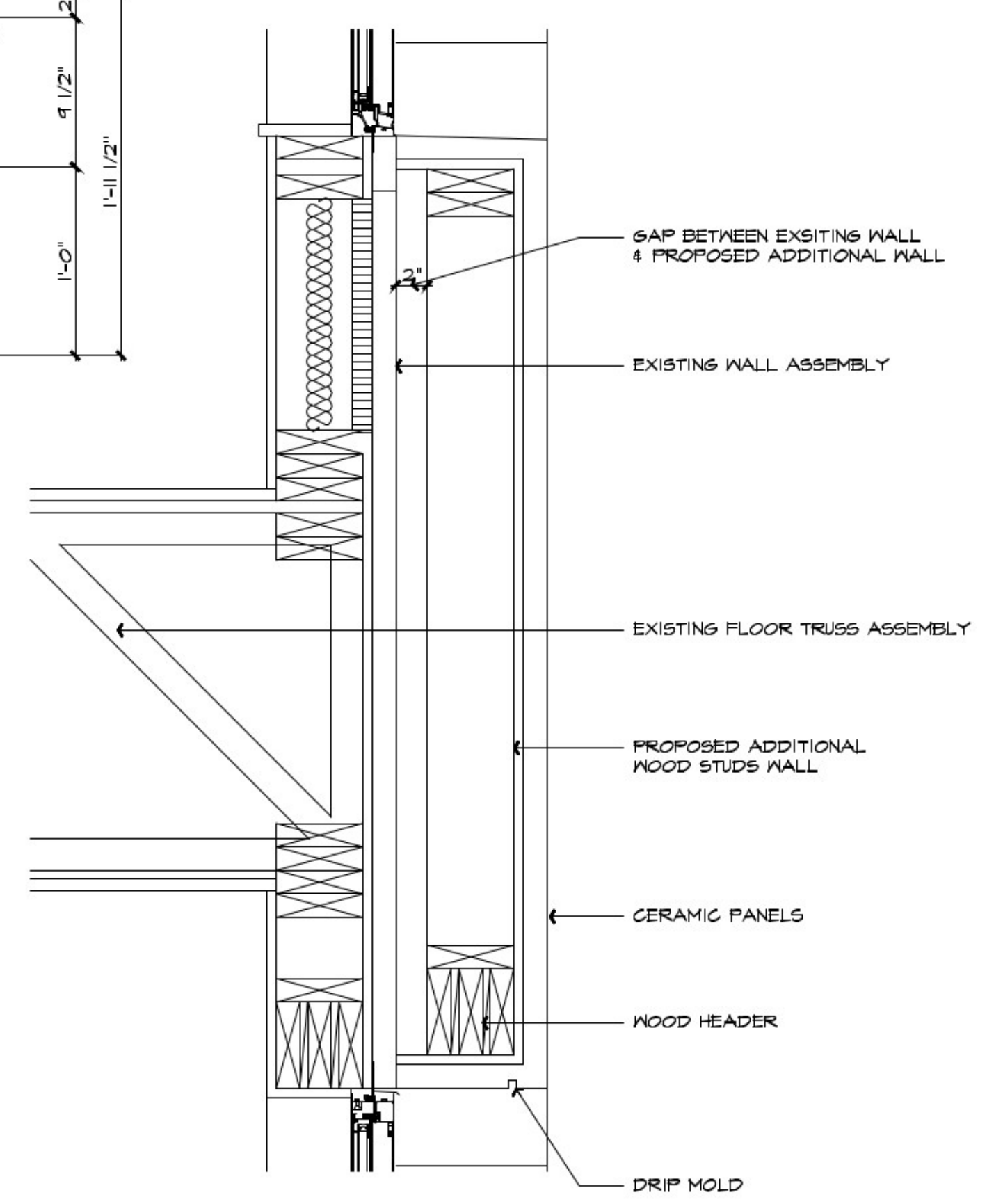
CHIMNEY SEE DTL. 1/A10  
ROOF SHINGLES TYP. (COLOR: GREEN)  
ROOF SADDLE  
CONT. ROLL VENT TYP.  
TYFON PRE-FIN. 3/2" DIA. HALF CIRCLE LOUVER W/ 3 1/2" PRE-FIN. LOUVER TRIM TYP.  
EIFS. FRIEZE TRIM TYP. (COLOR: WHITE)  
1X6 OVER 2X10 WD. FASCIA W/ PRE-FIN. ALUM. TYP. (COLOR: WHITE)  
2" POLYSTYRENE WITH EIFS. (COLOR: GREY)  
EIFS. CORNER TRIM TYP. (COLOR: WHITE)  
1" INSUL. TEMP. GLAZING SET IN KAUWEER ALUM. FRAME W/ GRILLES (WHITE).  
WD. POST. & TRIM PAINTED TYP.  
WD. RAILINGS & BALUSTERS - (# 6" O.C.) PAINTED TYP.

2 WEST ELEVATION  
1/8"=1'-0"

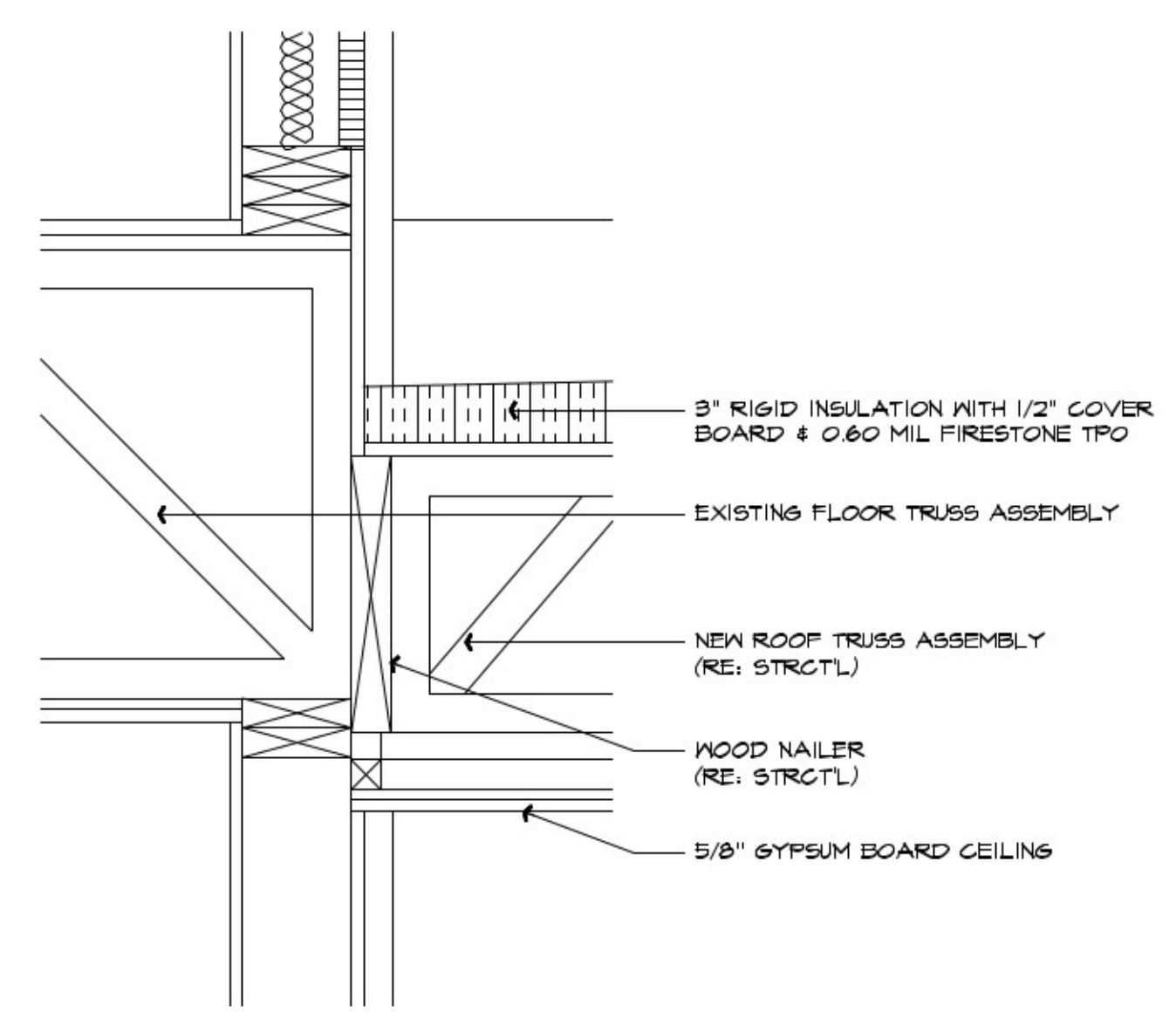




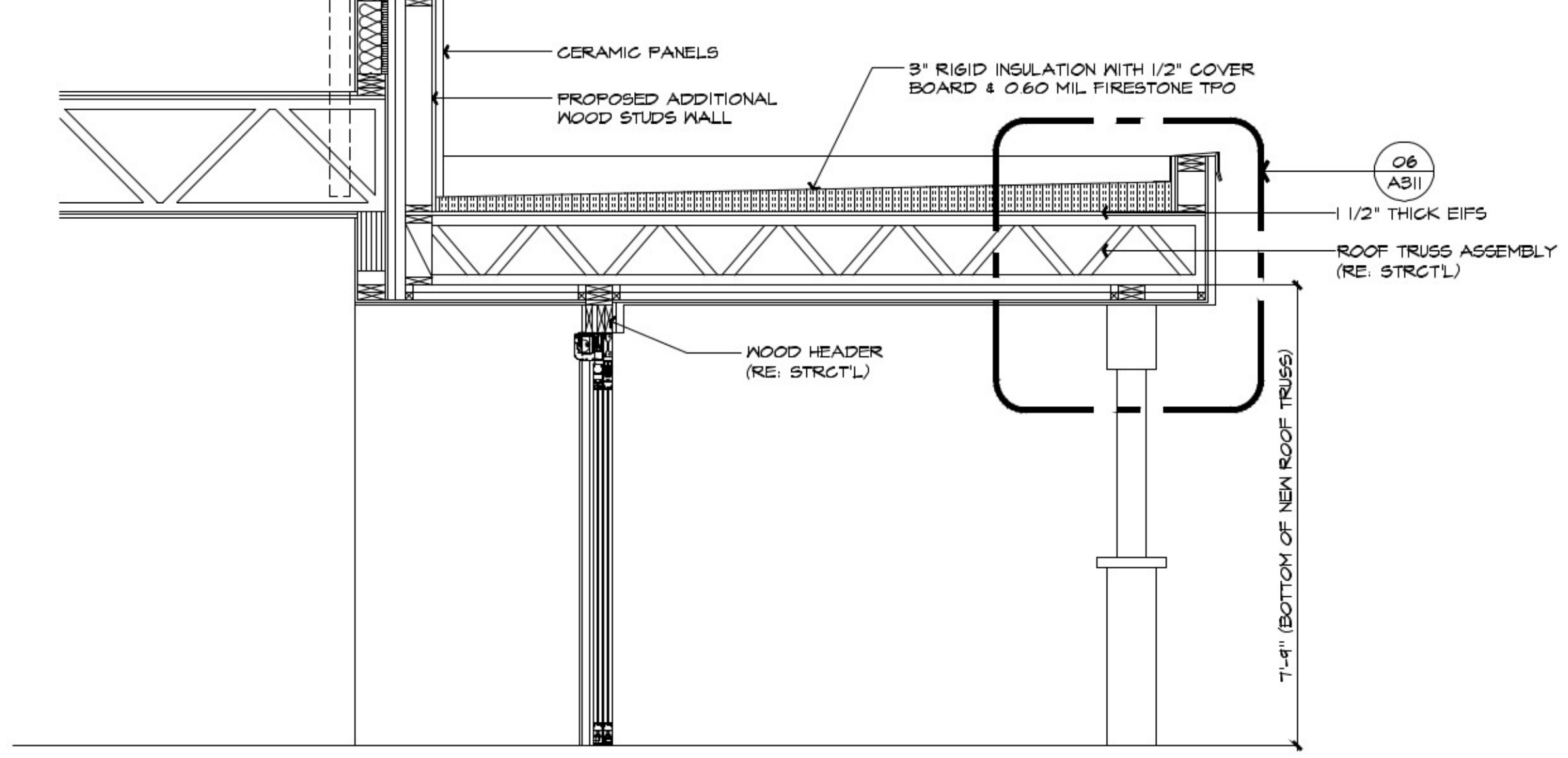
03 SPOT DETAIL  
SCALE: 1/2"=1'-0"



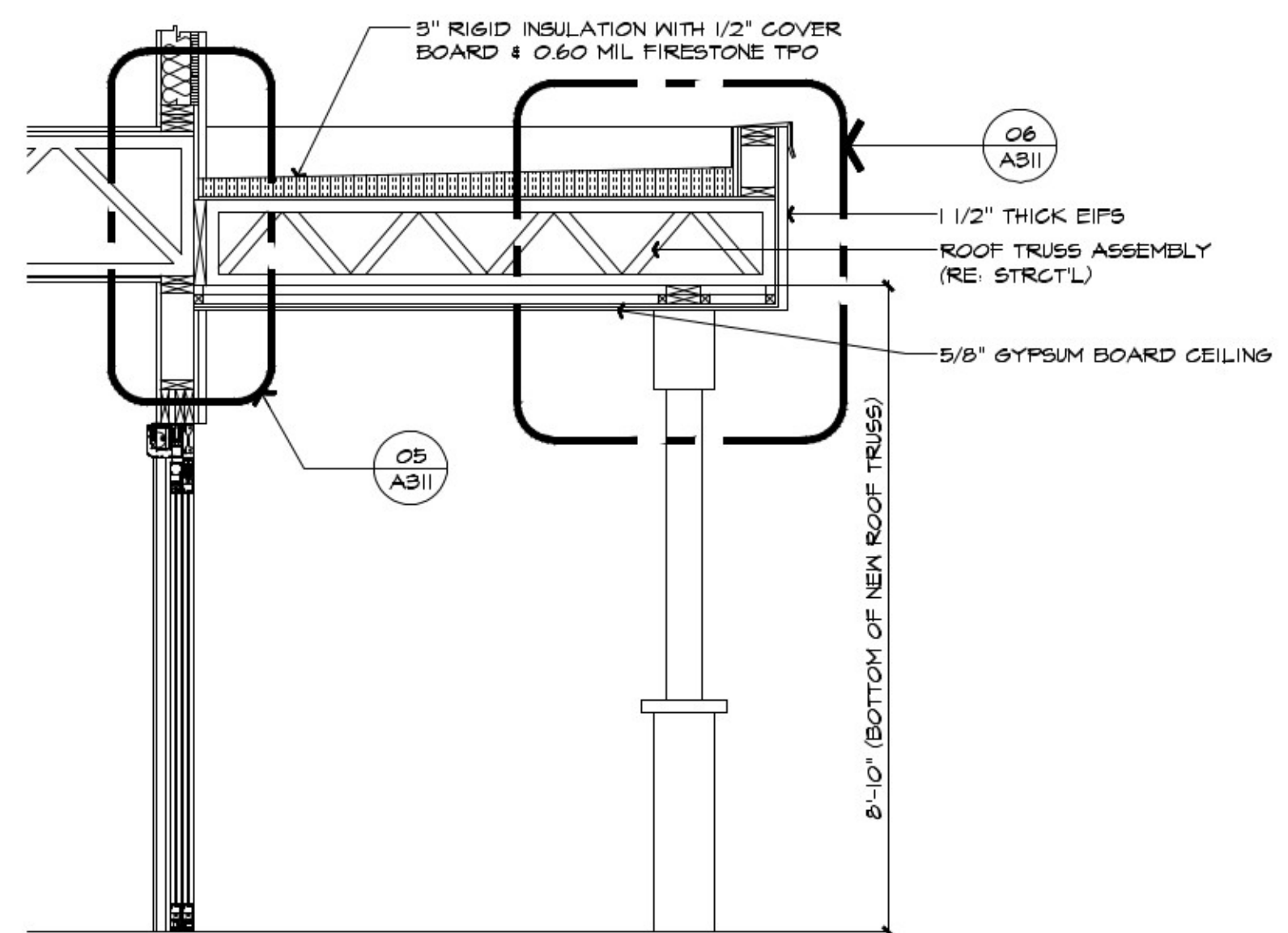
04 SPOT DETAIL  
SCALE: 1/2"=1'-0"



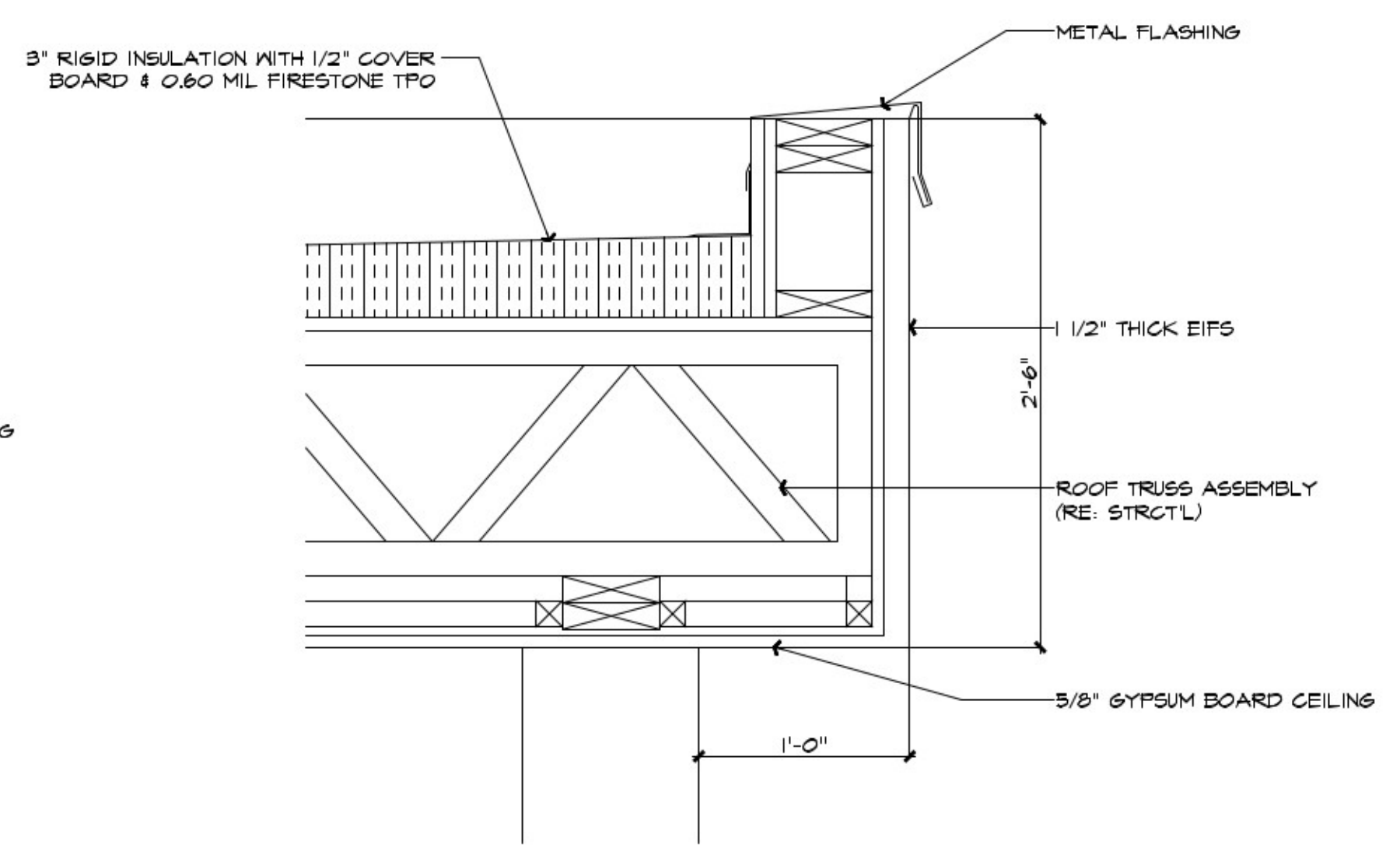
05 SPOT DETAIL  
SCALE: 1/2"=1'-0"



01 WALL SECTION  
SCALE: 1/2"=1'-0"



02 WALL SECTION  
SCALE: 1/2"=1'-0"



06 SPOT DETAIL  
SCALE: 1/2"=1'-0"

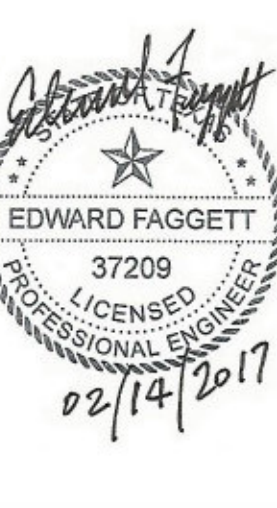


ENGINEER :  
**EDWARD M. FAGGETT**  
P.O. BOX 17605  
FORT WORTH, TEXAS 76102

OWNER/DEVELOPER :  
**JAY SOUN**  
CELL : 817.991.6034  
email: jaysoun@gmail.com

**LAQUINTA**  
LAW OFFICES  
Extg. LA Quinta Inn & Suites  
689 I-30 FRONTAGE ROAD  
ROCKWALL, TEXAS

ENGINEER SEAL



PROJECT STATUS: FOR PERMITTING  
PROJECT MANAGER: FREDERICK L. GATELA  
DESIGN COORDINATOR:  
DRAWING BY:  
JOB ORDER :  
REVISION DATE:

SHEET :

**A311**

02/14/2017



**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**February 28, 2017**  
**5:00 P.M.**

**ACTION ITEMS**

**1. SP2017-008 (Korey)**

Discuss and consider a request by Jay Soun on behalf of the owner STJ Investments, LLC for the approval of a site plan amendment for a hotel (*i.e. La Quinta Inn*) on a 1.25-acre parcel of land identified as Lot 3, Block 1, Miller Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 689 E. IH-30, and take any action necessary.

**2. SP2017-010 (David)**

Discuss and consider a request by Rick Dirkse on behalf of Rockwall Trinity Real Estate, LLC for the approval of a downtown development plan and site plan for an office building on a 0.63-acre tract of land identified as Lots 1-6, Block B, Rockwall Old Towne Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 301 & 303 N. Goliad Street [SH-205], and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 24<sup>th</sup> day of February, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2017-010	<b>Owner</b> ROCKWALL, RENTAL PROPERTIES LP	<b>Applied</b> 2/20/2017 LM
<b>Project Name</b> Dirkse CPA Office Addition	<b>Applicant</b> RICK DIRKSE	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b>		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 2/20/2017 LM

<b>Site Address</b> 301 N GOLIAD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
-------------------------------------	--	---------------

<b>Subdivision</b> ROCKWALL ORIGINAL TOWN	<b>Tract</b> PT 3 & 4, ALL 5 & 6	<b>Block</b> B	<b>Lot No</b> PT 3 & 4,	<b>Parcel No</b> 4820-000B-0003-A0-OR	<b>General Plan</b>
--	-------------------------------------	-------------------	----------------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	2/20/2017	2/27/2017	2/23/2017	3	APPROVED	
ENGINEERING	Amy Williams	2/20/2017	2/27/2017				See Comments
(2/22/2017 1:58 PM AW) Detention is required and needs to be shown in an approximate location or note added to site plan. Parking adjacent to the building to be 20' long measured to face of the curb							
FIRE	Ariana Hargrove	2/20/2017	2/27/2017	2/22/2017	2	COMMENTS	see comment
(2/22/2017 3:23 PM AA) Approved automatic fire sprinkler systems shall be installed in all new buildings with a fire flow calculation area of 5,000 square feet or greater. The fire-flow calculation area shall be the total floor area of all floor levels within the exterior walls, and under the horizontal projections of the roof of a building. This plan shows a second floor area that would be included in the total square footage for determining the fire sprinkler requirement, unless this area was treated as attic storage only. Confirm how second floor area is being utilized and constructed.							
GIS	Lance Singleton	2/20/2017	2/27/2017	2/22/2017	2	APPROVED	
(2/22/2017 8:50 AM LS) Use the existing 301 N Goliad St, Rockwall, TX 75087 as the mailing address.							
PLANNING	David Gonzales	2/20/2017	2/27/2017	2/23/2017	3	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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Discuss and consider a request by Rick Dirkse on behalf of Rockwall Trinity Real Estate, LLC for the approval of a downtown development plan and site plan for an office building on a 0.63-acre tract of land identified as Lots 1-6, Block B, Rockwall Old Towne Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 301 & 303 N. Goliad Street [SH-205], and take any action necessary.

**PLANNING COMMENTS - DAVID GONZALES - 02.23.2017**

All staff comments are to be addressed and resubmitted by Tuesday, March 6, 2017. Please provide two large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

Planning Department General Comments to be addressed are as follows:

1. The Downtown (DT) Zoning District requires a Downtown Development Plan consistent with the Regulating Plan be approved prior to issuance of a building permit [per the UDC (Ord. 04-38), Article V, Sec. 4.8 Downtown District]. Elements of this requirement include the approval of this Site Plan.
2. The proposed building location requires a minimum 2-story building (feature building). Feature buildings shall be designed with features such as accentuated entry and unique building articulation.
3. Adherence to Engineering and Fire Department standards shall be required.
4. Label all revised Site Plan documents with "Case No. SP2017-010" at the lower right corner of concept plan.
5. No outside storage permitted.
6. Provide the required right-of-way dedication along Interurban Street. Interurban is a 50-ft right-of-way and should be calculated at 25-ft from center line.

The following plans are considered NOT ACCEPTED WITH THIS SUBMITTAL and should be removed from future submittals. (These plans should be submitted with the civil engineering stage of the process)

1. Grading and Drainage Plan.
2. Engineer's Boundary, Topo, Trees, & Utilities.
3. Floor Plan (submit during building permit process).

**THE FOLLOWING PLANS ARE REQUIRED WITH THIS SUBMITTAL:**

1. Treescape Plan
2. Photometric Plan - If you are installing lighting pole standards. (please provide cut sheets for all exterior lighting fixtures).
3. Streetscape Plan - outdoor furnishings, trash receptacles, lighting, etc.
4. Materials Samples Board (for ARB Review)

Please address the following Planning Comments regarding the Downtown Development Plan as submitted:

**WAIVERS OF DESIGN STANDARDS REQUIRED PER SUBMITTAL:**

**Major Waivers:**

1. Parking Requirements for Bicycle Parking [this waiver may be requested if not installing the required 2 bicycle parking racks].

**Minor Waivers:**

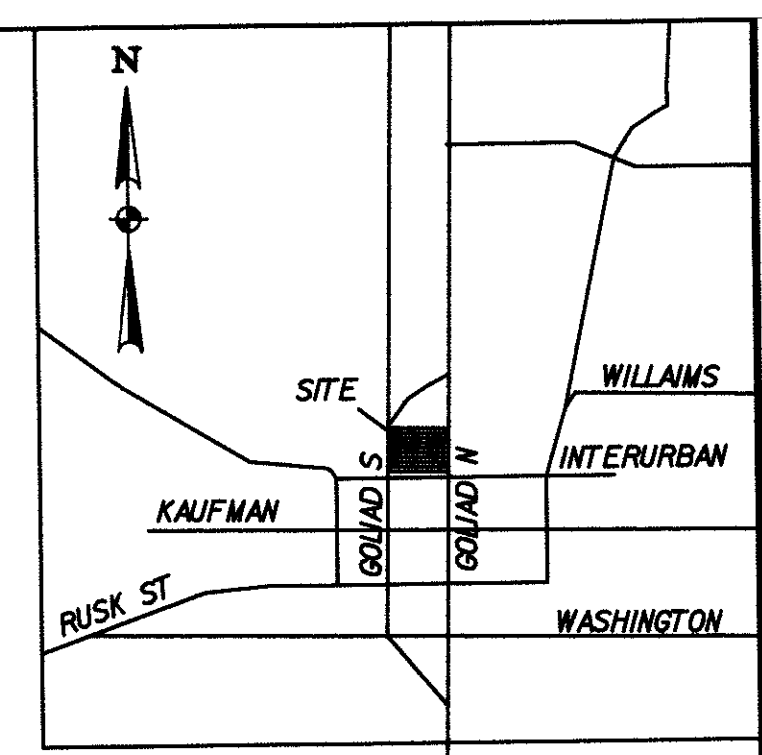
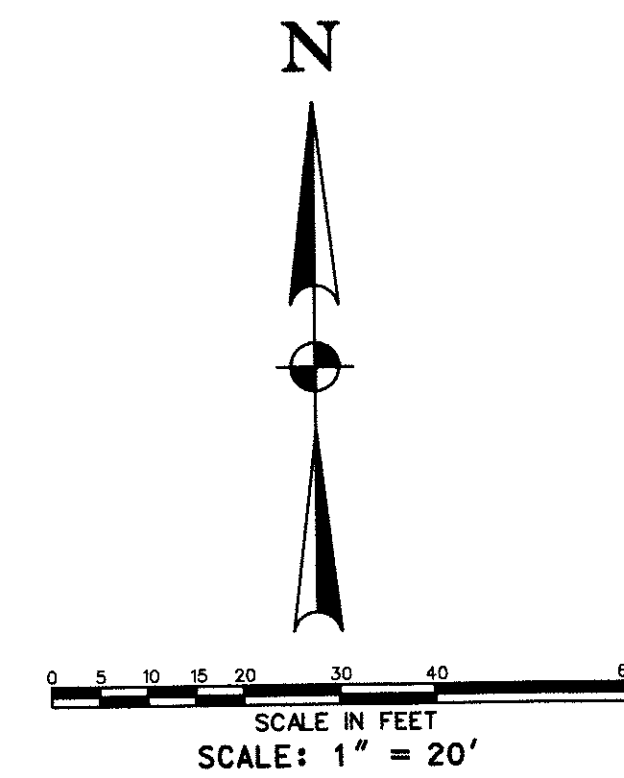
1. Establishment of build-to line - based on set back along Interurban Street.
2. Encroachment into the build-to line - based on 15-ft set-back along N. Goliad St. Continuous building frontage will be considered to be met if the primary building facade is located within five feet of the build-to line requirement.



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
3. Window detailing - minimum 4" reveal and verticle in proportion required. Windows and glazing shall be a minimum 30% to a maximum 70% for each building elevation.						
4. All access drives require a minor waiver.						
5. Exterior building color - what color is the roof?						
6. Landscape standards - street trees shall be a minimum of 4" caliper and planted at least 20-ft on center. must comply with the streetscape standards and the UDC landscaping standards.						
General Comments for the Downtown Development Plan:						
SITE PLAN:						
1. Relabel Engineering Site Plan (page C1) title as "Site Plan"						
2. Streetscape and Landscape - Plan elements should highlight sidewalk paving, street trees, tree grates, lighting fixtures, trash recepticles, benches, etc.						
3. Provide street lighting standards per regulating plan and cut sheets for all exterior lighting fixtures.						
4. All mechanical equipment [ground mounted, RTU's, HVAC's, etc.) shall be screened so as to not be visible from public roads and adjacent properties.						
5. Loading area (20ft x 50ft) and trash dumpsters shall be screened fromall public roadways using masonry walls (mathcing primary building), ornamental fence (80% opaque), evergreen landscaping or combination thereof.						
6. Parking area's are to be screened along parking edge with a minimum3-ft height (80% opaque) masonry wall, ornamental metal, evergreen plant materials, or a combination thereof.						
7. Indicate and label area between back of curb and the primary building facade as public easement where build-to line is located.						
8. What is the area indicated as "20' x 50' Loading" to be used for?						
9. Will there be a dumpster enclosure for this site?						
10. Aerial image indicates 9 parking spaces along Interurban. Are you removing 3 parking spaces?						
11. Remove tree locations & information from site plan and provide on treescape/landscape plans.						
12. Remove existing home (dotted lines) from site plan.						
13. Indicate HVAC unit location(s) and provide detail of proposed screening.						
14. Correct label for required parking to read 17 spaces (not 34).						
LANDSCAPE/TEESCAPE PLAN:						
1. Relabel Engineering Site Plan title to read as "Landscape Plan" (page L1) .						
2. Provide a Legend and landscape details.						
3. Indicate minimum 10-ft landscape buffers along N. Goliad and Interurban.						
4. Hatch area's where labeled as "grass."						
5. Remove existing home sites (dotted lines) from plan.						
6. Remove building and engineering labels not pertinent to landscape plan.						
7. Is there above ground detention for the site? If so, dimension area and provide one large canopy tree per 750 sq. ft. of dry detention area.						
8. Provide tree mitigation information (table) for trees being removed from site (label) as well as trees that are remaining.						
BUILDING ELEVATIONS:						
1. The location of the building meets the definition for a "feature building" and requies the structure to be a minimum of 2-stories.						
2. What color is the roof? Required to be cool gray, warm gray, brown or red.						
3. Provide window detail - see Minor Waiver (note 3) above.						
4. Building elevations require ARB review. Please provide a materials sample board.						
5. Provide calculations for each exterior material for each facade.						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
6. Verify and correct elevation direction (i.e. North elevation appears to be facing East).						
The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.						
Meeting Dates to Attend:						
Architectural Review Board: February 28, 2017 (5:00 p.m.) [applicant to receive recommendations from ARB]						
Planning - Work Session: February 28, 2017 (6:00p.m.) [applicant to present case to P&Z for discussion].						
Planning - Regular Meeting: March 14, 2017 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, etc.)]						
City Council: March 20, 2017 (6:00 p.m.) [Major Waivers & Variance Requests Only]						

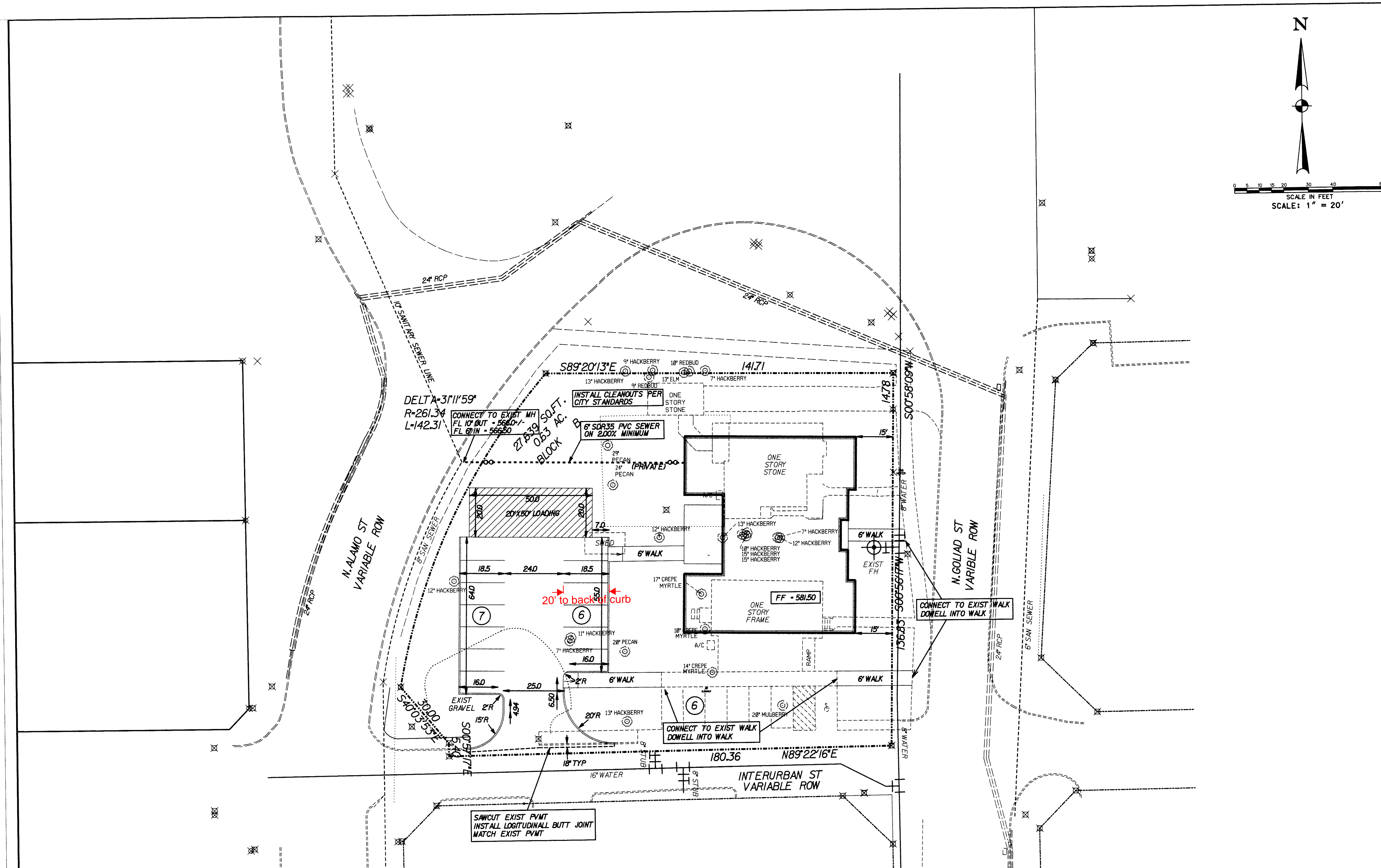




VICINITY MAP  
NOT TO SCALE

LINE LEGEND:

- PROPERTY LINE
- > DRAINAGE FLOW
- PROPOSED WATER LINE
- ROAD CENTER LINE
- PROPOSED STORM SEWER
- PROPOSED STREET
- 610- EXISTING CONTOUR LINE
- 610- PROPOSED CONTOUR LINE
- BUILDING SETBACK LINE
- DRAINAGE EASEMENT
- DRAINAGE DIVIDE LINE
- ROW / LOT LINE
- PROPOSED FENCE



- Detention is required  
- 4% Engineering Inspection Fees  
- Impact Fees

ZONING: DT - DOWNTOWN DISTRICT  
PARKING REQUIREMENTS:  
USE, OFFICE 1 SPACE PER 300 SF  
4999 SF/300 = 17 SPACES  
REQUIRED PARKING = 34 SPACES  
PARKING PROVIDED: 19 SPACES  
HANDICAP PARKING REQUIRED: 1 SPACE  
HANDICAP PARKING PROVIDED: 1 SPACE

HELMBERGER ASSOCIATES, INC. - E-000756  
CIVIL/ENVIRONMENTAL ENGINEERS  
PRELIMINARY - FOR INTERIM REVIEW ONLY  
These documents are for Interim Review and not  
Intended for Construction, Bidding, or Permit  
Purposes. They were prepared by, or under the supervision  
of: Stephen A. Helmsberger, 4679424

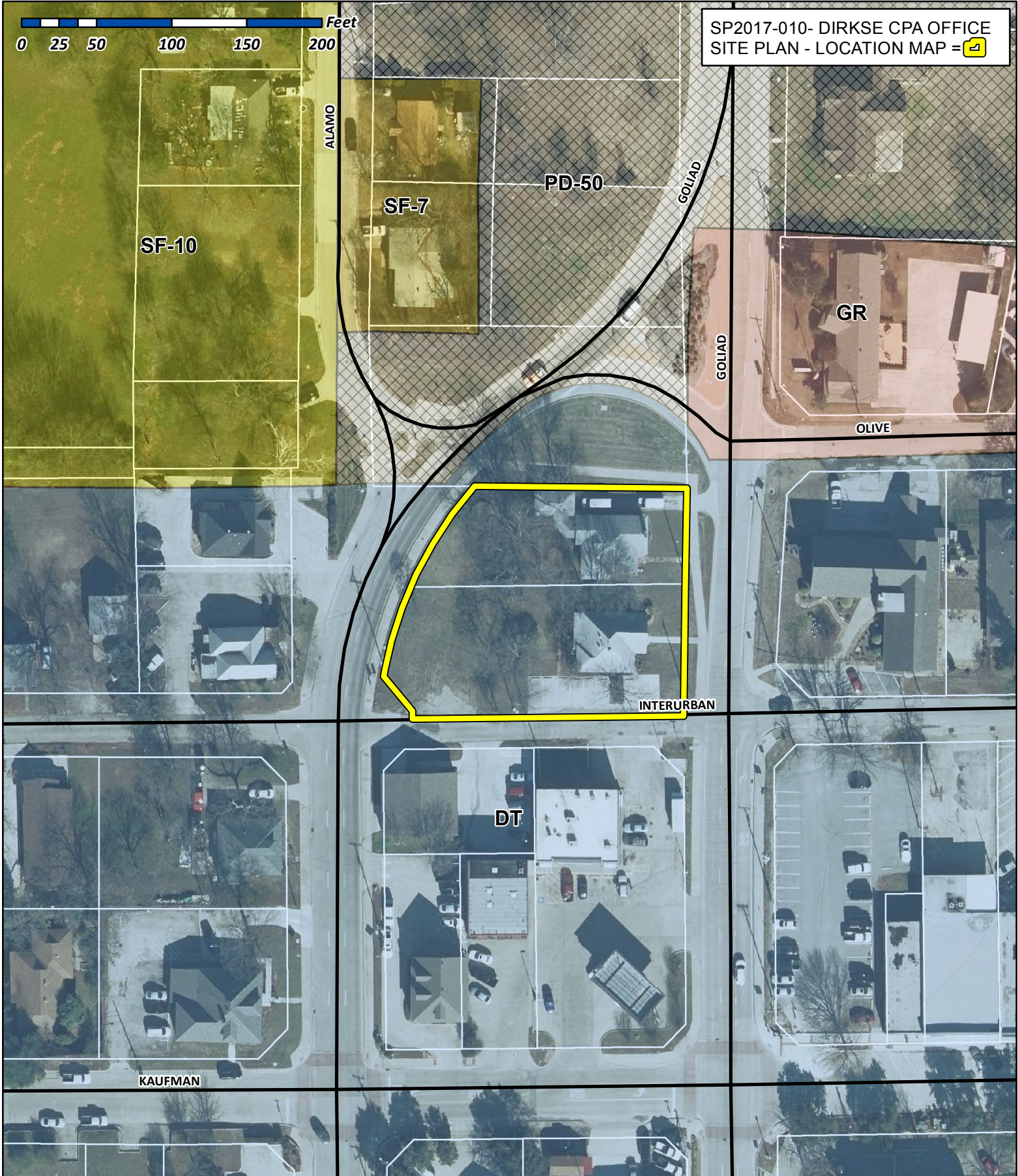
ehalm

OWNER:  
DIRKSE AND ASSOCIATES, LTD  
3077 NORTH GOLIAD  
ROCKWALL, TEXAS 75087  
MR. RICK DIRKSE  
(972) 771-1040

ENGINEER:  
HELMBERGER ASSOCIATES, INC.  
1525 BOZMAN ROAD  
WYLIE, TEXAS 75098  
MR. STEPHEN A. HELMBERGER, P.E.  
(972) 442-7459

ENGINEERING SITE PLAN						
LOT 1 BLOCK A - DIRKSE ADDITION						
DIRKSE AND ASSOCIATES, LTD						
CITY OF ROCKWALL, TEXAS						
TUBE REGISTRATION NO. 000756		<b>HELMBERGER ASSOCIATES, INC.</b> CIVIL AND ENVIRONMENTAL ENGINEERS 1525 BOZMAN ROAD, WYLIE, TEXAS 75098 (972) 442-7459				
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HELM.	CADD	FEB 2017	1"=20'	SPLAN	1709	C1





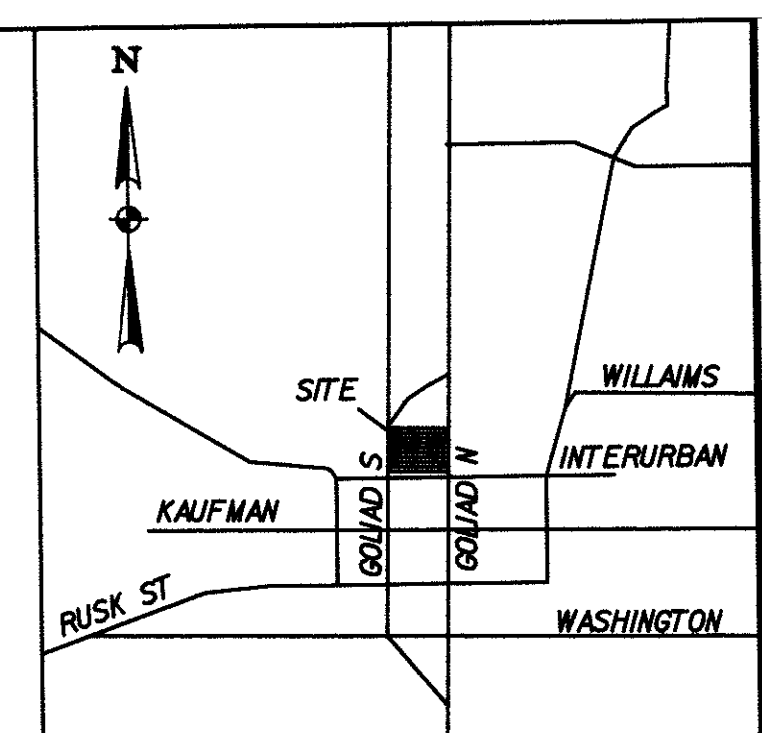
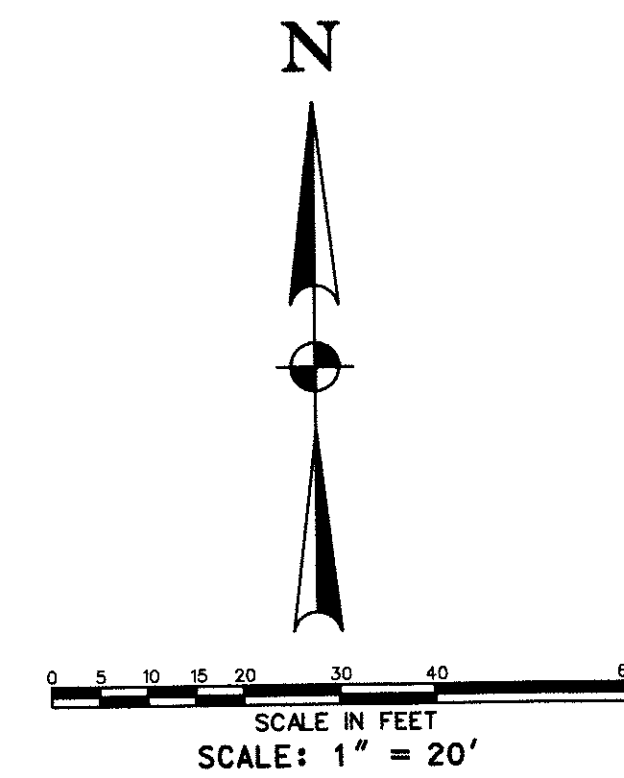
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

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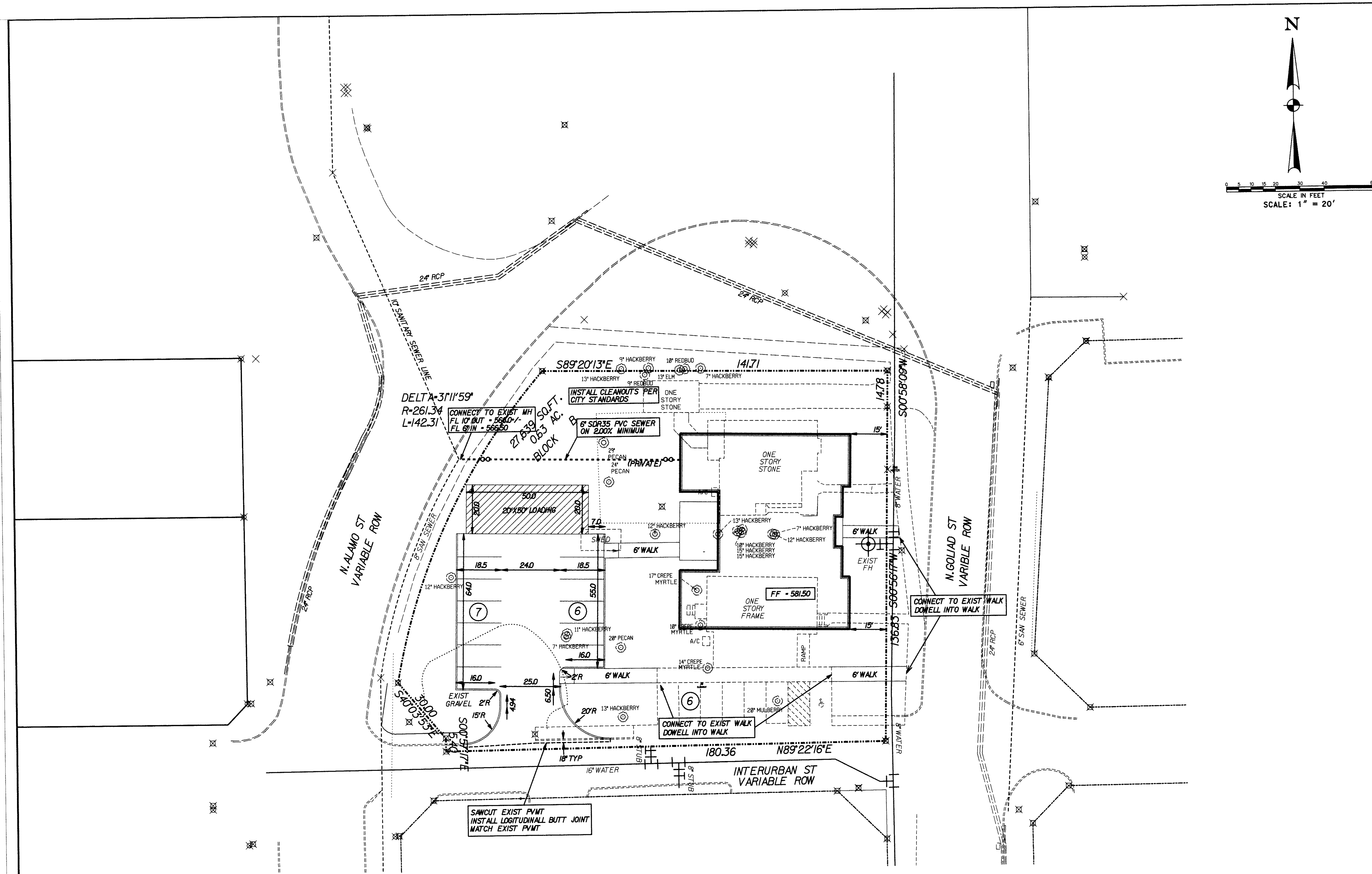




VICINITY MAP  
NOT TO SCALE

LINE LEGEND:

- PROPERTY LINE
- > DRAINAGE FLOW
- PROPOSED WATER LINE
- ROAD CENTER LINE
- PROPOSED STORM SEWER
- PROPOSED STREET
- 610- EXISTING CONTOUR LINE
- 610- PROPOSED CONTOUR LINE
- BUILDING SETBACK LINE
- DRAINAGE EASEMENT
- DRAINAGE DIVIDE LINE
- ROW / LOT LINE
- PROPOSED FENCE



ZONING: DT - DOWNTOWN DISTRICT

PARKING REQUIREMENTS:  
 USE: OFFICE 1 SPACE PER 300 SF  
 4999 SF/300 = 17 SPACES  
 REQUIRED PARKING = 34 SPACES  
 PARKING PROVIDED: 19 SPACES  
 HANDICAP PARKING REQUIRED: 1 SPACE  
 HANDICAP PARKING PROVIDED: 1 SPACE

HELMBERGER ASSOCIATES, INC. - E-000756  
 CIVIL/ENVIRONMENTAL ENGINEERS  
 PRELIMINARY - FOR INTERIM REVIEW ONLY  
 These documents are for Interim Review and not  
 Intended for Construction, Bidding, or Permit  
 Purposes. They were prepared by, or under the supervision  
 of: Stephen A. Helmberger 4679424

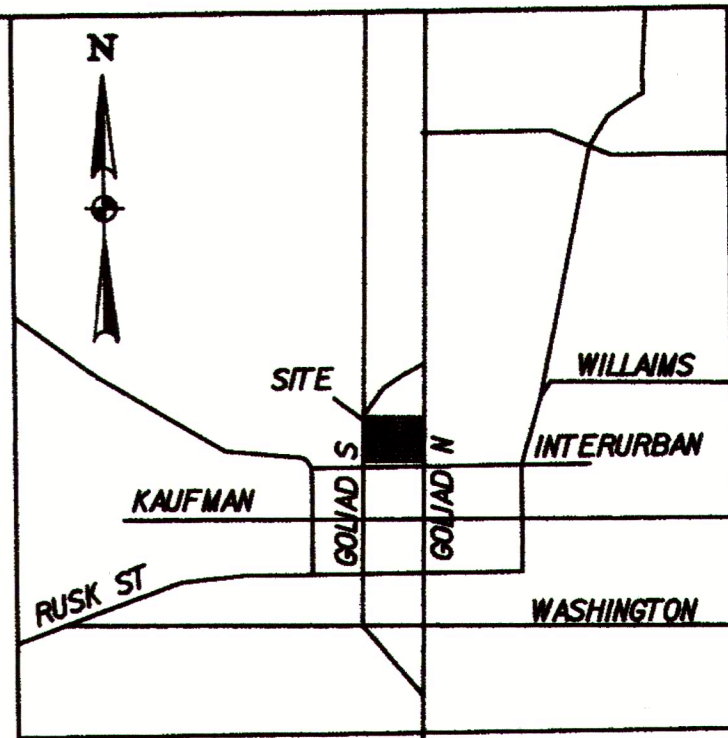
ehain

OWNER:  
 DIRKSE AND ASSOCIATES, LTD  
 3077 NORTH GOLIAD  
 ROCKWALL, TEXAS 75087  
 MR. RICK DIRKSE  
 (972) 771-1040

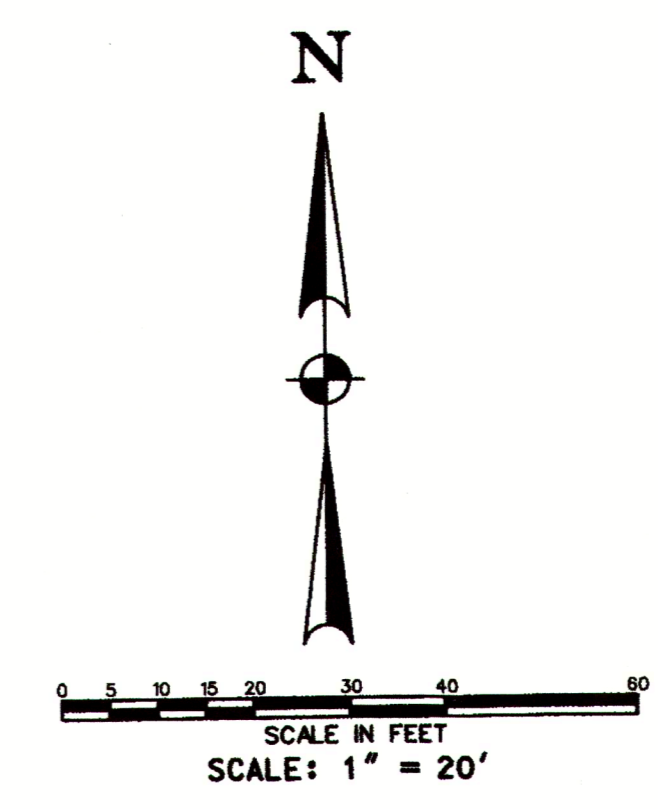
ENGINEER:  
 HELMBERGER ASSOCIATES, INC.  
 1525 BOZMAN ROAD  
 WYLIE, TEXAS 75098  
 MR. STEPHEN A. HELMBERGER, P.E.  
 (972) 442-7459

ENGINEERING SITE PLAN						
LOT 1 BLOCK A - DIRKSE ADDITION						
DIRKSE AND ASSOCIATES, LTD						
CITY OF ROCKWALL, TEXAS						
TUBE REGISTRATION NO. 000756		<b>HELMBERGER ASSOCIATES, INC.</b> CIVIL AND ENVIRONMENTAL ENGINEERS <small>1525 BOZMAN ROAD, WYLIE, TEXAS 75098 (972) 442-7459</small>				
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HELM.	CADD	FEB 2017	1"=20'	SPLAN	1709	C1



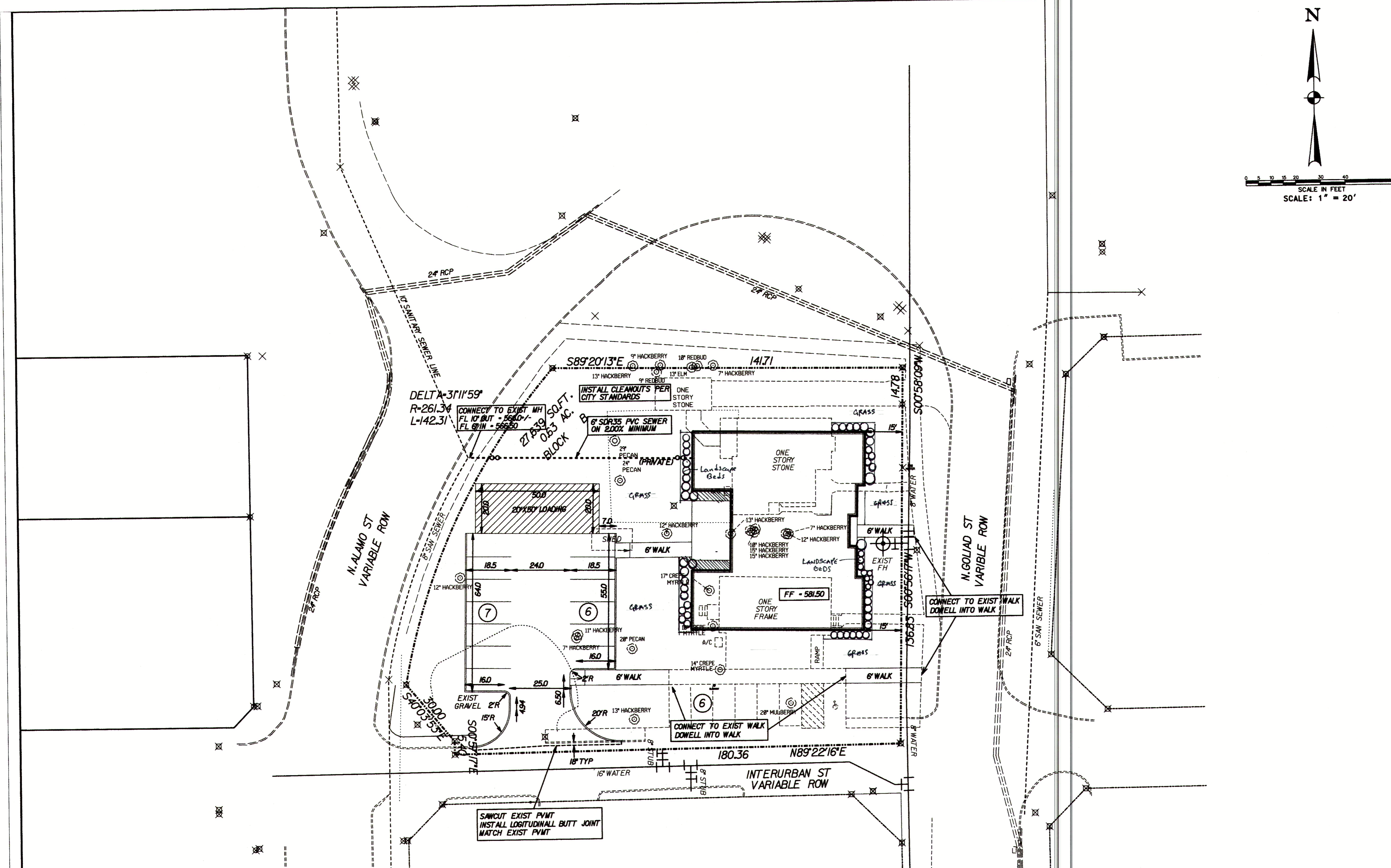


VICINITY MAP  
NOT TO SCALE



LINE LEGEND:

- PROPERTY LINE
- DRAINAGE FLOW
- PROPOSED WATER LINE
- ROAD CENTER LINE
- PROPOSED STORM SEWER
- PROPOSED STREET
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ZONING: DT - DOWNTOWN DISTRICT

PARKING REQUIREMENTS:  
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 PARKING PROVIDED: 19 SPACES  
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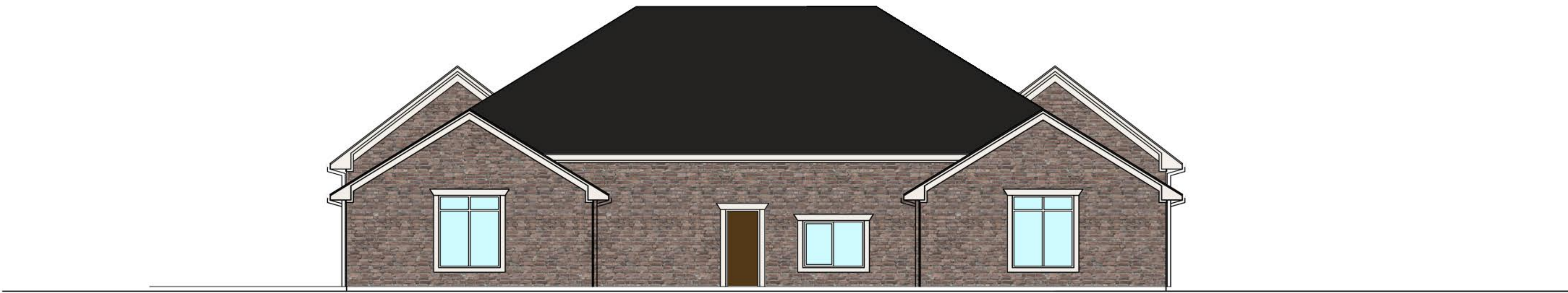
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 (972) 442-7459

ENGINEERING SITE PLAN						
LOT 1 BLOCK A - DIRKSE ADDITION						
DIRKSE AND ASSOCIATES, LTD						
CITY OF ROCKWALL, TEXAS						
<b>HELMBERGER ASSOCIATES, INC.</b> CIVIL AND ENVIRONMENTAL ENGINEERS <small>1525 BOZMAN ROAD, WYLIE, TEXAS 75098 (972) 442-7459</small>						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HELM.	CADD	FEB 2017	1"=20'	SPLAN	1709	C1

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 Purposes. They were prepared by, or under the supervision  
 of, Stephen A. Helmburger 062846

2/14/17





④ SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



③ EAST ELEVATION  
SCALE: 1/8" = 1'-0"

② WEST ELEVATION  
SCALE: 1/8" = 1'-0"



① NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

(A)	FIELD BRICK - ACME BRICK #1
(B)	STONE - CUSTOM STONE PRODUCTS #2
(C)	CAST STONE, DALLAS CAST STONE
(D)	HARDIE BOARD FASCIA
(E)	STANDING SEAM ROOF PANEL SYSTEM
(F)	PREFINISHED ALUMINUM FLASHING
(G)	ENTRY DOORS AS SELECTED
(H)	WINDOW TYPE NUMBER, REF: WINDOW SCHEDULE A701
(I)	EXTERIOR HOLLOW METAL DOOR & FRAME, PAINT
(J)	CAST STONE WATER TABLE - DALLAS CAST STONE
(K)	4"x6" CUTTER - PREFINISHED COLOR AS SELECTED
(L)	4" x 6" DOWNSPOUT - PREFINISHED, COLOR AS SELECTED, TIE INTO UG. SYSTEM (REF-CIVIL)
(M)	ROUGH SAWN (RS) CEDAR, STAIN AS SELECTED
(N)	FLASHING, TYP
(P)	FRIEZE, 1 x BOARD TYP
(R)	COMPOSITION ROOF, TYP
(S)	RIDGE VENT, TYP
(T)	GABLE END VENT, PAINTED, TYP

100'-0"  
FIN. FLR.

ISSUE: PERMIT REVIEW JAN 26, 2017



SEPT 30, 2016

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PROPOSED OFFICE BUILDING  
for  
**DIRKSE & ASSOCIATES**  
Rockwall, TX

address  
Site  
Rockwall, TX 75032  
(###) ###-####



750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

EXTERIOR ELEVATIONS

DATE: JAN 2017 SHEET NO:  
PROJECT NO: 2016049  
DRAWN BY: sk  
CHECKED BY: JC

**A501**



**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**March 28, 2017**  
**5:00 P.M.**

**ACTION ITEMS**

**1. SP2017-010 (David)**

Discuss and consider a request by Rick Dirkse on behalf of Rockwall Trinity Real Estate, LLC for the approval of a downtown development plan and site plan for an office building on a 0.63-acre tract of land identified as Lots 1-6, Block B, Rockwall Old Towne Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 301 & 303 N. Goliad Street [SH-205], and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 24<sup>th</sup> day of March, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.





## **CITY OF ROCKWALL, TEXAS MEMORANDUM**

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**TO:** Architectural Review Board

**FROM:** David Gonzales, *Senior Planner*

**CC:** Ryan Miller, *Director of Planning and Zoning*

**DATE:** March 28, 2017

**SUBJECT:** SP2017-010 Building Elevation Review – *301 & 303 N. Goliad Street*

---

The Architectural Review Board (ARB) met with the applicant, Rick Dirkse, on February 28, 2017 regarding proposed building elevations for an office building to be constructed within the Downtown (DT) District. The development is comprised of two (2) lots and is currently addressed as 301 & 303 N. Goliad Street. After reviewing the proposed building elevations -- and based upon the Downtown (DT) Districts zoning standards and the location of the development -- the ARB recommended Mr. Dirkse revise the building elevations to reflect the historical characteristics associated with PD-50 or the building form that is consistent with the downtown core. The applicant has modified the building elevations to reflect an historical character similar to the time period associated with PD-50 for a subsequent review by the ARB. The ARB will review the revised elevations and is to provide a recommendation to the Planning and Zoning Commission.





**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**April 25, 2017**  
**4:30 P.M.**

**CONSENT AGENDA**

**1. SP2017-015 (Korey)**

Discuss and consider a request by Susan Gamez for the approval of a site plan for a *Massage Therapist [Everybody Massage]* on a 0.478-acre tract of land identified as Tract 7 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, situated within the Scenic Overlay (SOV) District, addressed as 2001 Ridge Road, and take any action necessary.

**ACTION ITEMS**

**2. SP2017-010 (David)**

Discuss and consider a request by Rick Dirkse on behalf of Rockwall Trinity Real Estate, LLC for the approval of a downtown development plan and site plan for an office building on a 0.63-acre tract of land identified as Lots 1-6, Block B, Rockwall Old Towne Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 301 & 303 N. Goliad Street [SH-205], and take any action necessary.

**3. SP2017-012 (David)**

Discuss and consider a request by Curtis Behrens of Greenberg Farrow on behalf of Doug Druen of Texas Roadhouse Holdings, LLC for the approval of a site plan for a restaurant [*Texas Roadhouse*] on a 2.07-acre portion of a larger 8.613-acre tract of land identified as Tract 4 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, IH-30 Overlay (IH-30 OV) District, generally located east of the intersection of Greencrest Boulevard and the IH-30 Frontage Road, and take any action necessary.

**4. SP2017-014 (Korey)**

Discuss and consider a request by Kevin Patel, P. E. on behalf of William Shaddock of Master Developers-SNB, LLC for the approval of an amended site plan for a daycare facility on a 2.960-acre tract of land identified as Lot 1, Block S, Preserve, Phase 3 Addition and Tract 12 [1.4376-acres], A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) and Single Family 10 (SF-10) District, addressed as 1450 East Fork Drive, and take any action necessary.

**5. Z2017-018 (Ryan)**

Hold a public hearing to discuss and consider a request by Cesar Sagovia of Rogue Architects on behalf of Starbucks Coffee Company for the approval of a Specific Use Permit (SUP) amending *Ordinance No. 12-29 (S-099)* to allow for an expansion to the existing restaurant on a 0.182-acre portion of a larger 25.927-acre parcel of land identified as Lot 6, Block A, Wal-Mart Supercenter Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District and within the IH-30 (IH-30 OV) Overlay District, addressed as 778 E. IH-30, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 21<sup>st</sup> day of April, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**May 30, 2017**  
**5:00 PM**

**CONSENT AGENDA**

**1. SP2017-017 (Korey)**

Discuss and consider a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Rockwall Regional Hospital, LLP for the approval of an amended site plan for a hospital [*Presbyterian Hospital*] on a 18.871-acre portion of a larger 8.867-acre parcel of land identified as Lot 22, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3150 Horizon Road, and take any action necessary.

**ACTION ITEMS**

**2. SP2017-016 (David)**

Discuss and consider a request by Bassam Ziada of Murphy Oil USA, Inc. for the approval of a site plan for a convenience store with gasoline sales on a 1.013-acre parcel of land identified as Lot 5, Block A, Walmart Super Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 776 E. IH-30, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 26<sup>th</sup> day of May, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**June 13, 2017**  
**5:00 PM**

**ACTION ITEMS**

**1. Election of a Chair and Vice Chair (Ryan)**

Discuss and consider the election of a chair and vice chair in accordance Section 13.4, *Officers*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code, and take any action necessary.

**2. SP2017-016 (David)**

Discuss and consider a request by Bassam Ziada of Murphy Oil USA, Inc. for the approval of a site plan for a convenience store with gasoline sales on a 1.013-acre parcel of land identified as Lot 5, Block A, Walmart Super Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 776 E. IH-30, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 9<sup>th</sup> day of June, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**May 9, 2017**  
**5:00 PM**

**ACTION ITEMS**

**1. SP2017-012 (David)**

Discuss and consider a request by Curtis Behrens of Greenberg Farrow on behalf of Doug Druen of Texas Roadhouse Holdings, LLC for the approval of a site plan for a restaurant [*Texas Roadhouse*] on a 2.07-acre portion of a larger 8.613-acre tract of land identified as Tract 4 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, IH-30 Overlay (IH-30 OV) District, generally located east of the intersection of Greencrest Boulevard and the IH-30 Frontage Road, and take any action necessary.

**ADJOURNMENT**

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I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 5<sup>th</sup> day of May, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**May 30, 2017**  
**5:00 PM**

**CONSENT AGENDA**

**1. SP2017-017 (Korey)**

Discuss and consider a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Rockwall Regional Hospital, LLP for the approval of an amended site plan for a hospital [*Presbyterian Hospital*] on a 18.871-acre portion of a larger 8.867-acre parcel of land identified as Lot 22, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3150 Horizon Road, and take any action necessary.

**ACTION ITEMS**

**2. SP2017-016 (David)**

Discuss and consider a request by Bassam Ziada of Murphy Oil USA, Inc. for the approval of a site plan for a convenience store with gasoline sales on a 1.013-acre parcel of land identified as Lot 5, Block A, Walmart Super Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 776 E. IH-30, and take any action necessary.

**ADJOURNMENT**

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## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2017-017	<b>Owner</b> ROCKWALL, REGIONAL HOSPITAL LLP	<b>Applied</b> 5/15/2017 LM
<b>Project Name</b> THR Presbyterian	<b>Applicant</b> CLAYMOORE ENGINEERING, INC	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b>		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 5/15/2017 LM

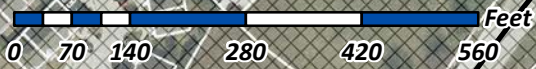
<b>Site Address</b> 3150 HORIZON RD	<b>City, State Zip</b> ROCKWALL, TX 75032	<b>Zoning</b>
--	--	---------------

<b>Subdivision</b> PRESBYTERIAN HOSPITAL OF ROCKWALL ADDITIO	<b>Tract</b> 15	<b>Block</b> A	<b>Lot No</b> 15	<b>Parcel No</b> 4703-000A-0015-00-OR	<b>General Plan</b>
---	--------------------	-------------------	---------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING Buildings to have a minimum 10' separation.	John Ankrum	5/15/2017	5/22/2017	5/17/2017	2	COMMENTS	
ENGINEERING (5/19/2017 9:05 AM AW) Must submit engineering drawings for the water/fire hydrant relocation along with a replat after engineering is approved	Amy Williams	5/15/2017	5/22/2017	5/19/2017	4	APPROVED	See Conditions
FIRE	Ariana Hargrove	5/15/2017	5/22/2017	5/19/2017	4	APPROVED	
GIS	Lance Singleton	5/15/2017	5/22/2017	5/19/2017	4	APPROVED	
PLANNING (5/24/2017 4:05 PM KB) SP2017-017 Presbyterian Hospital: Please address the following comments (M= Mandatory Comments; I = Informational Comments)	Korey Brooks	5/15/2017	5/22/2017	5/24/2017	9	COMMENTS	Comments

- I.1 Discuss and consider a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Rockwall Regional Hospital, LLP for the approval of an amended site plan for a hospital [Presbyterian Hospital] on a 18.871-acre portion of a larger 8.867-acre parcel of land identified as Lot 22, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3150 Horizon Road, and take any action necessary.
- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com
- M.3 For reference, include the case number (SP2017-017) in the lower right hand corner of all pages on future submittals.
- M.4 Please provide dimensions for all walls on the expansion.
- I.5 The Architectural Review Board (ARB) meeting for this case will be held on May 30, 2017 at 5:00 pm.
- I.6 The Planning and Zoning Worksession for this case is May 30, 2017 at 6:00 pm. The Planning and Zoning Meeting is June 13, 2017.
- I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested as soon as possible to give staff ample time to review the case prior to the May 30, 2017 Planning & Zoning Meeting.





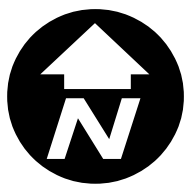
SP2017-017 - PRESBYTERIAN HOSPITAL  
SITE PLAN - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

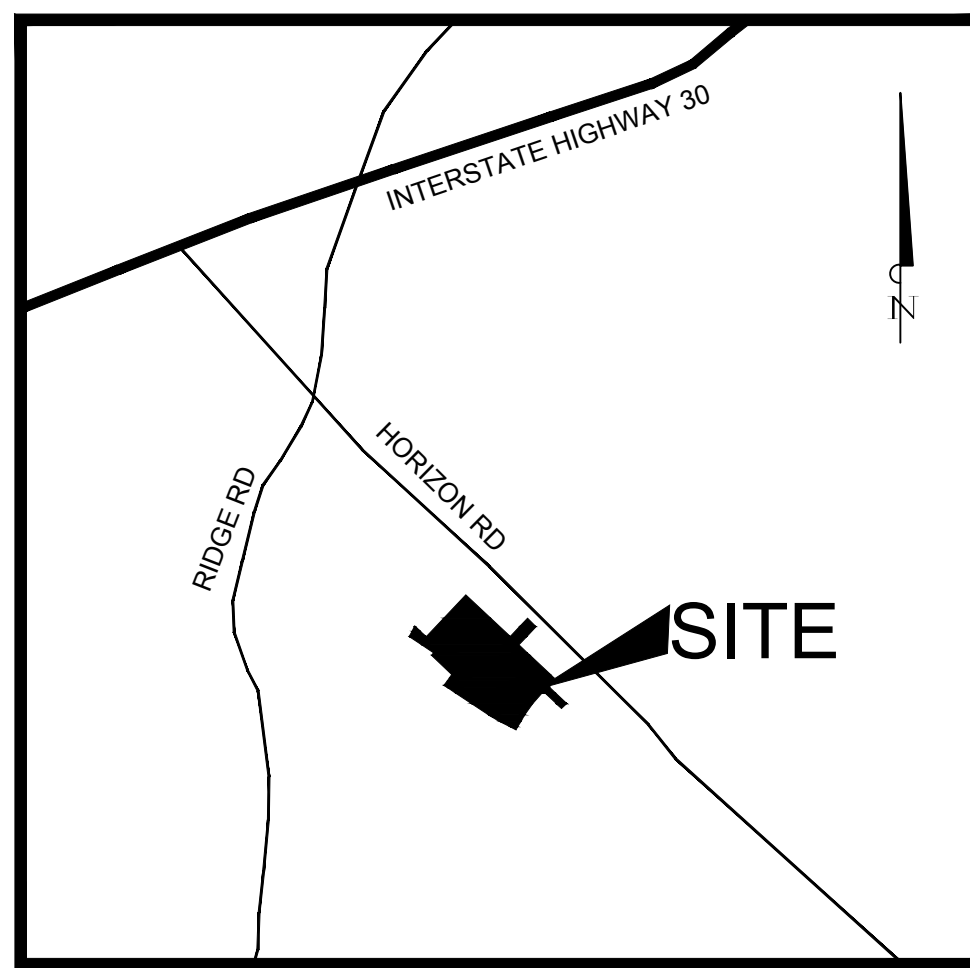
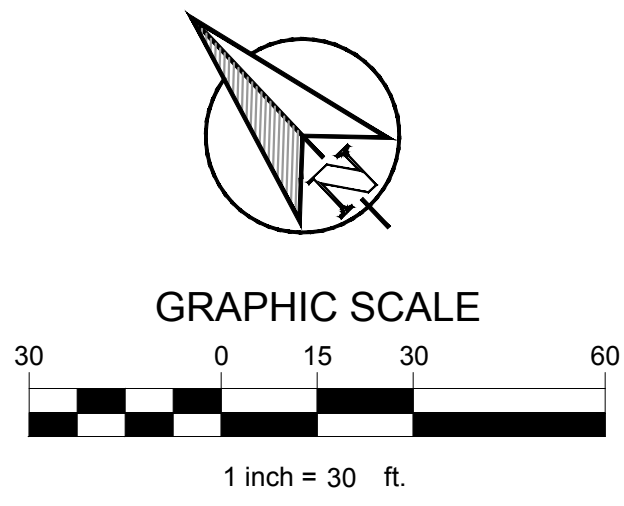
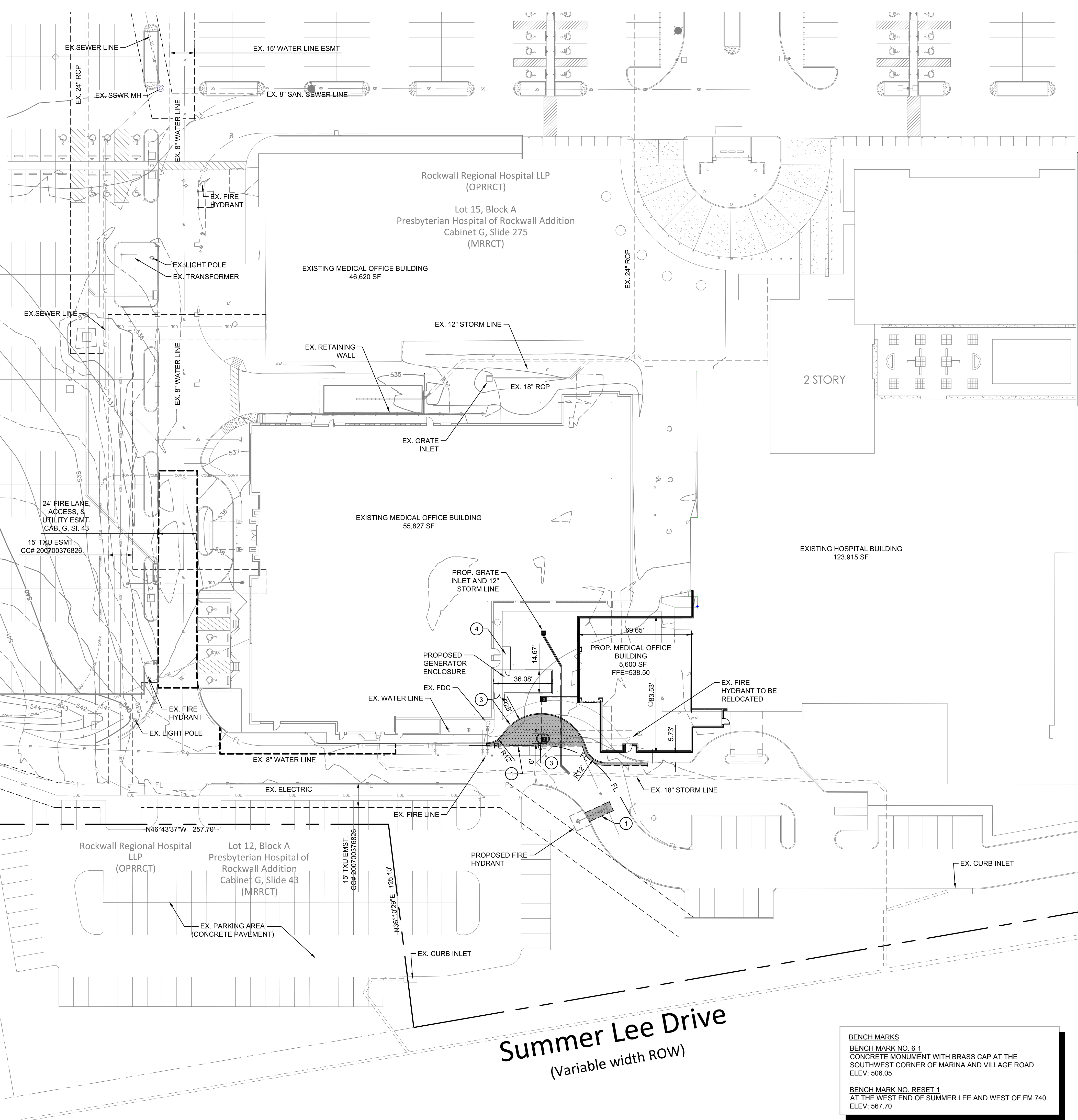
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SITE DATA TABLE	
SITE AREA	18.87 ACRES (821,862.51 SF)
ZONING	PD-009
PROPOSED USE	MEDICAL OFFICE
BUILDING AREA	EXISTING - 226,362 SF PROPOSED - 5,600 SF
TOTAL BUILDING AREA	231,962 SF
LOT COVERAGE	28.2%
FLOOR TO AREA RATIO	0.28 : 1
PROPOSED BUILDING HEIGHT	16'-0" (1 STORY)

PARKING TABLE	
PARKING REQUIREMENTS	1 PER 200 SQ FT
PARKING REQUIRED	1,160 SPACES (24 ADA)
PARKING PROVIDED	1,227 SPACES (37 ADA)



VICINITY MAP  
N.T.S.

LEGEND	
	PROPOSED 6" MEDIUM DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE

CONSTRUCTION SCHEDULE	
①	SAW CUT FULL DEPTH EXISTING PAVEMENT
②	4" PARKING STALL STRIPING COLOR: WHITE (TYP)
③	CURB & GUTTER
④	PROPOSED PRIVATE SIDEWALK
⑤	PROPOSED GENERATOR ENCLOSURE REFER TO ARCH PLANS FOR DETAILS

**NOTES:**

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
- REFER TO ARCHITECTURAL PLANS FOR FENCE AND GATE DETAILS.

THR PRESBYTERIAN	
LEGAL DESCRIPTION: LOT 15, BLOCK A PRESBYTERIAN HOSPITAL OF ROCKWALL ADD. CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS	
OWNER: ROCKWALL REGIONAL HOSPITAL, LLP 612 E. LAMAR BLVD. ARLINGTON, TX 76011 CONTACT: PH:	
DEVELOPER: ROCKWALL REGIONAL HOSPITAL, LLP 612 E. LAMAR BLVD. ARLINGTON, TX 76011 CONTACT: PH:	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DR., SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572	
CITY CASE #: SP2017-___	

**BENCH MARKS**

BENCH MARK NO. 6-1  
CONCRETE MONUMENT WITH BRASS CAP AT THE SOUTHWEST CORNER OF MARINA AND VILLAGE ROAD  
ELEV: 506.05

BENCH MARK NO. RESET 1  
AT THE WEST END OF SUMMER LEE AND WEST OF FM 740.  
ELEV: 567.70

**Summer Lee Drive**  
(Variable width ROW)

PLOTTED BY: BOBBY KUBIN  
 PLOT DATE: 5/12/2017 7:37 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2017-085 P-HW THR ROCKWALL ED EXPANSION\CADD\SHEETS\SP-1 SITE PLAN.DWG  
 LAST SAVED: 5/12/2017 7:36 AM

TEXAS FIRM #14199  
**CLAYMOORE ENGINEERING**  
 1903 CENTRAL DR., SUITE #406  
 BEDFORD, TX 76021  
 PHONE: 817.281.0572  
 WWW.CLAYMOOREENGINEERING.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 Engineer: MATT MOORE  
 P.E. No. 95816 Date: 05/12/2017

**THR PRESBYTERIAN  
 ROCKWALL - ED EXPANSION  
 3144 HORIZON ROAD,  
 ROCKWALL, TX 75032**

NO.	DATE	REVISION	BY

**SITE PLAN**

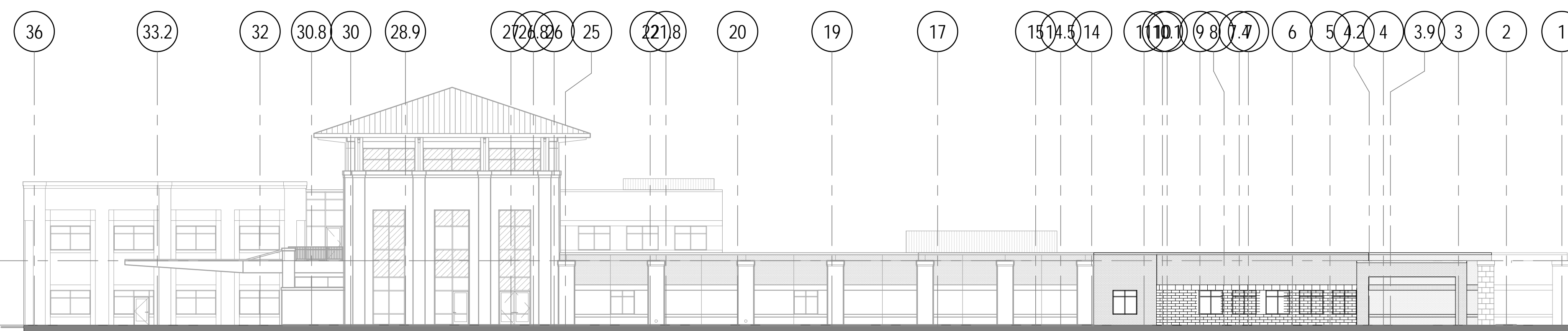
DESIGN:	BJK
DRAWN:	BJK
CHECKED:	MAM
DATE:	5/12/2017
SHEET	
SP-1	

File No. 2017-085





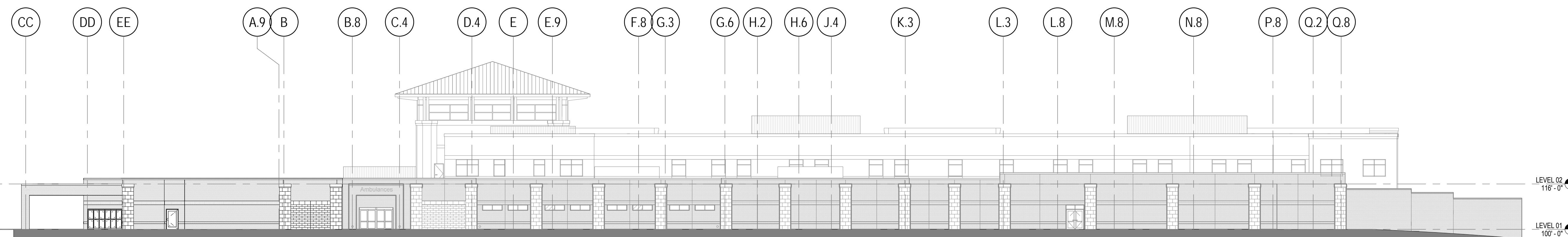
MARK	ISSUE	DATE
Job Number	147243.000	
Drawn	STB	
Checked	Checker	
Approved	Approver	
TITLE		



**3 NORTH ELEVATION**  
1" = 20'-0"

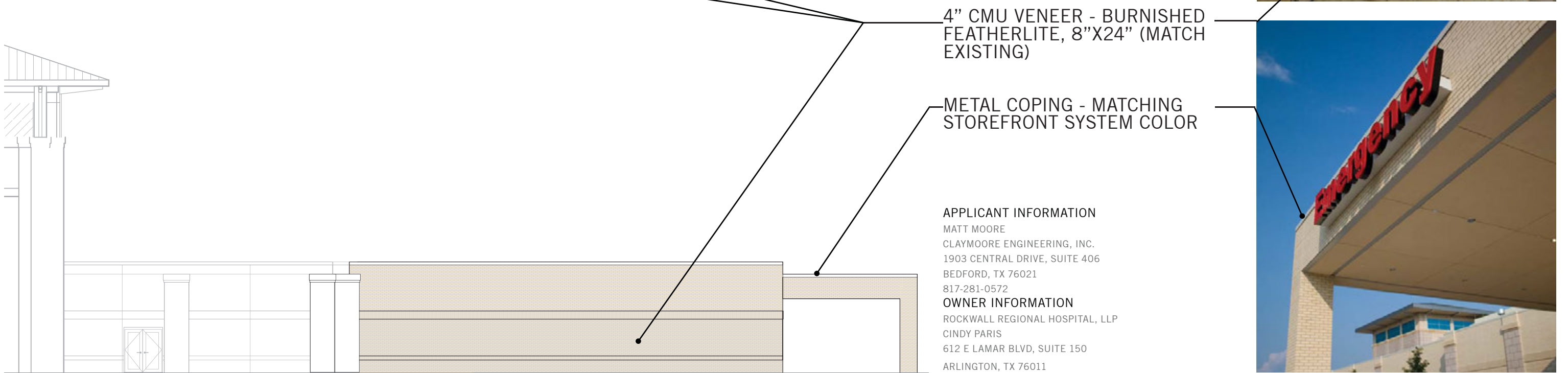
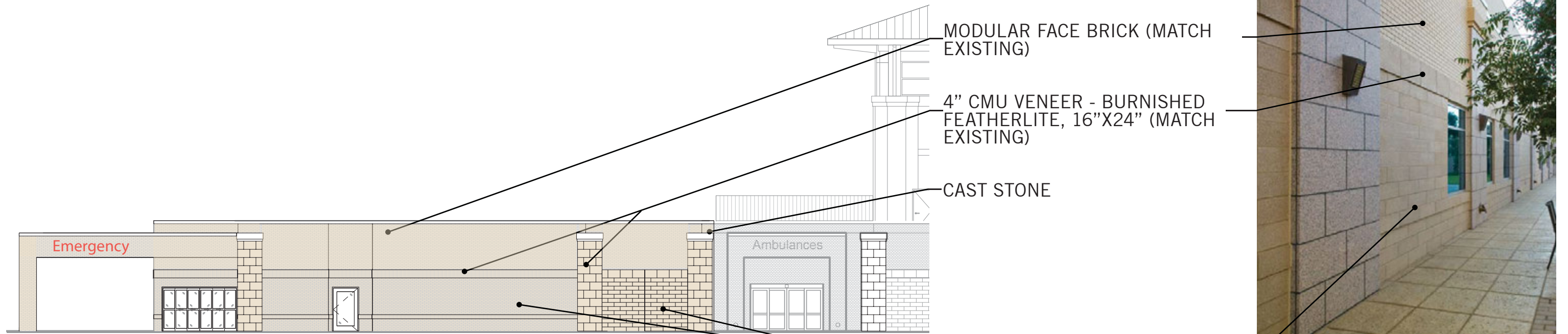
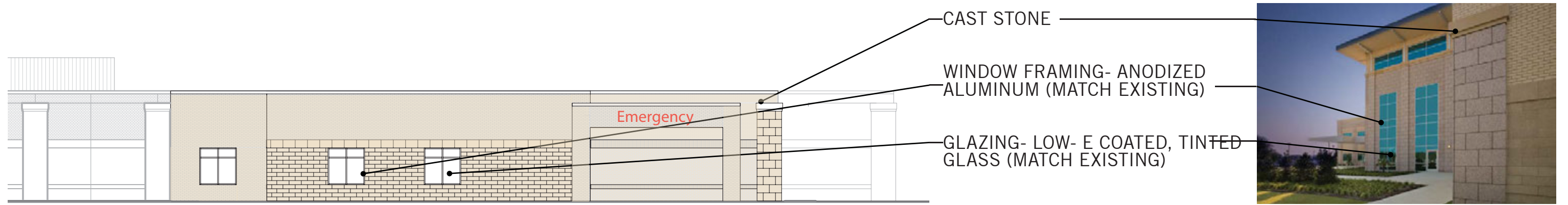


**2 EAST ELEVATION**  
1" = 20'-0"



**1 WEST ELEVATION**  
1" = 20'-0"





**APPLICANT INFORMATION**  
 MATT MOORE  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE 406  
 BEDFORD, TX 76021  
 817-281-0572  
**OWNER INFORMATION**  
 ROCKWALL REGIONAL HOSPITAL, LLP  
 CINDY PARIS  
 612 E LAMAR BLVD, SUITE 150  
 ARLINGTON, TX 76011

**City of Rockwall**  
**Project Plan Review History**



<b>Project Number</b>	SP2017-016	<b>Owner</b>	MURPHY, OIL USA INC	<b>Applied</b>	5/15/2017	LM
<b>Project Name</b>	Murphy Oil USA	<b>Applicant</b>	MURPHY OIL USA, INC	<b>Approved</b>		
<b>Type</b>	SITE PLAN			<b>Closed</b>		
<b>Subtype</b>				<b>Expired</b>		
<b>Status</b>	STAFF REVIEW			<b>Status</b>	5/15/2017	LM

<b>Site Address</b>	776 E I30	<b>City, State Zip</b>	ROCKWALL, TX 75087	<b>Zoning</b>	
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<b>Subdivision</b>	WAL-MART SUPER CENTER ADDITION	<b>Tract</b>	5	<b>Block</b>	A	<b>Lot No</b>	5	<b>Parcel No</b>	5226-000A-0005-00-OR	<b>General Plan</b>	
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	5/15/2017	5/22/2017	5/17/2017	2	APPROVED	
ENGINEERING (5/19/2017 9:23 AM AW) See attached markup Parking to be 20'x9' Pump area under canopy and dumpster to drain to an oil/water separator. Need to show existing fire hydrant  Landscape Plan Add note: "No trees within 5' of any utility" Move tree 5' away from water line Show existing fire hydrant	Amy Williams	5/15/2017	5/22/2017	5/19/2017	4	COMMENTS	See Comments
FIRE	Ariana Hargrove	5/15/2017	5/22/2017	5/19/2017	4	APPROVED	
GIS	Lance Singleton	5/15/2017	5/22/2017	5/19/2017	4	APPROVED	
PLANNING	David Gonzales	5/15/2017	5/22/2017	5/17/2017	2	COMMENTS	See comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Discuss and consider a request by Bassam Ziada of Murphy Oil USA, Inc. for the approval of a site plan for a convenience store with gasoline sales on a 1.013-acre parcel of land identified as Lot 5, Block A, Walmart Super Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 776 E. IH-30, and take any action necessary.						

PLANNING COMMENTS - DAVID GONZALES - 05.16.2017

All staff comments are to be addressed and resubmitted by Tuesday, June 6, 2017. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

Planning Department General Comments to be addressed are as follows:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Re-label revised site plan documents with "Case No. SP2017-016" at the lower right corner of each plan.
3. All exterior signage requires submittal and approval of a separate building permit through the building inspections department. Approval of this site plan does not confer approval of the signage depicted on the plans.

VARIANCE FOR THE CITY COUNCIL TO CONSIDER:

1. The IH-30 OV district requires each exterior wall to be constructed of 90% masonry materials (i.e. brick, stone, etc.) including a minimum of 20% natural or quarried stone when visible from a public street or open space -- provide calculation for each facade, excluding doors and windows to determine compliance. (See exceptions below for use of cultured stone)

If the Planning and Zoning Commission does not approve the use of cultured stone and in accordance with Section 6.6.C.1.a, Architectural Standards, of Article V, District Development Standards, of the UDC, a variance to allow for not meeting the minimum masonry standards requires a ¾ majority vote by the City Council for approval.

EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION & CITY COUNCIL TO CONSIDER"

1. Horizontal and vertical articulation required for the east and west elevations.
2. Outside sales and display area's (ice machine & propane tanks) require a recommendation from the Planning and Zoning Commission and approval of the City Council.
3. The Planning Commission may consider the use of high quality manufactured or cultered stone meeting the standards as listed in Sec. 6.6, C. 1. a. of the UDC. (Eldorado Stone)

Please address the following Planning Comments for each plan submitted:

Site Plan:

1. Provide a darker shade of gray for existing access drive (label accordingly) and parking spaces on site.
2. Remove construction notation from this site plan. These notes are appropriate for separate building permit:
  - a) General Site Notes - table
  - b) Temporary Traffic barrels
  - c) Remove statement above the temporary traffic barrels stating "all existing curb/gutter striping and pavement damaged...original state."

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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- d) Temporary Access Drive Notes table.
- e) Remove construction fence from site plan (e.g. CFP & CF) and related items in legend.
- f) Change language in Site Notes for No.'s 16A & 21K by removing "per approved elevation" and insert "requires submittal and approval of a separate permit prior to installation."
- g) Remove No. 14J - required at building permit.
- h) Remove No. 70A - required at building permit.
- i) Site Details - See Detail Sheets: remove No. 2F Construction Safety Fence - building permit item.
- 3. What exterior material are you using for the propane enclosure wall? This should match the primary building materials.
- 4. Provide adjacent property owner information for the north, south, and west boundaries.
- 5. Delineate and label 20-ft landscape buffer.

Landscape Plan:

- 1. Delineate and label 20-ft landscape buffer.
- 2. Remove from Legend all labels that do not apply for a landscape plan.
- 3. Provide labels for "STM" and "DOM".

Photometric Plan:

- 1. All exterior lighting sources are to be directed down and shielded with a full cut-off or partial cut-off source and a maximum 1 inch reveal in order to control glare.
- 2. Maximum lighting intensity at the property line is not to exceed 0.2-FC. Resubmit photometric plan and indicate readings at all property lines (excluding IH-30) in compliance with UDC (i.e. > or = to 0.2-FC).
- 3. ATM machine requires a 50-ft radius meeting the lighting standards established by the State of Texas. Indicate and label as required.

Building Elevations:

- 1. Approval of the variance/exception for the use of a cultured stone as requested above for the IH-30 OV district.
- 2. Is the stone depicted on the elevations a cultured stone (i.e. Eldorado Stone)? If so, the Planning Commission can consider the use of this material when meeting the standards established in Section 6.6.C.1.a, Architectural Standards, of Article V, District Development Standards, of the UDC. Please provide a manufacturers cut sheet and sample of the stone material for consideration.
- 3. Label and provide a self latching gate mechanism for the dumpster enclosure.
- 4. Remove Sign information table at lower right corner - All exterior signage requires submittal and approval of a separate sign permit from the building inspections department. Approval of this site plan does not confer approval of a sign permit.
- 5. Provide calculations for all exterior building materials - broken out for each facade.
- 6. Variance to the horizontal and vertical articulation standards required for the IH-30 OV as indicated above under variances.

The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the PD Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

Meeting Dates to Attend:

Architectural Review Board: May 30, 2017 (5:00 p.m.) [Applicant to receive recommendations from ARB]

Planning - Work Session: May 30, 2017 (6:00p.m.) [Applicant to present/discuss project to P&Z]



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Planning - Action: June 13, 2017 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, etc.)]						
City Council - Action: June 19, 2017 (6:00 p.m.) [FOR VARIANCE REQUEST ONLY]						



Know what's below.  
Call before you dig.

**BUILDING SETBACKS:**  
BUILDING SETBACK SHOWN ON PLAN

**ZONING: C - (COMMERCIAL)  
/IH 30 OVERLAY DISTRICT**



1200SF-8(S)-2015v2

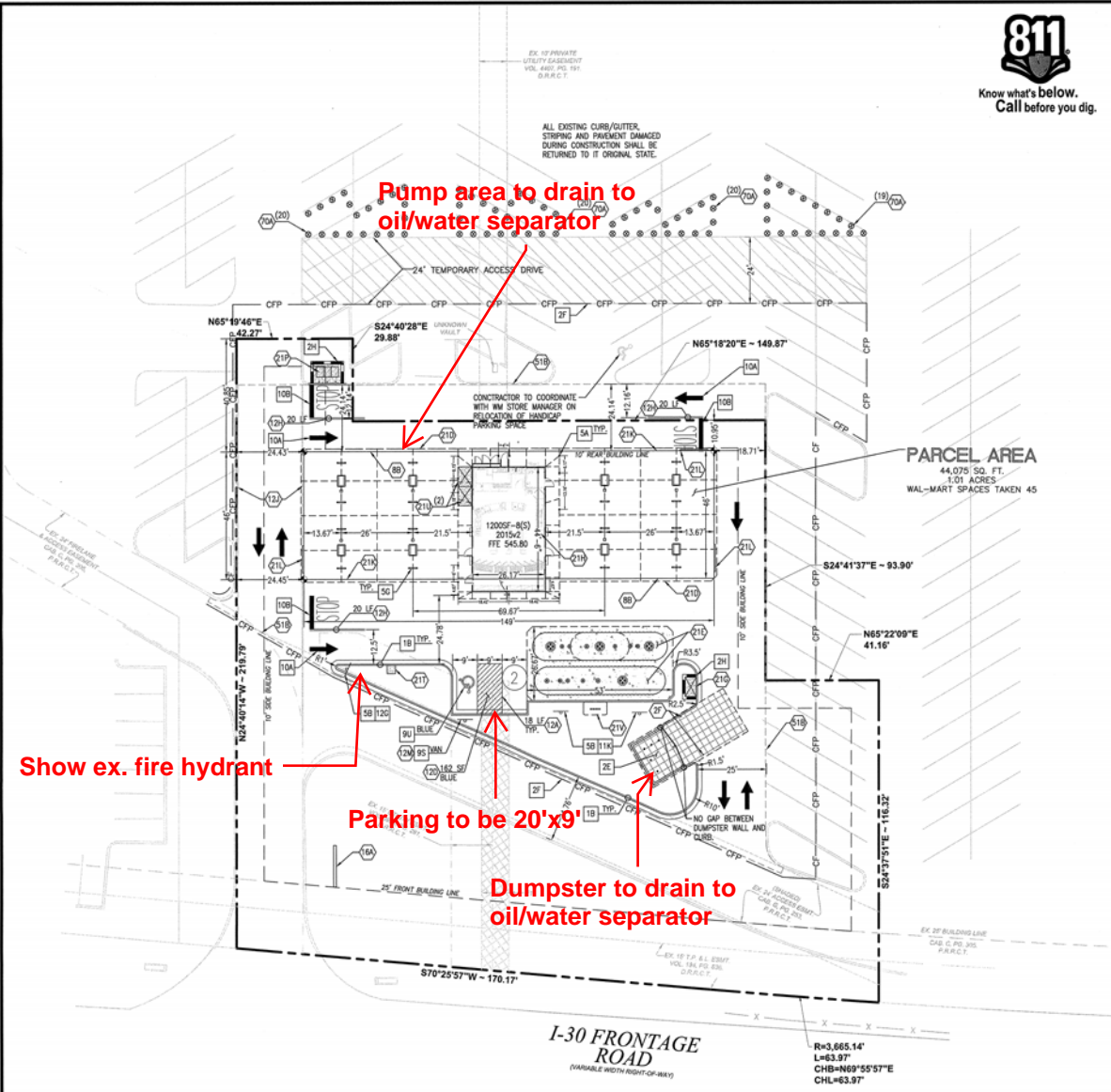
SHEET NO. C-1



**Greenbergfarrow**  
SITE PLAN  
WALMART SUPERCENTER #269  
776 E. I-30 FRONTAGE RD.  
ROCKWALL, TEXAS

**Greenbergfarrow**  
1400 W. FLEETCHER STREET, SUITE 200  
FITCH SPRING, AR 72701  
PHONE: (501) 444-1400  
FAX: (501) 444-1401  
WWW.GREENBERGFARROW.COM

**MURPHY OIL USA, INC.**  
200 PEACH STREET  
MURPHY, AR 72571  
P.O. BOX 7000  
USA  
EL DORADO, AR 71730-7000



- TEMPORARY ACCESS DRIVE NOTES**
- INSTALL TEMPORARY ACCESS DRIVE AS SHOWN.
  - TEMPORARY ACCESS DRIVE SHALL BE OPEN UNTIL PERMANENT ACCESS DRIVE IS COMPLETE.
  - THE PERMANENT ACCESS DRIVE SHALL BE COMPLETE WITHIN THREE (3) WEEKS.
  - TEMPORARY TRAFFIC BARRIERS SHALL BE CONSTRUCTED OF LIGHTWEIGHT, SETBACKABLE MATERIALS THAT SHALL BE A MINIMUM OF 36 INCHES IN HEIGHT AND BE AT LEAST AN 18-INCH MINIMUM WIDTH REGARDLESS OF THE OBSERVATION ANGLE. SIGNS SHALL NOT BE USED. THE MATERIALS ON DRAMS SHALL BE REUSABLE, COLLAPSIBLE AND EASY TO MOVE. ORANGE AND WHITE HETEROLOGIC STRIPES 4 TO 6 INCHES WIDE, EACH BARRIERS/POST SHALL HAVE A MINIMUM OF TWO ORANGE AND WHITE STRIPES WITH THE TOP STRIPES BEING ORANGE. ANY NON-CONSTRUCTION ORANGE AND WHITE STRIPES SHALL NOT EXCEED 3 INCHES WIDE. DRIVE SHALL HAVE CLEARANCE THAT WILL NOT ALLOW COLLECTION OF CONSTRUCTION DEBRIS OR OTHER OBJECTS.
  - CONTRACTOR TO INSTALL TEMPORARY TRAFFIC STORAGE FOR TEMPORARY ACCESS DRIVE.
  - CONTRACTOR SHALL PROPERLY SEQUENCE FORMER EXISTING CONSTRUCTION WITH ALL TEMPORARY ACCESS DRIVES AND/OR OTHER CONSTRUCTION ACTIVITIES. ALL POINTS OF CONSTRUCTION INTERFERENCE AND EXISTING FORMER CONTROLS SHALL BE ACCORDINGLY.
  - CONSTRUCTION FENCE ADJACENT TO TEMPORARY ACCESS DRIVE TO BE INSTALLED BEFORE CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED/RELOCATED AFTER COMPLETION OF PERMANENT ACCESS DRIVE.
- GENERAL SITE NOTES**
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL CURB RETURN RADIUS SHALL BE 5', AS SHOWN ON THIS PLAN, UNLESS OTHERWISE NOTED.
  - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON:  
ALL CURB AND GUTTER ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER SECTION 18.  
PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PAVING LOT AREA AND ALL APPROACH DRIVES.  
SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, PUMP SLAB DETAILS AND LAYOUTS.
  - CONTRACTOR SHALL BE CONSTRUCTOR OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SERVICE AS SHOWN AS WELL AS ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF POWER TO ANY LIGHT POLES ON SLOPS SHALL NOT EXCEED 24 HOURS.
  - IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE MILL-WART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE MILL-WART CONSTRUCTION/SYSTEMS MANAGER AND/OR ADJACENT PROPERTY OWNER TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRIERS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGGING MAY BE ALSO NECESSARY.
  - ALL MILL-WART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO MILL-WART APPROVAL.
  - CONTRACTOR TO PROTECT EXISTING LANDSCAPE/IRRIGATION MATERIALS.
  - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NOTED. THE AREA SHALL THEN BE SEED/SOILED, FERTILIZED, MAINTAINED AND MAINTAINED UNTIL WADY GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - CONTRACTOR SHALL PURCHASE AND INSTALL A MANHOLE, AND SHALL COORDINATE LOCATION OF MANHOLE WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.
  - ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAVEMENT INCLUDED IN SECTION 10A.

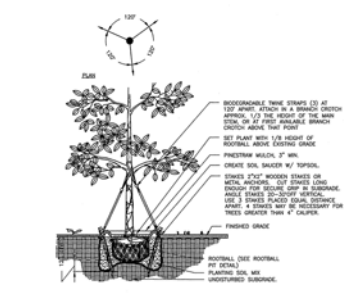
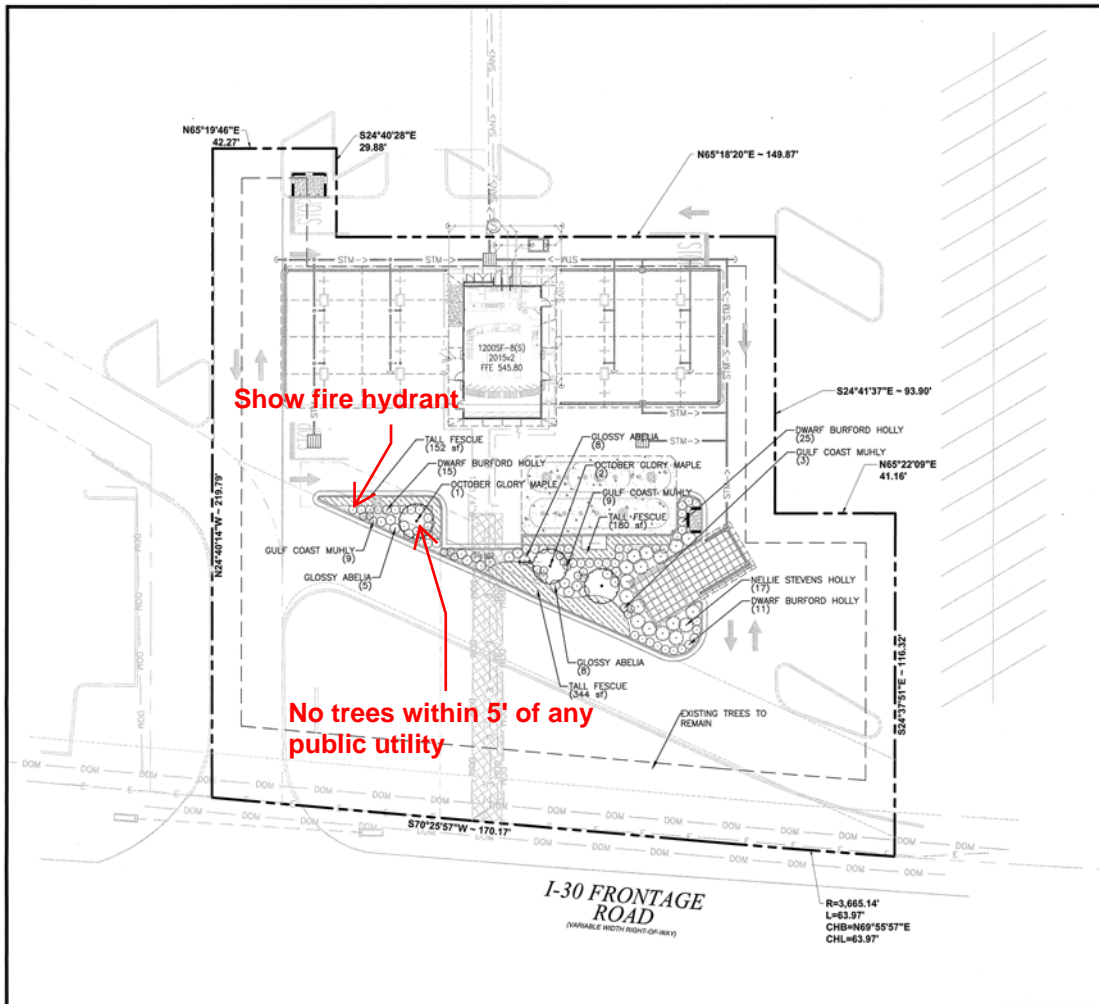
**LEGEND**

EXISTING	PROPOSED
BENCHMARK	BOUNDARY LINE
PROPERTY CORNER MARKER FOUND - AS NOTED	CONCRETE CURB AND GUTTER
ADJOURNING FENCED	CONSTRUCTION FENCE (SEE CHAL DETAILS)
1/2" IRON ROD WITH CAP-BET STAMPED "SPINNER & ASSOC"	CONSTRUCTION FENCE IN PAVEMENT (SEE CHAL DETAILS)
ADJOURNING SET	
ADJOURNING POLE	
POWER POLE	
LIGHT POLE	
ELECTRIC METER	
ELECTRIC LINE MANHOLE	
ELECTRIC PULL BOX	
ELECTRIC MANHOLE	
ELECTRIC BOX (PANEL)	
TELEPHONE RISER	
TELEPHONE MANHOLE	
TELEPHONE PULL BOX	
FIBER OPTIC MANHOLE	
FIBER OPTIC PULL BOX	
TRAFFIC SIGNAL BOX	
MALELOCK	
GAS MANHOLE	
GUY POLE	
STORM DRAIN MANHOLE	
INLET RIM	
WATER MANHOLE	
WATER METER	
FIRE HYDRANT	
SAN SEWER MANHOLE	
SAN SEWER CLEANOUT	
IRRIGATION CONTROL VALVE	
BIOWALK	
ROLLBACK POST	
OVERHEAD ELEC.	
U.S. ELECTRIC	
U.S. TELE LINE	
U.S. FIBER OPTIC	
U.S. CABLE TV	
U.S. GAS	
U.S. WATER	
U.S. SAN SEWER	
U.S. STORM SEWER	
TREE	
CONCRETE AREA	

**PARKING INFORMATION: MURPHY OIL**

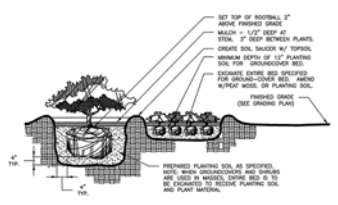
DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED			
		RATIO	SPACES	REGULAR	ACCESSIBLE / VAN ACCESSIBLE
MURPHY OIL	1200	/1000 S.F.	5	1	6
STALL DIMENSIONS:					
90' x 18'		RATIO	SPACES	REGULAR	ACCESSIBLE / VAN ACCESSIBLE
		/250 S.F.	5	1	11



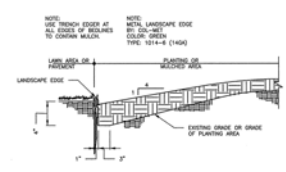


NOTE: STRAPS: WIDE, SOFT, BIODEGRADABLE MATERIAL MANUFACTURED FOR THE PURPOSE OF TREE ANCHORING. DO NOT USE WIRE AND WIRE.

**DECIDUOUS TREE PLANTING**



**SHRUB PLANTING**



**TRENCH EDGER DETAIL**

**811**  
Know what's below.  
Call before you dig.

**LEGEND**

EXISTING	PROPOSED
◊ BENCHMARK	— BOUNDARY LINE
◊ PROPERTY CORNER	○ TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)
◊ MARKER FOUND - AS NOTED	— OF CONSTRUCTION FENCE (SEE DETAIL SHEET C-4)
◊ MONUMENT FOUND	
◊ 1/2\"/>	

**GENERAL LANDSCAPE NOTES**

- LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-Z60.1-1989).
- ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL APPROVED BY THE OWNER, AS NEEDED. THE CONTRACTOR SHALL PROTECT, SOAKED, FERTILIZED, MULCHED, WATERED, AND MAINTAINED. HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH AS TREE IS ESTABLISHED. ANY AREAS DISTURBED SHALL BE RESTORED TO ORIGINAL CONDITION. ANY ADDITIONAL COST TO THE OWNER.
- THE MAINTENANCE STATION WILL NOT DROP WAL-MART'S GREEN SPACE BELOW CITY'S REQUIREMENTS.
- CONTRACTOR IS TO VERIFY LOCATION OF WAL-MART IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGED THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
- CONTRACTOR IS TO PROTECT EXISTING LANDSCAPING/IRRIGATION MATERIALS.
- ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A MINIMUM OF ONE (1) YEAR OR UNTIL SECOND CUTTING, WHICHEVER IS LONGER. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING, AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A FINISH CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES AFTER LAWN AREA HAVE GERMINATED. AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDING IMMEDIATELY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDING LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDING LAWN AREA.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THESE PLANS, BEFORE PRICING THE WORK.
- QUANTITIES ON THE PLANT SCHEDULE ARE PROVIDED FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE LANDSCAPE PLANS AND THE PLANT SCHEDULE, THE LANDSCAPE PLANS WILL TAKE PRECEDENCE. THE CONTRACTOR SHALL INFORM THE LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERING ANY QUANTITY DISCREPANCIES.
- METAL LANDSCAPE EDGING IS TO BE INSTALLED BETWEEN SOO AND LANDSCAPE PLANTING BED.


**PLANT SCHEDULE**

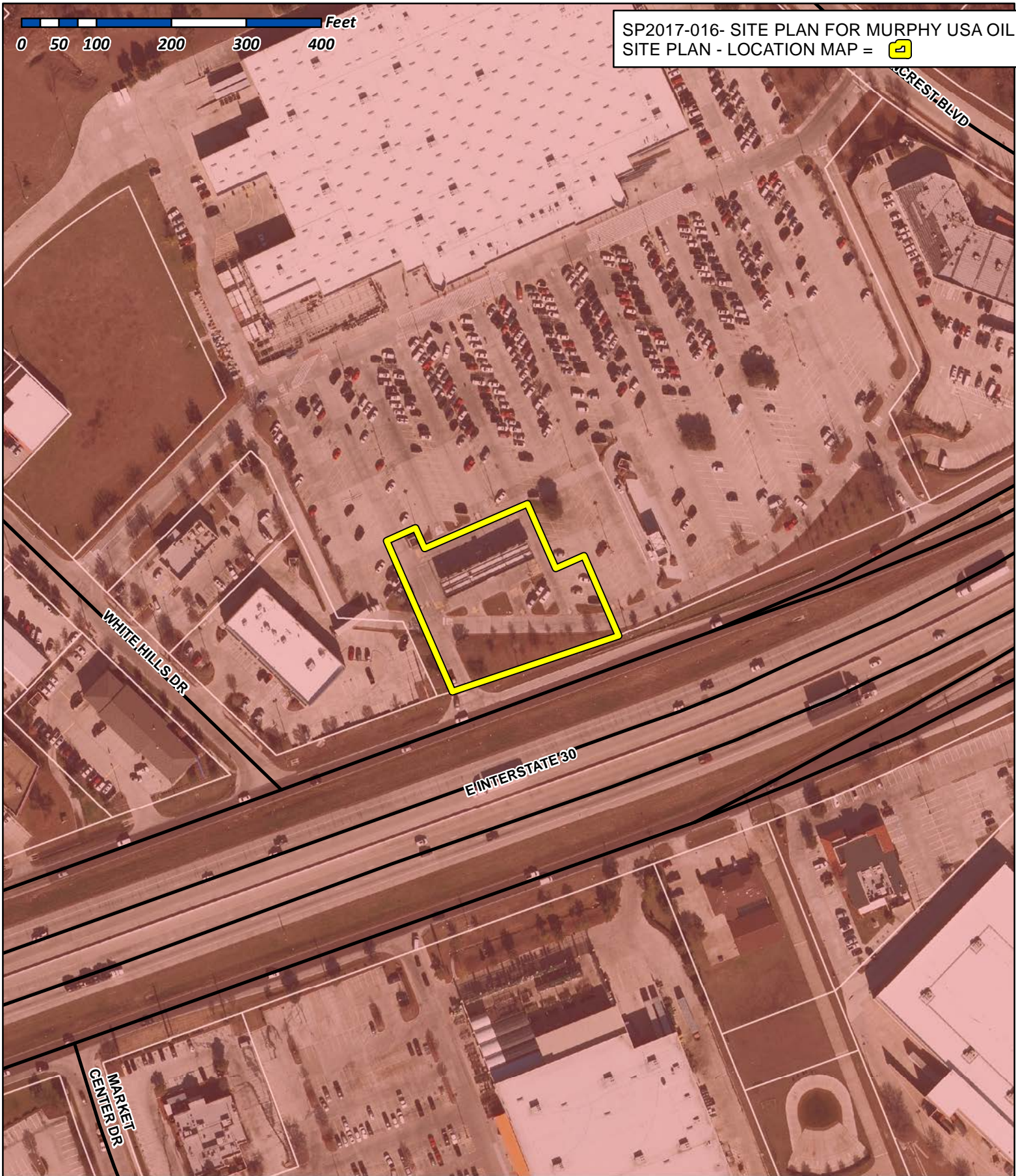
TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	REMARKS
○	3	Acer rubrum 'October Glory' TM / October Glory Maple	B & B	2.5\"/>	

**SHEET NO. C-9**  
**GreenbergFarrow**  
 1400 W. PEACH STREET SUITE 200  
 FORT WORTH, TEXAS 76104  
 P.O. BOX 7000  
 EL DORADO, AR 71730-7000  
**MURPHY OIL USA, INC.**  
**MURPHY** 200 PEACH STREET  
 P.O. BOX 7000  
 USA  
 TEXAS REGISTRATION NO. 1480



0 50 100 200 300 400 Feet

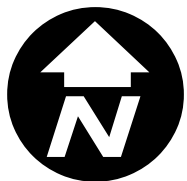
SP2017-016- SITE PLAN FOR MURPHY USA OIL  
SITE PLAN - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





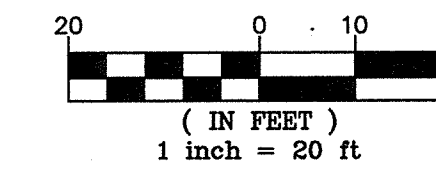


Know what's below.  
Call before you dig.

**BUILDING SETBACKS:**

BUILDING SETBACK SHOWN ON PLAN

ZONING: C - (COMMERCIAL)  
/IH 30 OVERLAY DISTRICT



1200SF-8(S)-2015v2

SHEET NO.

C-1

**LEGEND**

**EXISTING**

- ⊕ BENCHMARK
- ⊙ PROPERTY CORNER MARKER FOUND - AS NOTED
- ⊙ MONUMENT FOUND
- ⊙ 1/2" IRON ROD WITH CAP SET STAMPED "SPOONER & ASSOC"
- ⊙ MONUMENT SET
- ⊙ POWER POLE
- ⊙ LIGHT POLE
- ⊙ ELECTRIC METER
- ⊙ ELECTRIC LINE MARKER
- ⊙ ELECTRIC PULL BOX
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC BOX (PANEL)
- ⊙ TELEPHONE MARKER
- ⊙ TELEPHONE RISER
- ⊙ TELEPHONE MANHOLE
- ⊙ TELEPHONE PULL BOX
- ⊙ FIBER OPTIC MARKER
- ⊙ FIBER OPTIC PULL BOX
- ⊙ TRAFFIC SIGNAL BOX
- ⊙ MAILBOX
- ⊙ GAS MARKER
- ⊙ GUY POLE
- ⊙ STORM DRAIN MANHOLE
- ⊙ INLET RIM
- ⊙ WATER MANHOLE
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ SAN. SEWER MANHOLE
- ⊙ SAN. SEWER CLEANOUT
- ⊙ IRRIGATION CONTROL VALVE
- ⊙ SIDEWALK
- ⊙ BOLLARD POST
- ⊙ SIGN
- OVERHEAD ELEC.
- U.G. ELECTRIC
- U.G. TELE. LINE
- U.G. FIBER OPTIC
- U.G. CABLE TV
- U.G. GAS
- U.G. WATER
- U.G. SAN. SEWER
- U.G. STORM SEWER
- TREE
- CONCRETE AREA

**PROPOSED**

- BOUNDARY LINE
- CONCRETE CURB AND GUTTER
- CONSTRUCTION FENCE (SEE CIVIL DETAILS)
- CFP CONSTRUCTION FENCE ON PAVEMENT (SEE CIVIL DETAILS)
- BUILDING/CANOPY CONTROL POINT

**SITE NOTES**

- 2F DRILL (2) 3/4" X 5/8" DIA. HOLES (1) EACH FOR OPEN POSITION & CLOSED POSITION OF GATES. TO BE USED ON BOTH SIDES OF GATE. SEE DUMPSTER DETAIL.
- 8B OVERHEAD CANOPY - (TYP.-PER CANOPY PLANS)
- 12A 4" TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
- 12D 4" WIDE PAINTED STRIPES. 2.0' O.C. @ 45° (SEE SIZE COLOR INDICATED AT SYMBOL).
- 12H 4" DOUBLE TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
- 12J FIRE LANE STRIPING PER LOCAL CODES
- 12M CONTRACTOR TO ENSURE THAT ANY LIGHT POLES OR HANDICAP PARKING SIGNS ARE AT LEAST 2' FROM CURB TO PREVENT THE VEHICLES FROM STRIKING THESE ITEMS.
- 14K GC TO INSTALL (1) 4" PVC SLEEVE FOR IRRIGATION LINE. SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS.
- 14J GC TO INSTALL (2) 4" PVC SLEEVES FOR FUTURE USE. SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS.
- 16A MURPHY OIL FREESTANDING SIGN. PER APPROVED ELEVATION.
- 21D EDGE OF CONCRETE SLAB. PER TANK/PIPING PLANS.
- 21E UNDERGROUND STORAGE TANKS (1) 25,000 GAL-REGULAR, (1) 8,000 GAL-PREMIUM, (1) 10,000 GAL-DESEL, (1) 8,000 GAL-E-85.
- 21G AIR VACUUM UNIT WITH 4' X 7' CONCRETE SLAB
- 21H ATM LOCATION.
- 21K MURPHY USA ID SIGN. PER APPROVED ELEVATION.
- 21L PRICE SIGN PER APPROVED ELEVATION
- 21P 7' X 10' CONCRETE PAD FOR PROPANE TANKS.
- 21T MAILBOX (CONTRACTOR TO COORDINATE LOCATION WITH MURPHY AND POSTMASTER PRIOR TO INSTALLATION)
- 21U 5' X 7' CONCRETE SLAB FOR ICE UNIT. SEE NUMBER INDICATED AT SYMBOL.
- 21V CONCRETE PAD FOR VENT RISERS. PER TANK & PIPING PLANS.
- 51B LIMITS OF SLOTTED AND PAVEMENT REMOVAL
- 70A TEMP. TRAFFIC BARRELS

**SITE DETAILS - SEE DETAIL SHEETS**

- 1B TYPE "B" CONCRETE CURB & GUTTER.
- 2E DUMPSTER ENCLOSURE
- 2F CONSTRUCTION SAFETY FENCE
- 2H BRICK VENEER MASONRY SCREEN WALL
- 5A GUARD POST (SINGLE)
- 5B TRAFFIC SIGN IN BOLLARD
- 5G U-BUMPER
- 5S ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN (TYP.)
- 9U ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
- 10A TRAFFIC FLOW ARROW (TYP.)
- 10B STOP BAR (TYP.)
- 11K "NO PARKING" SIGN
- 12G "STOP" SIGN

- TEMPORARY ACCESS DRIVE NOTES**
- INSTALL TEMPORARY ACCESS DRIVE AS SHOWN.
  - TEMPORARY ACCESS DRIVE SHALL REMAIN OPEN UNTIL PERMANENT ACCESS DRIVE IS COMPLETE.
  - THE PERMANENT ACCESS DRIVE SHALL BE COMPLETE WITHIN THREE (3) WEEKS.
  - TEMPORARY TRAFFIC BARRELS SHALL BE CONSTRUCTED OF LIGHTWEIGHT, DEFORMABLE MATERIALS. THEY SHALL BE A MINIMUM OF 36 INCHES IN HEIGHT AND HAVE AT LEAST AN 18-INCH MINIMUM WIDTH REGARDLESS OF ORIENTATION. METAL DRUMS SHALL NOT BE USED. THE MARKINGS ON DRUMS SHALL BE HORIZONTAL, CIRCUMFERENTIAL, ALTERNATING ORANGE AND WHITE RETROREFLECTIVE STRIPES 4 TO 6 INCHES WIDE. EACH BARREL/DRUM SHALL HAVE A MINIMUM OF TWO ORANGE AND TWO WHITE STRIPES WITH THE TOP STRIPE BEING ORANGE. ANY NON-RETROREFLECTORIZED SPACES BETWEEN THE HORIZONTAL ORANGE AND WHITE STRIPES SHALL NOT EXCEED 3 INCHES WIDE. DRUMS SHALL HAVE CLOSED TOPS THAT WILL NOT ALLOW COLLECTION OF CONSTRUCTION DEBRIS OR OTHER DEBRIS.
  - CONTRACTOR TO INSTALL TEMPORARY TRAFFIC SIGNAGE FOR TEMPORARY ACCESS DRIVE.
  - CONTRACTOR SHALL PROPERLY SEQUENCE PERMETER EROSION CONTROL MEASURES WITH ALL TEMPORARY ACCESS DRIVES AND/OR DETOURS. CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS AND ENSURE PERMETER CONTROLS ARE PHASED ACCORDINGLY.
  - CONSTRUCTION FENCE ADJACENT TO TEMPORARY ACCESS DRIVE TO BE INSTALLED DURING CONSTRUCTION AND REMOVED/RELOCATED AFTER COMPLETION OF PERMANENT ACCESS DRIVE.

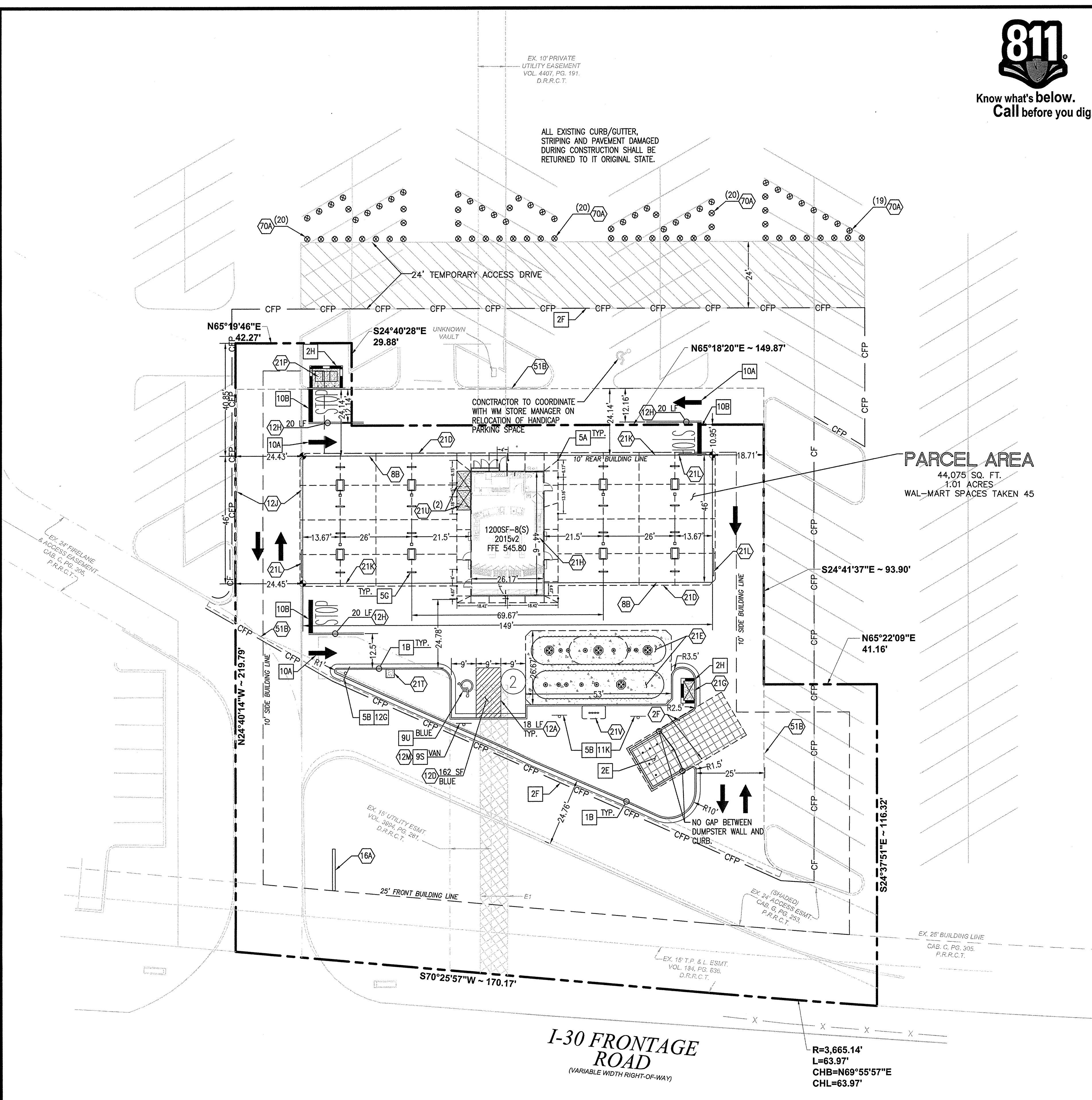
- THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
- ALL PERMANENT TURF AREAS MUST BE SOODED.
- GC TO ENSURE THAT TRAFFIC THROUGH MAIN WAL-MART DRIVES IS NOT INTERRUPTED AT ANY TIME DUE TO CONSTRUCTION ACTIVITIES. ENSURE A MINIMUM TEMPORARY LANE WIDTH OF 10' (EACH DIRECTION) IS AVAILABLE AT ALL TIMES. FREE OF OBSTRUCTIONS TO VEHICLES. AT NO TIME SHALL THE CONSTRUCTION FENCE EXTEND INTO THE DRIVE MORE THAN 2' FROM THE FACE OF THE CURB OR DRIVE.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
- UTILITY WORK DONE ON WAL-MART PARCEL, WHETHER BY THE GC, CITY OR THE UTILITY CONTRACTOR IS NOT PERMITTED. GRAVEL INLET PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE ISLES OR PARKING LOT.
- EROSION CONTROL MEASURES IMPLEMENTED INSIDE THE WAL-MART DRIVE ISLES AND PARKING LOT SHALL INCLUDE ONLY SILT BAGS OR WAL-MART PRE-APPROVED EQUAL TO ENSURE TRAFFIC CIRCULATION IS NOT IMPAIRED. GRAVEL INLET PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE ISLES OR PARKING LOT.
- GC SHALL UTILIZE DIRECTIONAL BORING OR JACK AND BORE METHODS TO INSTALL ALL UTILITIES THROUGH THE WAL-MART PARKING LOT, ANY PAVED AREAS OR DRIVE ISLES.

**GENERAL SITE NOTES**

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RETURN RADII SHALL BE 5', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON:
  - ALL CURB AND GUTTER ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 1B.
  - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES.
  - SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, PUMP ISLAND DETAILS AND LAYOUT.
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
- CONTRACTOR TO PROTECT EXISTING LANDSCAPE/IRRIGATION MATERIAL.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
- CONTRACTOR IS TO VERIFY LOCATION OF WAL-MART IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGED THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
- THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWINGS IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.
- CONTRACTOR SHALL PURCHASE AND INSTALL A MAILBOX, AND SHALL COORDINATE LOCATION OF MAILBOX WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.
- ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAIL 10A.

**PARKING INFORMATION: MURPHY OIL**

DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED:			
		RATIO /1000 S.F.	REGULAR	ACCESSIBLE	VAN ACCESSIBLE
MURPHY OIL	1200		5	1	6
STALL DIMENSIONS:		PROVIDED:			
90' x 18'		RATIO /250 S.F.	REGULAR	ACCESSIBLE	VAN ACCESSIBLE
		5	1	1	11

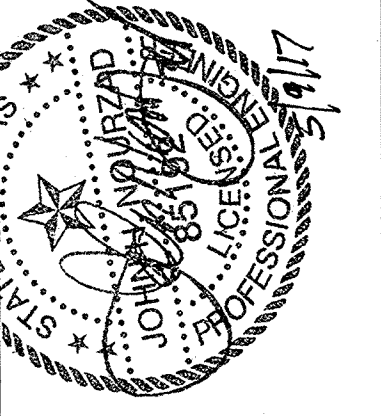


**PARCEL AREA**  
44,075 SQ. FT.  
1.01 ACRES  
WAL-MART SPACES TAKEN 45

**I-30 FRONTAGE ROAD**  
(VARIABLE WIDTH RIGHT-OF-WAY)

R=3,665.14'  
L=63.97'  
CHB=N69°55'57"E  
CHL=63.97'

E1 = (HATCHED)  
10' PRIVATE UTILITY ESMT.  
EXHIBIT "D" 1H  
VOL. 4407, PG. 191,  
D.R.R.C.T.

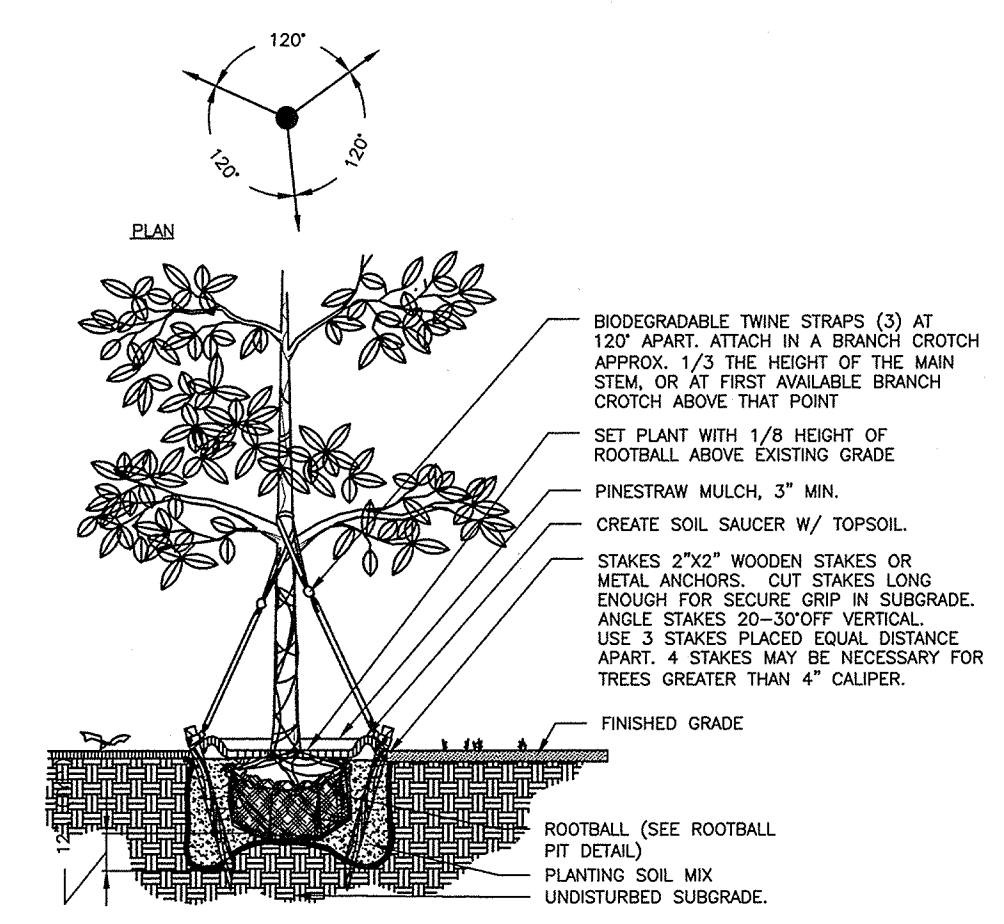
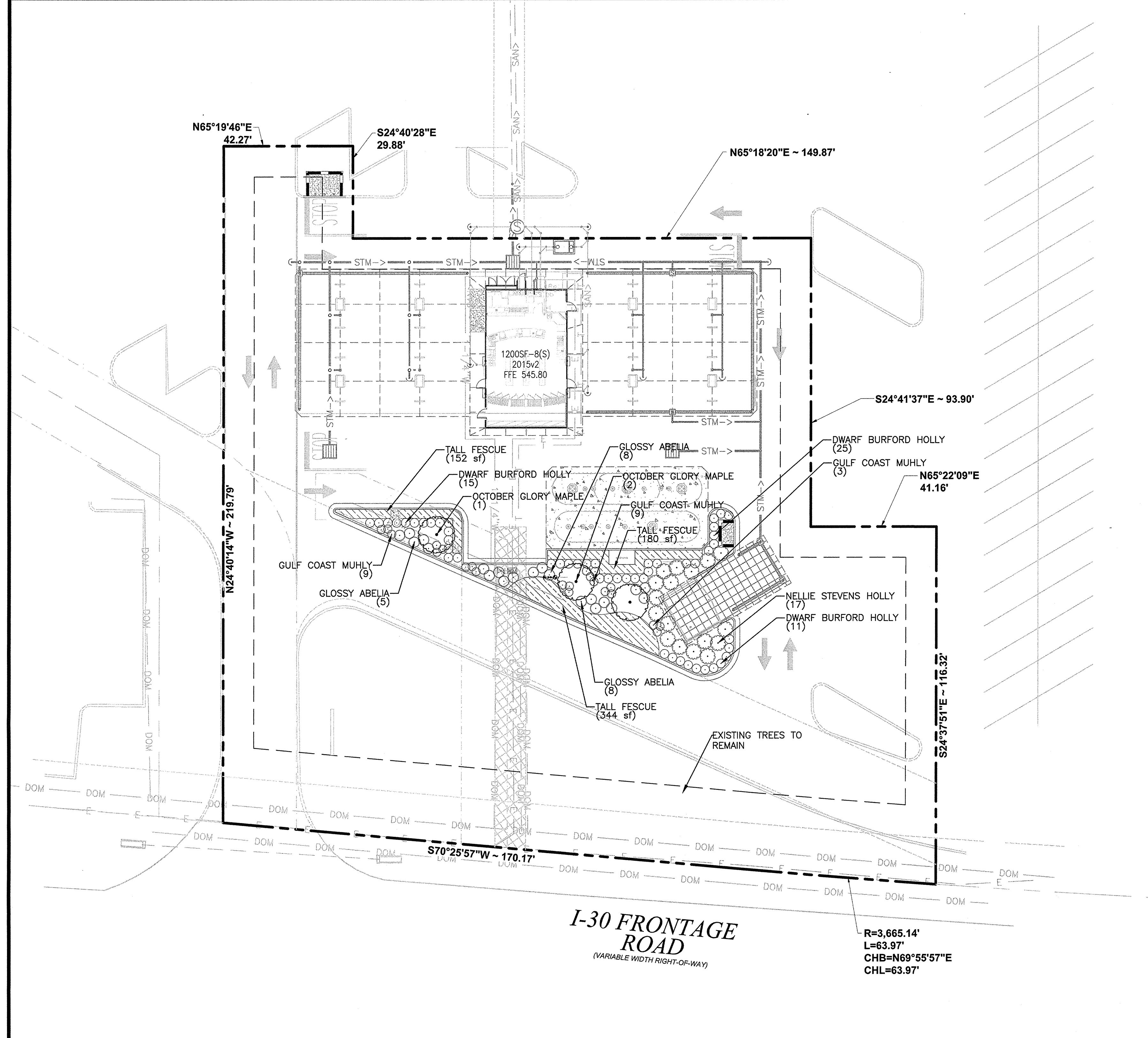


**GreenbergFarrow**  
1430 W. PEACHTREE ST., NW SUITE 200  
ATLANTA, GA 30309  
PHONE: (404) 501-4000  
DWG NAME: ROCKWALL, TEXAS  
JOB NO.: 20150471  
TEXAS REGISTRATION NO. F-4980

**MURPHY OIL USA, INC.**  
200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730-7000

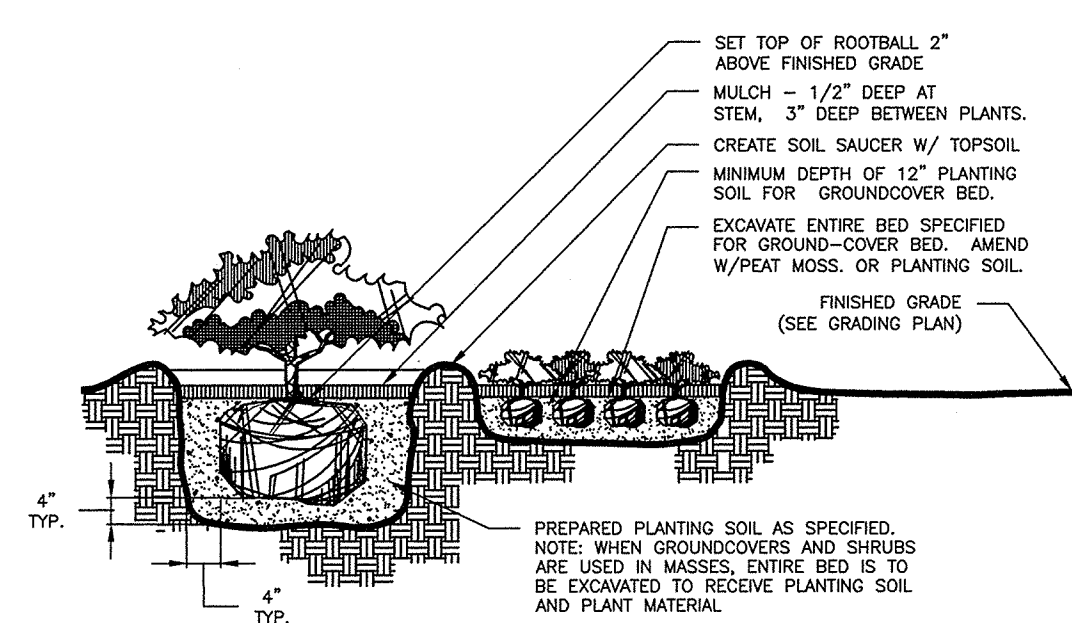
**MURPHY OIL USA**



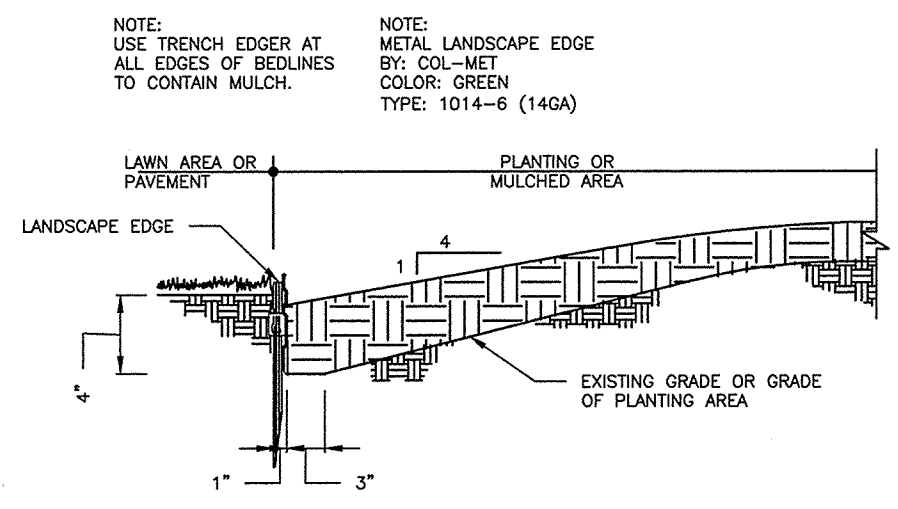


NOTE:  
STRAPS, WIDE, SOFT, BIODEGRADABLE MATERIAL MANUFACTURED FOR THE PURPOSE OF TREE ANCHORING. DO NOT USE HOSE AND WIRE.

**DECIDUOUS TREE PLANTING**



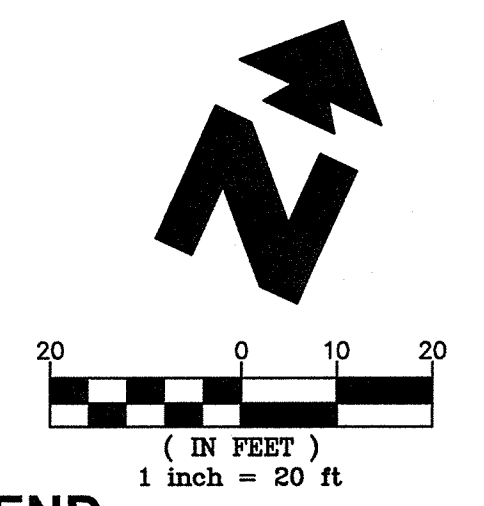
**SHRUB PLANTING**



**TRENCH EDGER DETAIL**



Know what's below.  
Call before you dig.



**LEGEND**

EXISTING		PROPOSED	
⊕	BENCHMARK	---	BOUNDARY LINE
⊕	PROPERTY CORNER MARKER FOUND - AS NOTED	⊕	TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)
⊕	MONUMENT FOUND	---	CONSTRUCTION FENCE (SEE DETAIL SHEET C-6)
⊕	MONUMENT SET	---	
⊕	POWER POLE	---	
⊕	LIGHT POLE	---	
⊕	ELECTRIC METER	---	
⊕	ELECTRIC LINE MARKER	---	
⊕	ELECTRIC PULL BOX	---	
⊕	ELECTRIC MANHOLE	---	
⊕	ELECTRIC BOX (PANEL)	---	
⊕	TELEPHONE MARKER	---	
⊕	TELEPHONE RISER	---	
⊕	TELEPHONE MANHOLE	---	
⊕	TELEPHONE PULL BOX	---	
⊕	FIBER OPTIC MARKER	---	
⊕	FIBER OPTIC PULL BOX	---	
⊕	TRAFFIC SIGNAL BOX	---	
⊕	MAILBOX	---	
⊕	GAS MARKER	---	
⊕	GUY POLE	---	
⊕	STORM DRAIN MANHOLE	---	
⊕	INLET RIM	---	
⊕	WATER MANHOLE	---	
⊕	WATER METER	---	
⊕	WATER VALVE	---	
⊕	FIRE HYDRANT	---	
⊕	SAN. SEWER MANHOLE	---	
⊕	SAN. SEWER CLEANOUT	---	
⊕	IRRIGATION CONTROL VALVE	---	
⊕	SIDEWALK	---	
⊕	BOLLARD POST	---	
⊕	SIGN	---	
---	ONE	---	OVERHEAD ELEC.
---	T	---	U.G. ELECTRIC
---	E	---	U.G. TELE. LINE
---	F	---	U.G. FIBER OPTIC
---	CA-TV	---	U.G. CABLE TV
---	W	---	U.G. GAS
---	SS	---	U.G. WATER
---	SS	---	U.G. SAN. SEWER
---	SS	---	U.G. STORM SEWER
---	---	---	TREE
---	---	---	CONCRETE AREA

**GENERAL LANDSCAPE NOTES**

- LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. (ANSI-Z60.1-1986)
- ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL. APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED SHALL ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE MURPHY STATION WILL NOT DROP WAL-MART'S GREEN SPACE BELOW CITY'S REQUIREMENTS.
- CONTRACTOR IS TO VERIFY LOCATION OF WAL-MART IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGED THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
- CONTRACTOR IS TO PROTECT EXISTING LANDSCAPING/IRRIGATION MATERIALS.
- ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A MINIMUM OF ONE (1) YEAR OR UNTIL SECOND CUTTING, WHICHEVER IS LONGER. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING, AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITIONS. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREAS HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDING REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THESE PLANS, BEFORE PRICING THE WORK.
- QUANTITIES ON THE PLANT SCHEDULE ARE PROVIDED FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE LANDSCAPE PLANS AND THE PLANT SCHEDULE, THE LANDSCAPE PLAN WILL TAKE PRECEDENCE. THE CONTRACTOR SHALL INFORM THE LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERING ANY QUANTITY DISCREPANCIES.
- METAL LANDSCAPE EDGING IS TO BE INSTALLED BETWEEN SOD AND LANDSCAPE PLANTING BED.

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	REMARKS
⊕	3	Acer rubrum 'October Glory' TM / October Glory Maple	B & B	2.5"Cal	Straight Trunk, Full, well rooted soil

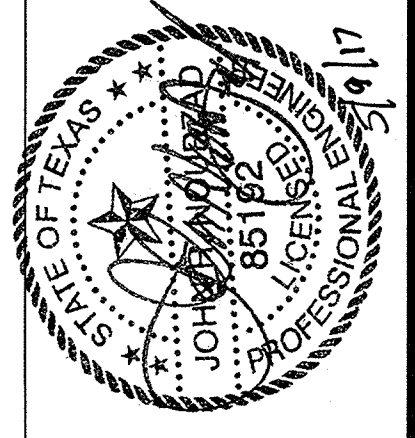
  

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	HEIGHT	REMARKS
⊕	21	Abelia x grandiflora / Glossy Abelia	3 gal		Full, Well Rooted In Pot
⊕	51	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	3 gal		Full, Dense, Bushy
⊕	17	Ilex x 'Nellie R Stevens' / Nellie Stevens Holly	B & B	8' MIN.	Full to ground, Dense, Bushy
⊕	21	Muhlenbergia capillaris 'Gulf Coast' / Gulf Coast Muhly	3 gal	24" MIN.	Full, Well Rooted In Pot

GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	PTS. EA.	REMARKS
⊕	677 sf	Festuca arundinacea / Tall Fescue	sod		Certified Pure, Weed Free

SHEET NO.  
**C-9**

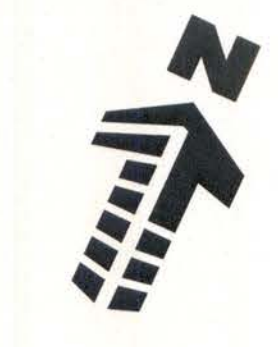
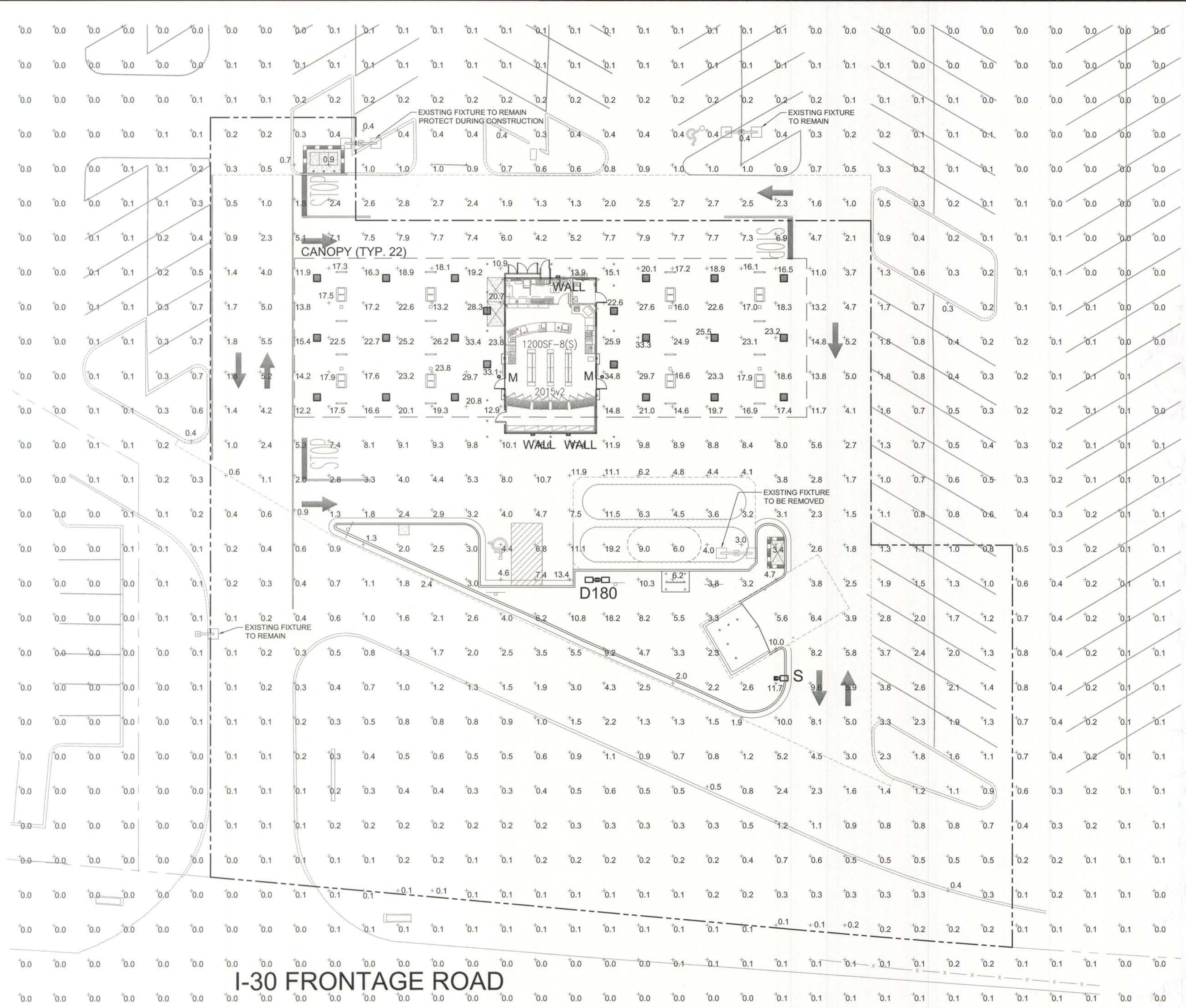


**LANDSCAPE PLAN**  
WALMART SUPERCENTER #259  
776 E. I-30 FRONTAGE RD.  
ROCKWALL, TEXAS

**Greenbergfarrow**  
1450 W. PEACHTREE ST., NW SUITE 200  
ATLANTA, GA 30340  
PHONE: (404) 601-8000  
FAX: (404) 601-3970  
DWG. NAME: ROCKWALL, TEXAS  
JOB NO.: 2015047  
TEXAS REGISTRATION NO. F-4580

**MURPHY OIL USA, INC.**  
200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730-7000  
**MURPHY USA**

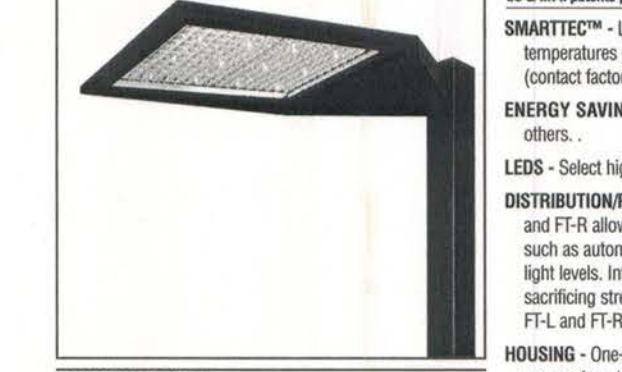




**NOTES:**  
 PLAN WAS BASED ON THE INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.  
 THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN STANDARDS OR RECOMMENDED PRACTICES OF IESNA.  
 THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITION, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.  
 ACTUAL ILLUMINANCE LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT, LAMP TILT FACTOR, BALLAST WATTAGE OUTPUT, LINE VOLTAGE AT BALLAST, REFLECTOR SPECULARITY, LAMP LUMEN DEPRECIATION, AND LUMINAIRE DIRT DEPRECIATION.  
 THE 26'-0" MOUNTING HEIGHT IS THE ACTUAL ASSEMBLY (POLE, BASE, AND FIXTURE) AND MAY DIFFER FROM THE FROM THE LUMINAIRE'S LUMINOUS APERTURE.  
 THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.

CONTRACTOR TO ENSURE THE LIGHT POLE AND HANDICAP PARKING SIGN ARE AT LEAST 2' FROM THE BACK OF CURB TO PREVENT VEHICLES FROM STRIKING THE LIGHT POLE OR HANDICAP PARKING SIGN. PROPOSED LIGHT POLE BASES SHOWN AT A MINIMUM OF 2'-6" FROM BACK OF CURB TO CENTER OF POLE BASE. ENGINEER TO VERIFY PROPOSED LOCATIONS FOR ANY CONFLICTS OR MISPLACEMENTS. REPORT TO LIGHTING DESIGNER ANY DISCREPANCIES OR CONFLICTS.

**LED AREA LIGHTS - LSI SLICE MEDIUM (XLCM)**



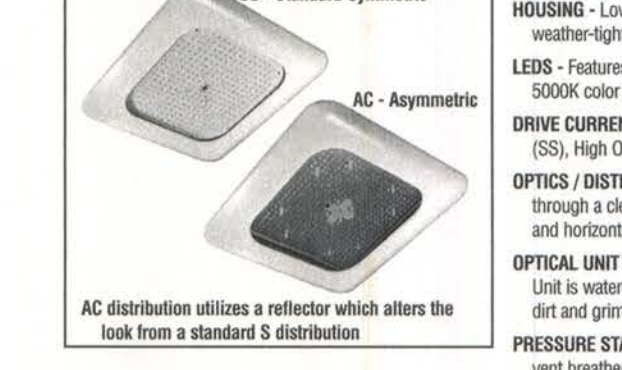
**DOE LIGHTING FACTS**  
 Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit [www.lightingfacts.com](http://www.lightingfacts.com) for specific catalog ratings.

Type 3	Type FT	Type 1	Type FT	Watts (Nominal)	Watts (Maximum)
10	15000	22000	22000	15000	19000
15	22000	30000	31000	22000	27000
20	30000	38000	39000	30000	36000
25	38000	46000	47000	38000	44000
30	46000	54000	55000	46000	52000

**LED CHIPS** are frequently updated therefore values may increase.  
**SMARTTEC™** - LSI drivers feature integral sensor which reduces drive current, when ambient temperatures exceed rated temperature, providing typical operation for 100,000 hours (derate factor for TM21 estimate for specific configuration).  
**ENERGY SAVING CONTROL OPTION - DIM** - 0-10 volt dimming enabled with controls by others.  
**LED'S** - Select high-brightness LEDs in 5000K or 4000K color temperature, 70 CRI.  
**DISTRIBUTION/PERFORMANCE** - Types 3, FT, FT-L, FT-R, S, and enhanced SE and FTE. FT-L and FT-R allow for 0-10V dimming configurations with factory set optics for applications such as automotive front row. Exceptional uniformity creates bright environment at lower light levels. Internal Lower (LL) option available for improved backlight control without sacrificing street side performance for FT distribution. Consult factory for internal lower for FT-L and FT-R applications.  
**HOUSING** - One-piece, die-cast aluminum housing contains factory prewired driver. Wiring access door (with safety lanyard) located underneath.  
**OPTICAL UNIT** - Clear tempered flat glass lens permanently sealed to weather-tight aluminum optic frame creates an IP67 rated optical unit (includes pressure-stabilizing vent).  
**MOUNTING** - Tapered rear design allows fixture to be mounted in 90° and 120° configurations without the need for extension arms. Use with 3" reduced drilling pattern. A round pole plate is required for mounting to round poles. Wall mount available by ordering wall mounting bracket (BNS-BD-WM-CR). Proprietary pole quick mount accessories available with horizontal mounting or fixed 15° angled mounting (PGHM-KIT-CLR and PGHM-KIT-CLR) for mounting to square poles. Top mounted mounting bracket (BNS-KIT-TM) for mounting to square poles. Top mounted mounting bracket (BNS-KIT-TM) for mounting to square poles. Top mounted mounting bracket (BNS-KIT-TM) for mounting to square poles. Top mounted mounting bracket (BNS-KIT-TM) for mounting to square poles.  
**ELECTRICAL** - Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C. Available with universal voltage power supply 120-277 VAC (50/60Hz input), and 347-480 VAC. Optional button-type photocells (PC) are available in 120, 208, 240, 277 or 347 volt (supply voltage must be specified).  
**DRIVER** - Available in SS (Super Saver) and HD (High Output) drive currents. Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.  
**OPERATING TEMPERATURE** - -40°C to +50°C (-40°F to +122°F)  
**FINISH** - Fixtures are finished with LSI DuraGrip™ polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Available in black, bronze and white. Other standard LSI finishes available. Consult factory.  
**WARRANTY** - LSI LED fixtures carry a limited 5-year warranty.  
**PHOTOMETRICS** - Please visit our web site at [www.lsi-industries.com](http://www.lsi-industries.com) for detailed photometric data.  
**SHIPPING WEIGHT (in carton)** - One fixture: 25.25 lbs. (11.5 kg). Packed two per carton: 43.5 lbs. (19.7 kg).  
**LISTING** - UL listed to U.S. and international safety standards. Suitable for wet locations. For a list of the specific products in this series that are DLC listed, please consult the LED Lighting section of our website or the Design Lights website at [www.designlights.org](http://www.designlights.org).  
 This product, or selected versions of this product, meet the standards listed below. Please consult factory for specific requirements.  
 ARRA, ENEC, IEC, IES, IP67, IP68, IP69K, RoHS, CE, FCC, IES, IP67, IP68, IP69K  
 Return comply with ANSI C136.21-2013 American National Standard for Roadway Lighting Equipment - Luminaire Vibration 10G requirements.  
 Project Name: \_\_\_\_\_ Fixture Type: \_\_\_\_\_  
 Catalog #: \_\_\_\_\_ LSI INDUSTRIES INC.

**MANUFACTURER SPECIFICATION SHEET FOR SITE FIXTURES**

**LED CANOPY LIGHT - LEGACY™ (CRUS)**



**DOE LIGHTING FACTS**  
 Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit [www.lightingfacts.com](http://www.lightingfacts.com) for specific catalog ratings.

**3 1/2" x 1 1/2" pole mounting**  
**HOUSING** - Low profile, durable die-cast, aluminum construction, providing a reliable weather-tight seal.  
**LED'S** - Features an array of selected, mid-power, high brightness, high efficiency LED chips; 5000K color temperature, 70 CRI (nominal).  
**DRIVE CURRENT** - Choice of Very Low Voltage (VLV), Low Voltage (LV), Super Saver (SS), High Output (HO) or Very High Output (VHO).  
**OPTICS / DISTRIBUTION** - Choice of Symmetrical or Asymmetrical, which directs light through a clear tempered glass lens, to provide a uniform distribution of light to vertical and horizontal surfaces.  
**OPTICAL UNIT** - Features an ultra-slim 7/8" profile die-cast housing, with a flat glass lens. Unit is water-resistant, sealed to an IP67 rating. Integral designed heat sink does not trap dirt and grease, ensures cool running performance over the life of the fixture.  
**PRESSURE STABILIZING VENT** - Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.  
**HAZARDOUS LOCATION** - Designed for lighter than air fuel applications. Product is suitable for Class 1 Division 2 only when properly installed per LSI installation instructions (consult factory).  
**DRIVER** - State-of-the-art driver technology superior energy efficiency and optimum light output. Driver components are fully encased in potting for moisture resistance. Complies with FCC and FCC standards. 0-10 V dimming supplied standard with all drive currents.  
**DRIVER HOUSING** - Die-cast aluminum, wet location rated dielectric enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and contributes to attaining the lowest operating temperatures available. Seals optical housing via one-piece molded silicone gasket.  
**OPERATING TEMPERATURE** - -40°C to 50°C (-40°F to +122°F)  
**ELECTRICAL** - Universal voltage power supply, 120-277 VAC, 50/60 Hz input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C.  
**FINISH** - Standard color is white and is finished with LSI DuraGrip™ polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.  
**INSTALLATION** - One person installation. No additional sealant required. Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is water-resistant, sealed to an IP67 rating. Integral designed heat sink does not trap dirt and grease, ensures cool running performance over the life of the fixture. As well as openings for Encore and Encore Top Access and to reconnect wiring for the SECTEA (not having to relocate the conduit). Retro panels are available for existing Encores (see back page) as well as a retrofit into existing Scotchlite® (ET) hole as well as existing sheets. Support brackets are provided standard, to prevent sagging of deck.  
**SHIPPING WEIGHT** - 27 pounds (single pack), 48 pounds (double pack).  
**EXPECTED LIFE** - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.  
**WARRANTY** - Limited 5-year warranty.  
**LISTING** - UL, UL ETL, listed to UL 1585, UL 1586, UL 8750 and other U.S. and international safety standards. Suitable for wet locations.  
**PHOTOMETRICS** - Please visit our web site at [www.lsi-industries.com](http://www.lsi-industries.com) for detailed photometric data.  
 This product, or selected versions of this product, meet the standards listed below. Please consult factory for specific requirements.  
 ARRA, ENEC, IES, IP67, IP68, IP69K, RoHS, CE, FCC, IES, IP67, IP68, IP69K  
 Return comply with ANSI C136.21-2013 American National Standard for Roadway Lighting Equipment - Luminaire Vibration 10G requirements.  
 Project Name: \_\_\_\_\_ Fixture Type: \_\_\_\_\_  
 Catalog #: \_\_\_\_\_ LSI INDUSTRIES INC.

**CALCULATION SUMMARY**

LABEL	UNITS	AVG	MAX	ALLOWED	MIN
UNDER CANOPY LIGHTING	FC	20.36	34.8	35.0	10.9
ILLUMINATED AREAS	FC	4.28	19.2	20.0	0.2

PER SEC. 3.3. C., LIGHT AT NONRESIDENTIAL PROPERTY LINE, SINCE PROPOSED SITE IS TO REPLACE AN EXISTING MURPHY USA AND SITE IS COMPLETELY CONTAINED WITHIN AN EXISTING COMMERCIAL DEVELOPMENT THE INTENT OF THIS LIGHTING PLAN IS TO REPLACE THE FIXTURE TO BE REMOVED DURING CONSTRUCTION WITH HIGHER EFFICIENCY LED FIXTURES. THE LIGHT SPILL-OVER ACROSS COMMON LOT LINES WITHIN THE SAME DEVELOPMENT SHOULD BE CONSIDERED BENEFICIAL TO BOTH LOTS. NOTE THAT THE 0.2 FOOT-CANDLE LIMIT IS MAINTAINED ON THE PROPERTY LINE ALONG I-30 FRONTAGE ROAD PER CODE.

**LUMINAIRE SCHEDULE**

MOUNTING CONFIG	SYMBOL	QTY	ASSEMBLY HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	MODEL NUMBER	DESCRIPTION	B-U-G RATING
S	[Symbol]	1	26'-0"	24'-0"	22800	193	XLCM-FT-LED-SS-CW-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, SUPER SAVER, COOL WHITE, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW	B3-U0-G3
D180	[Symbol]	1	26'-0"	24'-0"	22800	193	XLCM-FT-LED-SS-CW-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, SUPER SAVER, COOL WHITE, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW	B3-U0-G3
CANOPY	[Symbol]	22	15'-0"	N/A	8842	79	CRUS-SC-LED-VLW-50-UE-WHT	LSI LIGHTING, LEGACY SERIES, VERY LOW WATT DRIVE, FLAT LENS CANOPY FIXTURE	B3-U0-G1
WALL	[Symbol]	3	8'-3"	N/A	4109	42	XSPWA03MC-UZP	CREE LIGHTING, XSP WALL MOUNT LUMINAIRE, 5700K CCT, WITH PHOTOCELL SENSOR	B1-U0-G1
M	[Symbol]	2	8'-3"	N/A	1800	20	LR6-18L-35K-120V-A-DR W/LT6A	CREE LIGHTING, LR-6 DOWN LIGHT LUMINAIRE, 3500K CCT, 1800 LUMENS FULLY RECESSED ENTRY LIGHTS WITH HOUSING CR-2W-GU24	B1-U0-G0

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET  
 ALL ANCHOR BOLTS TO BE ORIENTED IN THE SAME DIRECTION (SQUARE) AT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS.  
 ALL FIXTURES ARE FULL CUT-OFF FIXTURES, IN THE B-U-G RATING SYSTEM THE U (UPLIGHT) RATING IS 0 FOR EACH WHICH INDICATES A FULL CUT-OFF FIXTURE

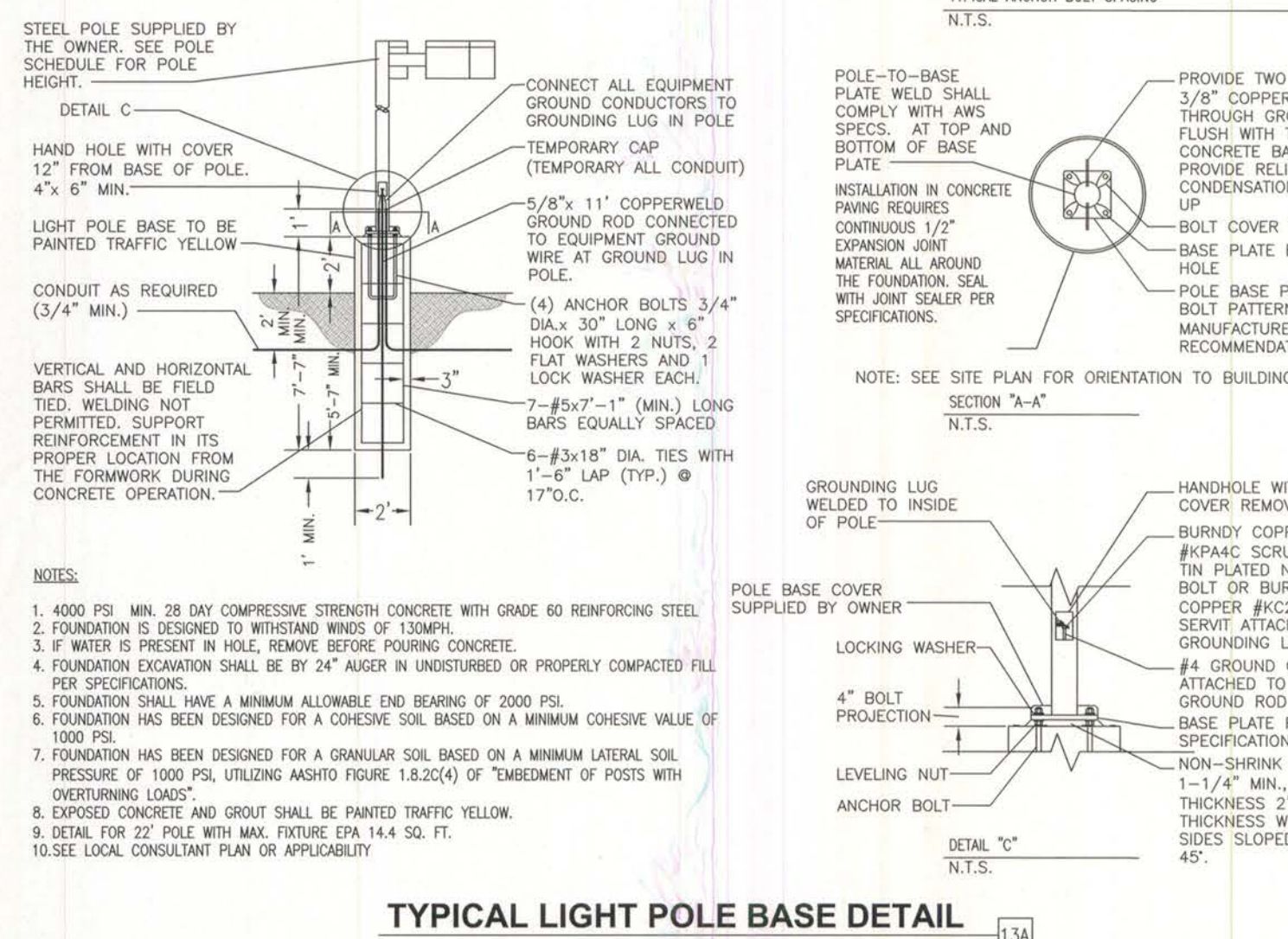
**POLE SCHEDULE**

MOUNTING CONFIG	SYMBOL	QTY	POLE HEIGHT	MODEL NUMBER	DESCRIPTION
S	[Symbol]	1	24'-0"	55QB3-S11G-24-S-BRZ-5BC	LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE
D180	[Symbol]	1	24'-0"	55QB3-S11G-24-S-BRZ-5BC	LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET

**1 PHOTOMETRIC SITE PLAN**  
 SCALE: 1"=20'-0"

**2 AREA LIGHT DETAIL**  
 SCALE: NOT TO SCALE



**Galloway**  
 Planning, Architecture, Engineering  
 6166 S. Willow Drive, Suite 320  
 Rockwall, TX 75087  
 303.770.8884  
 www.gallowayus.com  
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 TEXAS REGISTERED ENGINEERING  
 FROM E-10269

**MURPHY USA**  
 LICENSED PROFESSIONAL ENGINEER  
 5917

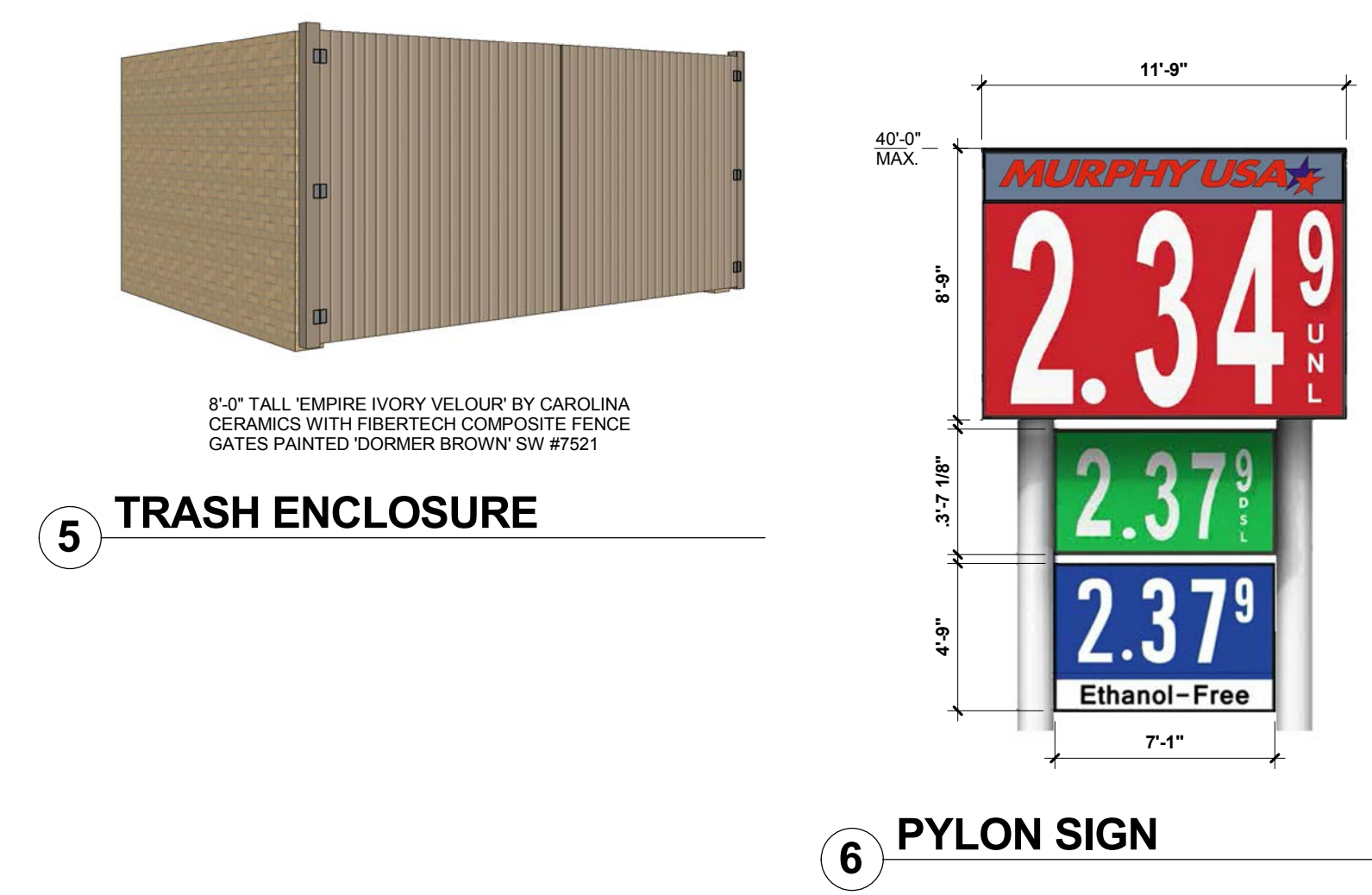
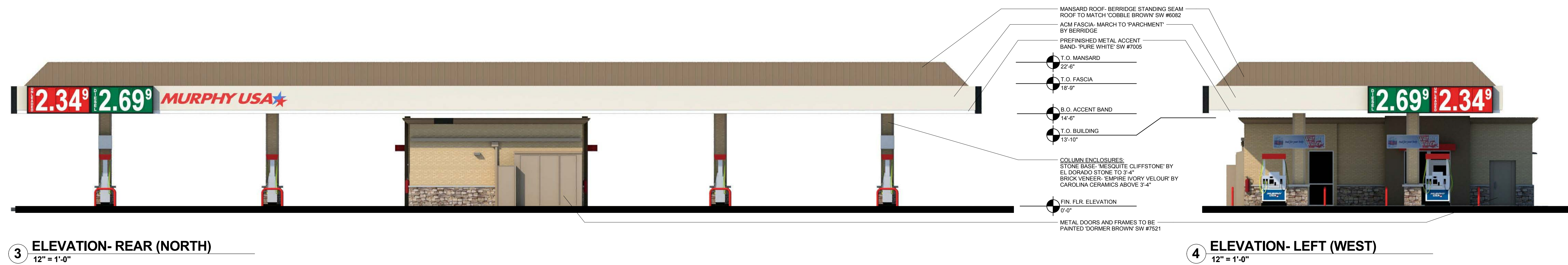
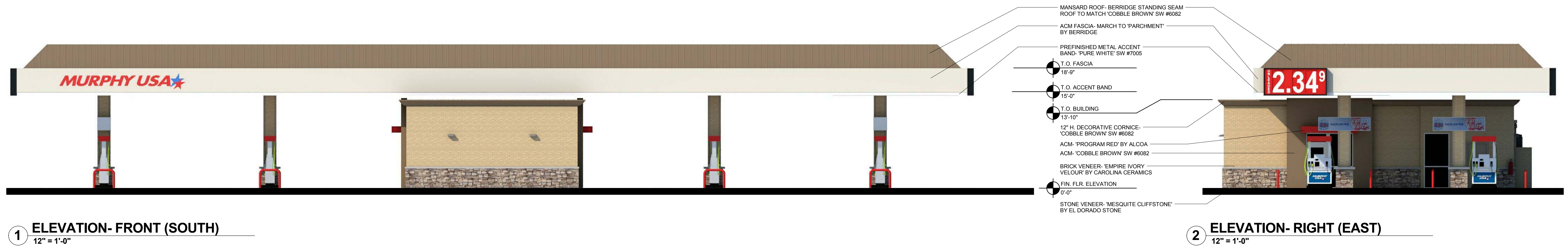
**MURPHY USA**  
 ROCKWALL, TEXAS

Project No: MOC9584  
 Sheet Scale: 1"=20'-0"  
 Date: May, 2017  
 Disk File: LI\_Photometric-Rockwall\_Tx

**PHOTOMETRIC SITE PLAN**

L-1.0





SIGN	QTY.	HEIGHT	WIDTH	AREA (S.F.)	TOTAL S.F.
MURPHY USA CANOPY LOGO SIGN	2			47.96	95.92
LARGE CANOPY PRICE SIGN	5	51.25"	118.00"	42.00	210.00
ISLAND SPANNER	4	25.19"	97.19"	17.00	68.00
PYLON SIGN:				TOTAL PYLON SIGN AREA: 161.92	
UNLEADED	1	105.00"	141.00"	102.81	102.81
DIESEL	1	43.125"	85.00"	25.46	25.46
EO	1	57.00"	85.00"	33.65	33.65
				TOTAL SIGNAGE:	535.84



**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**June 27, 2017**  
**5:00 PM**

**ACTION ITEMS**

**1. SP2017-018 (Korey)**

Discuss and consider a request by Annalyse Olson on behalf of Ron Valk for the approval of a site plan for a multi-tenant office/warehouse facility on a 2.21-acre parcel of land identified as Lot 6, Block A, Bodin Industrial Tract Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located east of the intersection of T. L. Townsend Drive and Trowbridge Drive, and take any action necessary.

**2. SP2017-019 (Korey)**

Discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Himmat Chauhan of JAGH Hospitality for the approval of a site plan for a hotel a 1.74-acre parcel of land identified as Lot 1, Block A, Comfort Inn & Suites, Rockwall Towne Centre Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts, addressed as 700 E. IH-30, and take any action necessary.

**3. SP2017-020 (David)**

Discuss and consider a request by Cody Brooks, PE of Bannister Engineering on behalf of John Arnold of the Skorburg Co. for the approval of a site plan/master open space plan for the Gideon Grove Subdivision consisting of 72 single-family residential lots on a 29.185-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the 205 By-Pass Corridor Overlay (205 BY-OV) District, located at the northeast corner of the intersection of E. Quail Run Road and John King Boulevard, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 23<sup>rd</sup> day of June, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**July 11, 2017**  
**5:00 PM**

**ACTION ITEMS**

**1. SP2017-019 (Korey)**

Discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Himmat Chauhan of JAGH Hospitality for the approval of a site plan for a hotel a 1.74-acre parcel of land identified as Lot 1, Block A, Comfort Inn & Suites, Rockwall Towne Centre Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts, addressed as 700 E. IH-30, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 7<sup>th</sup> day of July, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**July 25, 2017**  
**5:00 PM**

**ACTION ITEMS**

**1. SP2017-019 (Korey)**

Discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Himmat Chauhan of JAGH Hospitality for the approval of a site plan for a hotel a 1.74-acre parcel of land identified as Lot 1, Block A, Comfort Inn & Suites, Rockwall Towne Centre Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts, addressed as 700 E. IH-30, and take any action necessary.

**2. SP2017-022 (Korey)**

Discuss and consider a request by Gerald Monk of Monk Consulting Engineers on behalf of Kevin Smart for the approval of a site plan for a medical office building on a one (1) acre parcel of land identified as Lot 2, Block A, Wal-Mart Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 49 (PD-49) for General Retail (GR) District land uses, situated within the SH-66 Corridor Overlay (SH-66 OV) District, addressed as 862 W. Rusk Street (SH-66), and take any action necessary.

**3. SP2017-023 (David)**

Discuss and consider a request by Kevin Patel of Triangle Engineering, LLC on behalf of the owner Michael Fisher of 1306 Summer Lee, LLC for the approval of a site plan for a medical office building on a 1.082-acre parcel of land identified as Lot 6, Block A, Temunovic Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 1310 Summer Lee Drive, and take any action necessary.

**4. SP2017-024 (David)**

Discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of the owner Don Silverman of Rockwall 205-552, LLC for the approval of a site plan for a restaurant with a drive-through on a 0.857-acre parcel of land identified as Lot 4, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N-SH-205 OV) District, addressed as 3611 N. Goliad Street, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 21<sup>st</sup> day of July, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**August 15, 2017**  
**5:00 PM**

**ACTION ITEMS**

**1. SP2017-022 (Korey)**

Discuss and consider a request by Gerald Monk of Monk Consulting Engineers on behalf of Kevin Smart for the approval of a site plan for a medical office building on a one (1) acre parcel of land identified as Lot 2, Block A, Wal-Mart Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 49 (PD-49) for General Retail (GR) District land uses, situated within the SH-66 Corridor Overlay (SH-66 OV) District, addressed as 862 W. Rusk Street (*SH-66*), and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 11<sup>th</sup> day of August, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**August 29, 2017**  
**4:30 PM**

**CONSENT AGENDA**

**1. SP2017-028 (David)**

Discuss and consider a request by Kent Birdsong of Birdsong CPA for the approval of a site plan for the expansion of an existing building on a 0.451-acre tract of land identified as Lots 1, 2, 3 & 6, Block I, OT Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 105 N. Alamo Street, and take any action necessary.

**ACTION ITEMS**

**2. SP2017-025 (Korey)**

Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Doug Fox of Cornerstone Church for the approval of a site plan for a church on a six (6) acre parcel of land identified as Tract 4-07 of the N. Butler Survey, Abstract No. 20, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the 205 By-Pass Overlay (205 BY-OV) District, addressed as 1310 Summer Lee Drive, and take any action necessary.

**3. SP2017-026 (David)**

Discuss and consider a request by William Adair on behalf of Raymond Jowers for the approval of a site plan for an industrial building on a 2.16-acre parcel of land identified as Lot 1-B, Bodin Industrial Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 2040 Kristy Lane, and take any action necessary.

**4. SP2017-027 (David)**

Discuss and consider a request by Spencer Byington of SWBC Real Estate, LLC on behalf of the owner Robert Lambreth of Pneuma Ventures, LTD for the approval of a site plan for a multi-family apartment complex on a 42.555-acre tract of land identified as Tract 1-4 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development 83 (PD-83) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located east of the intersection of Discovery Boulevard and John King Boulevard, and take any action necessary.

**5. SP2017-029 (David)**

Discuss and consider a request by Richard L. Brooks for the approval of an amended site plan for an existing medical building on a 2.427-acre tract of land identified as Lot 1, Block A, Lake Pointe Health Science Center of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2504 & 2506 Ridge Road [FM-740], and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 25<sup>th</sup> day of August, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**September 12, 2017**  
**5:00 PM**

**ACTION ITEMS**

**1. SP2017-024 (David)**

Discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of the owner Don Silverman of Rockwall 205-552, LLC for the approval of a site plan for a restaurant with a drive-through on a 0.857-acre parcel of land identified as Lot 4, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N-SH-205 OV) District, addressed as 3611 N. Goliad Street, and take any action necessary.

**2. SP2017-027 (David)**

Discuss and consider a request by Spencer Byington of SWBC Real Estate, LLC on behalf of the owner Robert Lambreth of Pneuma Ventures, LTD for the approval of a site plan for a multi-family apartment complex on a 42.555-acre tract of land identified as Tract 1-4 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development 83 (PD-83) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located east of the intersection of Discovery Boulevard and John King Boulevard, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 8<sup>th</sup> day of September, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**October 10, 2017**  
**5:00 PM**

**ACTION ITEMS**

**1. SP2017-030 (David)**

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Randall Noe of Rockwall Rental Properties, LP for the approval of a Site Plan for a motor vehicle dealership on a 4.86-acre tract of land identified as Tract 5 of the N. M. Ballard Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1415 & 1501 E. IH-30, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 6<sup>nd</sup> day of October, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**October 24, 2017**  
**5:00 PM**

**ACTION ITEMS**

**1. SP2017-032 (Korey)**

Discuss and consider a request by Deric Salser of Salser Development Group on behalf of Russ Porter of Rockwall School of Music for the approval of a site plan for a music studio on a 0.747-acre portion of a larger 2.49-acre parcel of land identified as Lot 9, Block A, Flagstone Corners Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 60 (PD-60) for Residential-Office (RO) District land uses, addressed as 1830 & 1842 Mims Road, and take any action necessary.

**2. SP2017-033 (David)**

Discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Deepak Gandhi of Rockwall Inn Keepers I, LTD for the approval of a site plan for a hotel on a 2.681-acre identified as a portion of Lots 9 & 11, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts, located at the southeast corner of the intersection of Laguna Drive and La Jolla Pointe Drive, and take any action necessary.

**3. SP2017-034 (Korey)**

Discuss and consider a request by Mike Whittle of Whittle Development, Inc. on behalf of Randall Noe of N&H Legacy Partners for the approval of a site plan for an office buildings on 0.44-acre tract of land identified as Lot 2, Block 2, Alliance Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 6520 Alliance Drive, and take any action necessary.

**4. SP2017-035 (Korey)**

Discuss and consider a request by Johnathan Kerby of Kimley-Horn & Associates, Inc. on behalf of Harold E. Weinberger & Elana Kroll for the approval of a site plan for a retail/restaurant strip center on a 1.6123-acre parcel of land identified as Lot 2, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 819 E. IH-30, and take any action necessary.

**5. SP2017-036 (Korey)**

Discuss and consider a request by Mike Whittle of Whittle Development, Inc. on behalf of Randall Noe of N&H Legacy Partners for the approval of a site plan for an office buildings on 0.55-acre tract of land identified as Lot 3, Block 2, Alliance Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 6530 Alliance Drive, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 20<sup>th</sup> day of October, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**November 14, 2017**  
**5:00 PM**

**ACTION ITEMS**

**1. SP2017-033 (David)**

Discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Deepak Gandhi of Rockwall Inn Keepers I, LTD for the approval of a site plan for a hotel on a 2.681-acre identified as a portion of Lots 9 & 11, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts, located at the southeast corner of the intersection of Laguna Drive and La Jolla Pointe Drive, and take any action necessary.

**2. SP2017-034 (Korey)**

Discuss and consider a request by Mike Whittle of Whittle Development, Inc. on behalf of Randall Noe of N&H Legacy Partners for the approval of a site plan for an office buildings on 0.44-acre tract of land identified as Lot 2, Block 2, Alliance Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 6520 Alliance Drive, and take any action necessary.

**3. SP2017-035 (Korey)**

Discuss and consider a request by Johnathan Kerby of Kimley-Horn & Associates, Inc. on behalf of Harold E. Weinberger & Elana Kroll for the approval of a site plan for a retail/restaurant strip center on a 1.6123-acre parcel of land identified as Lot 2, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 819 E. IH-30, and take any action necessary.

**4. SP2017-036 (Korey)**

Discuss and consider a request by Mike Whittle of Whittle Development, Inc. on behalf of Randall Noe of N&H Legacy Partners for the approval of a site plan for an office buildings on 0.55-acre tract of land identified as Lot 3, Block 2, Alliance Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 6530 Alliance Drive, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 10<sup>th</sup> day of November, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**December 12, 2017**  
**5:00 PM**

**ACTION ITEMS**

1. **SP2017-037 (Korey)**  
Discuss and consider a request by Randy Eardley, P.E. of Wier & Associates, Inc. on behalf Getra Thomason-Saunders of Chick-Fil-A, Inc. for the approval of a site plan for a restaurant with drive-through on a 0.656-acre tract of land being identified as Lots 1 & 2, Block A, Billy Peoples #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1902 & 2000 S. Goliad Street [*SH-205*], and take any action necessary.
  
2. **SP2017-038 (David) [*Postponed to December 26, 2017*]**  
Discuss and consider a request by Arnaldo Cotto of J. Houser Construction on behalf of Jerry Kissick of Jerry Kissick Custom Homes for the approval of a site plan for a retail center on a 2.113-acre tract of land identified as Lot 6, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located at the northwest corner of the intersection of Ranch Trail Road and Horizon Road [*FM-3097*], and take any action necessary.
  
3. **SP2017-039 (David)**  
Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Russell Frank of Hacienda Car Wash for the approval of a site plan for a carwash within the Scenic Overlay (SOV) District on a 2.008-acre tract of land being identified as Lots 1 & 2-01, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located south of the intersection of W. Yellow Jacket Lane and Ridge Road [*FM-740*], and take any action necessary.
  
4. **SP2017-040 (David) [*Postponed to December 26, 2017*]**  
Discuss and consider a request by Sami Ibrahim of DFW Distributor Petroleum, Inc. for the approval of a site plan for a gas station on a 2.47-acre tract of land identified as Tracts 2-14 & 2-01 of the J. A. Ramsey Survey, Abstract 186, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-276 Overlay (SH-276 OV) District, located at the southeast corner of the intersection of SH-276 and FM-549, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 8<sup>th</sup> day of December, 2017, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.